

# 225 MONSELL PLACE

GREENPORT, NY

## SCHEMATIC DESIGN

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2 Rev 2	04/06/22

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### DRAWING TITLE

COVER SHEET

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AUG 02 2022

VILLAGE OF GREENPORT  
BUILDING DEPARTMENT

	STAMP &	PROJ. NO.:	2018
		DATE:	01/22/2020
		SCALE:	
		SHT. NO.:	T-000

## GENERAL NOTES

- THE CONSTRUCTION MANAGER/GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK, AND SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS TO THE ARCHITECT.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.
- THE GENERAL CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF LOCAL AUTHORITIES.
- ALL DIMENSIONS ARE FROM FINISHED WALLS AND PARTITIONS UNLESS OTHERWISE INDICATED. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. WALLS SHOWN TO ALIGN SHALL BE FINISHED FLUSH AND SMOOTH WITH EXISTING WORK. AFTER THE PARTITION WALLS HAVE BEEN LAID OUT THE ARCHITECT IS TO BE NOTIFIED SO THAT WORK MAY BE INSPECTED AND APPROVED FOR CONFORMANCE WITH DESIGN BEFORE PROCEEDING WITH ADDITIONAL CONSTRUCTION.
- ALL WORK TO BE COORDINATED BY GENERAL CONTRACTOR UNLESS OTHERWISE NOTED. ANY SUBSTITUTE IN SPECIFICATIONS MUST BE SUBMITTED TO THE ARCHITECT FOR APPROVAL. SHOULD THE CONTRACTOR FIND ANY DISCREPANCIES, OMISSIONS, AMBIGUITIES, OR CONFLICTS IN ANY OF THE CONSTRUCTION DRAWINGS, OR BE IN DOUBT AS TO THEIR MEANING, THEY MUST BRING THE QUESTION TO THE ATTENTION OF THE ARCHITECT PRIOR TO START OF CONSTRUCTION. THE ARCHITECT SHALL REVIEW THE QUESTION AND WHERE INFORMATION SOUGHT IS NOT CLEARLY INDICATED OR SPECIFIED, WILL ISSUE A CLARIFYING ADDENDUM. NEITHER THE OWNER NOR THE ARCHITECT WILL BE RESPONSIBLE FOR VERBAL INSTRUCTIONS.
- WRITTEN REQUEST MUST SUBMITTED FOR ANY PROPOSED CHANGES IN SCOPE OF THE WORK BY THE GENERAL CONTRACTOR TO THE CLIENT AND ARCHITECT BEFORE ANY WORK IS STARTED. SUCH REQUESTS SHALL INDICATE SCOPE OF WORK, COST, AND POSSIBLE DELAYS TO THE PROJECT.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA AND ALL COMMON SPACES LEADING TO AND FROM THE CONSTRUCTION AREA. GENERAL CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION.

THE DRAWINGS MAY NOT SHOW ALL ITEMS OR OBJECTS EXISTING AT THE SITE. THE CONTRACTOR MUST VERIFY AT THE SITE ALL OBJECTS TO BE PRESERVED AND REPORT TO THE ARCHITECT ANY DISCREPANCIES OR QUESTIONABLE ITEMS. USE ALL MEANS NECESSARY TO PROTECT EXISTING OBJECTS DESIGNED TO REMAIN AND IN THE EVENT OF DAMAGE IMMEDIATELY MAKE ALL REPAIRS AND REPLACEMENT NECESSARY TO THE APPROVAL OF THE ARCHITECT AT NO ADDITIONAL EXPENSE TO THE OWNER.

PRIOR TO COMMENCEMENT, CAREFULLY INSPECT THE ENTIRE SITE AND ALL OBJECTS DESIGNATED TO BE REMOVED AND TO BE PRESERVED, AS WELL AS ALL EXISTING UTILITIES. THE GENERAL CONTRACTOR SHALL REMOVE, REROUTE OR CAP OFF ALL UNUSED UTILITIES AFTER CHECKING WITH THE ARCHITECT. THESE ITEMS SHALL BE CAPPED OFF WITH EXISTING WALLS OR FLOORS.

- PARTITIONS.
  - ALL OUTSIDE CORNERS AT MASONRY AND DRYWALL PARTITIONS SHALL HAVE METAL CORNER BEADS. TAPE AND SPACKLE SMOOTH WHERE REQUIRED. THREE COAT SPACKLE FINISH MIN.
  - ALL RESPECTIVE PLASTER AND OR DRYWALL ON ADJACENT EXISTING WALLS SHALL BE CHOPPED OFF AND/OR PATCHED FREE OF IRREGULARITIES AND SHALL MATCH ADJACENT WALLS IN FINISH AND THICKNESS.
  - ALIGNMENT OF NEW WALL CONSTRUCTION TO EXISTING WALLS AND COLUMNS SHALL BE DONE IN A MANNER AS TO VISIBLY ELIMINATE THE POINT OF CONTACT OR JOINING OF NEW AND EXISTING MATERIALS.
  - WHERE DEMOLITION HAS OCCURRED, CONTRACTOR SHALL FILL ALL HOLES, PATCH SMOOTH AND LEVEL ALL REMAINING SURFACES, INCLUDING WALLS, FLOORS, AND CEILINGS. SQUARE ALL CORNERS AND PROPERLY PREPARE ALL SURFACES TO RECEIVE FINISHES.
- CLEAN UP. THE GENERAL CONTRACTOR SHALL KEEP THE SITE FREE FROM ACCUMULATION OF MATERIAL AND DEBRIS. PREMISES SHALL BE LEFT BROOM CLEAN AT THE CLOSE OF EVERY WORK DAY. CONTRACTORS MUST PROVIDE THEIR OWN DUMPSTERS. ALL PAINT BRUSHES, ETC. MUST BE CLEANED IN SLOP SINKS LOCATED EITHER IN THE BACK HALLWAYS OR IN THE BASEMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL UNWANTED EQUIPMENT AND DEBRIS AT THE COMPLETION OF CONSTRUCTION. AT THE COMPLETION OF THE WORK, THE GENERAL CONTRACTOR SHALL PERFORM THE FOLLOWING CLEANING:
  - CLEAN FIXTURES, EQUIPMENT, FINISH HARDWARE, PAINTED AND DECORATED SURFACES, AND REMOVE MARKS, STAINS, PAINT, DIRT, AND OTHER SOILING RESULTING FROM THE WORK OF THIS CONTRACT.

- FIRE SAFETY.
  - ALL BUILDING MATERIALS STORED AT CONSTRUCTION AREA ARE TO BE SECURED IN A LOCKED AREA WITH ACCESS CONTROLLED BY THE OWNER AND/OR GENERAL CONTRACTOR.
  - ALL MATERIAL TO BE STORED IN AN ORDERLY FASHION.
  - ALL FLAMMABLE MATERIALS ARE TO BE KEPT TIGHTLY SEALED IN THEIR ORIGINAL CONTAINERS. SUCH MATERIALS SHALL BE KEPT AWAY FROM HEAT OR OPEN FLAMES.
  - ALL FLAMMABLE MATERIALS TO BE USED AND STORED IN AN ADEQUATELY VENTILATED SPACE.
  - ALL ELECTRICAL POWER IS TO BE SHUT OFF WHERE THERE IS AN EXPOSED CONDUIT.
  - ALL ELECTRICAL POWER IN THE CONSTRUCTION AREA IS TO BE SHUT OFF AFTER WORKING HOURS.
  - GENERAL CONTRACTOR AT ALL TIMES SHALL MAKE SURE THERE IS NO LEAKAGE OF NATURAL GAS IN BUILDING, OR ANY OTHER FLAMMABLE GAS USED IN CONSTRUCTION.
  - GENERAL CONTRACTOR SHALL NOT BURN ANY DEBRIS OR MAINTAIN ANY OPEN FLAMES ON THE SITE.

## PLUMBING NOTES

- ALL PLUMBING WORK SHALL BE PERFORMED BY A LICENSED PLUMBER.
- PLUMBER MUST CHECK EXISTING WASTE AND VENT LINES TO BE FREE OF OBSTRUCTION.
- PROVIDE NEW ISOLATION VALVES AND BRANCH LINES FOR HOT AND COLD WATER SUPPLY FOR RENOVATED BATHROOMS AND KITCHEN. ALL NEW COPPER PIPING SHALL BE PROVIDED FROM THE ISOLATION VALVE TO EACH FIXTURE. ALL NEW SHUTOFF VALVES TO BE PROVIDED AT EACH FIXTURE.

## ELECTRICAL NOTES

- ALL ELECTRICAL WORK SHALL BE PERFORMED BY A NY STATE LICENSED ELECTRICIAN AND ALL WORK SHALL BE IN ACCORDANCE WITH LOCAL JURISDICTION.

## CARBON MONOXIDE ALARM NOTES

- CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS REQUIRED BY R315-CARBON MONOXIDE ALARMS

## SMOKE DETECTOR NOTES ( DWELLING UNITS)

- SMOKE DETECTORS SHALL BE INSTALLED AS REQUIRED BY R314 SMOKE ALARMS AND HEAT DETECTION.
- DETECTORS SHALL BE EITHER IONIZATION CHAMBERS OR PHOTOELECTRIC TYPES.
- UNITS TO BE APPROVED BY BOARD OF STANDARDS AND APPEALS ACCEPTED PURSUANT TO RULES AND REGULATIONS PROMULGATED BY THE COMMISSIONER OR LISTED BY AN ACCEPTABLE TESTING LABORATORY, SUCH AS:

UNDERWRITERS LABORATORY, NORTHBROOK, ILLINOIS, USA LAB.  
CANADIAN STANDARD ASSOCIATION, ONTARIO, CANADA  
UNDERWRITERS LAB. OF CANADA, ONTARIO, CANADA, MEA LAB.

- UNITS SHALL BE INSTALLED IN AREAS DESIGNATED ON PLANS. THEY SHALL BE LOCATED ON OR NEAR THE CEILINGS AND WITHIN 15'-0" OF ANY ROOMS USED FOR SLEEPING PURPOSES. FOR DWELLING UNITS WITH MULTIPLE LEVELS, WHEN ANY LEVEL HAS ONLY ONE MEANS OF EGRESS, UNITS SHALL BE PROVIDED AT ALL LEVELS.
- UNITS SHALL BE INSTALLED IN AREAS DESIGNATED ON PLANS. THEY SHALL BE LOCATED ON OR NEAR THE CEILINGS AND WITHIN 15'-0" OF ANY ROOMS USED FOR SLEEPING PURPOSES. FOR DWELLING UNITS WITH MULTIPLE LEVELS, WHEN ANY LEVEL HAS ONLY ONE MEANS OF EGRESS, UNITS SHALL BE PROVIDED AT ALL LEVELS.

## BUILDING CODE NOTES

- ALL CONSTRUCTION WORK SHALL BE DONE IN ACCORDANCE WITH REQUIREMENTS OF THE FOLLOWS:
  - 2020 RESIDENTIAL CODE(RC) CODE OF NEW YORK STATE
  - 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE (ECCCNYS)
  - 2020 EXISTING BUILDING CODE OF NEW YORK STATE
  - SOUTHOLD TOWN CODE
- PER RC OF NEW YORK STATE R102.7.1 ADDITIONS, ALTERATIONS OR REPAIRS TO ANY STRUCTURE SHALL CONFORM TO THE REQUIREMENTS FOR A NEW STRUCTURE WITHOUT REQUIRING THE EXISTING STRUCTURE TO COMPLY WITH THE REQUIREMENTS OF THE CODE. ADDITIONS, ALTERATIONS, REPAIRS AND RELOCATIONS SHALL NOT CAUSE AN EXISTING STRUCTURE TO BECOME UNSAFE OR ADVERSELY AFFECT THE PERFORMANCE OF THE BUILDING.
- ALL ELECTRICAL WORK TO CONFORM TO LOCAL, STATE, AND N.E.C. AND UNDERWRITERS REQUIREMENTS.
- ALL PLUMBING TO CONFORM TO LOCAL AND STATE CODES AND HEALTH DEPARTMENT REQUIREMENTS.
- ALL FRAMING TO CONFORM TO THE INTERNATIONAL BUILDING CODE, FOR HIGH WIND ZONE 3, 120 MPH, 3 SECOND GUST, SITE EXPOSURE B. ALL FRAMING HARDWARE TO BE SIMPSON STRONG-TIE WITH A CONTINUOUS LOAD TRANSFER PATH FROM THE RAFTERS TO THE FOUNDATION. SHEATHING MUST BE NAILED TO TOP PLATE, OTHER PLATES, ALL STUD AND HEADERS, ROOF RAFTERS TO BE CLIPPED ACROSS THE PLATE TO THE STUD.
- REQUIRED INSPECTIONS:
  - FOOTING AND FOUNDATION INSPECTION
  - FRAMING AND ROUGH-IN INSPECTION
  - PLUMBING ROUGH-IN INSPECTION
  - GAS ROUGH-IN INSPECTION
  - MECHANICAL ROUGH-IN INSPECTION
  - ELECTRICAL INSPECTION
  - FINAL INSPECTION
- THE CONTRACTOR SHALL NOTIFY THE CODE OFFICIAL WHEN WORK IS READY FOR INSPECTION, AND SHALL PROVIDE ACCESS TO AND MEANS FOR INSPECTIONS.

## ENERGY CODE NOTES

- (U.G.N., ALL CODE SECTIONS REFERENCED REFER TO 10 ECCCNYS)
- TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE, (ECCCNYS)
- ALSO SEE THE ENERGY CODE ANALYSIS CHART.
- ALL ALTERATIONS WORK SHALL COMPLY WITH 2020 NYSECC.
- PER ECCCNYS SECTION R503.1, ALTERATIONS SHALL CONFORM TO ENERGY CODE REQUIREMENTS WITHOUT REQUIRING THE UNALTERED PORTIONS OF THE EXISTING BUILDING OR EXISTING SYSTEM TO COMPLY. ALTERATIONS SHALL NOT CREATE AN UNSAFE OR HAZARDOUS CONDITION OR OVERLOAD EXISTING BUILDING SYSTEMS. ALTERATIONS SHALL BE SUCH THAT THE EXISTING BUILDING USES NOT MORE ENERGY THAN PRIOR TO ALTERATIONS.
- PER 907.1 OF EXISTING BUILDING CODE OF NEW YORK STATE, LEVEL 3 ALTERATIONS TO EXISTING BUILDINGS OR STRUCTURES ARE PERMITTED WITHOUT REQUIRING THE ENTIRE BUILDING OR STRUCTURE TO COMPLY WITH THE ENERGY REQUIREMENTS OF THE ECCCNYS. THE ALTERATIONS SHALL CONFORM TO THE ENERGY REQUIREMENTS OF THE ECCCNYS AS THEY RELATE TO NEW CONSTRUCTION ONLY.
- PER R106, REQUIRED ENERGY CODE INSPECTIONS INCLUDE:
  - FRAMING AND ROUGH-IN INSPECTION
  - PLUMBING AND ROUGH-IN INSPECTION
  - MECHANICAL AND ROUGH-IN INSPECTION
  - FINAL INSPECTION
- THE CONTRACTOR SHALL NOTIFY THE CODE OFFICIAL WHEN WORK IS READY FOR INSPECTION, AND SHALL PROVIDE ACCESS TO AND MEANS FOR INSPECTIONS.
- PER R303.1.1, AN R-VALUE IDENTIFICATION MARK SHALL BE APPLIED BY THE MANUFACTURER TO EACH PIECE OF BUILDING THERMAL ENVELOPE INSULATION THAT IS 12 INCHES OR GREATER IN WIDTH. ALTERNATELY, THE INSULATION INSTALLERS SHALL PROVIDE A CERTIFICATION THAT INDICATES THE TYPE, MANUFACTURER AND R-VALUE ON INSULATION INSTALLED IN EACH ELEMENT OF THE BUILDING THERMAL ENVELOPE. FOR BLOWN-IN OR SPRAYED FIBERGLASS AND CELLULOSE INSULATION, THE INITIAL INSTALLED DENSITY, COVERAGE AREA AND NUMBER OF BAYS INSTALLED SHALL BE INDICATED ON THE CERTIFICATION. FOR SPRAYED POLYURETHANE FOAM(SFP) INSULATION, THE INSTALLED THICKNESS SHALL BE INDICATED ON THE CERTIFICATION. THE INSULATION INSTALLER SHALL SIGN, DATE AND POST THE CERTIFICATION IN A CONSPICUOUS LOCATION ON THE JOB SITE.
- PER R303.1.1, AN R-VALUE MAINTENANCE INSTRUCTIONS SHALL BE FURNISHED FOR EQUIPMENT AND SYSTEMS THAT REQUIRE PREVENTIVE MAINTENANCE. REQUIRED REGULAR MAINTENANCE ACTIONS SHALL BE CLEARLY STATES AND INCORPORATED ON A READILY ACCESSIBLE LABEL. THE LABEL SHALL INCLUDE THE TITLE OR PUBLICATION NUMBER FOR THE OPERATION AND MAINTENANCE MANUAL FOR THAT PARTICULAR MODEL AND TYPE OF PRODUCT.
- THE PERMANENT CERTIFICATE RE ENERGY EFFICIENT SHALL BE COMPLETED BY THE BUILDER OR OTHER APPROVED PARTY AND POSTED PER THE REQUIREMENTS OF ECCCNYS R401.3.
- AT CEILINGS WITHOUT ATTIC SPACES, R VALUE OF ROOF / CEILING INSULATION MAY BE REDUCED TO R-30 AS PER R402.2.2 AND LIMITATIONS SET FORTH IN THAT SECTION.
- PER R402.4.5, RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES, AND SHALL BE IC-RATED AND LABELED AS HAVING AND AIR LEAKAGE OF NOT GREATER THAN 2.0 CFM WHEN TESTED IN ACCORDANCE WITH ASTM E283 AT A PRESSURE DIFFERENTIAL OF 1.57 PSF. RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULKED BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING.

## ENERGY CODE ANALYSIS

THE CHART DEMONSTRATES COMPLIANCE OF THIS PROJECT WITH APPLICABLE REQUIREMENTS OF THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE (ECCCNYS), U.G.N., ALL CODE SECTIONS REFERENCED REFER TO ECCCNYS.

ITEM DESCRIPTION	PROPOSED VALUE	ECCCNYS PRESCRIBED VALUE
BLDG TYPE: RESIDENTIAL		
CLIMATE ZONE: 4A		
COMPLIANT: PRESCRIPTIVE - SECTIONS R401 THROUGH R404		
DE: VEG ROOF R-VALUE	R-34 (1" GLASS CELL INSULATION (R-6) MIN + R-18 COARFIBER MAT INSULATION)	PER TABLE R402.1.2: UN-48
WOOD-FRAME WALL R-VALUE	R-13 (R-12 WOODWALL ASSEMBLY + R (SHEATHING R-1)	PER TABLE R402.1.2: UN-48 GARTY (R-13) GARTY + R-1 (CONTIGUOUS)
FLOOR R-VALUE	R-21	PER TABLE R402.1.2: UN-48 R-19
CEILING SPACE (R-VALUE)	R-13	R-13
WINDUZE	PER TABLE R402.1.2: UN-48 R-10	PER TABLE R402.1.2: UN-48 R-10
FENESTRATION (W/ATTIC AND SOLAR HEAT GAIN)	FENESTRATION U-FACTOR: MAX U-0.30 GLAZED FENESTRATION SHGC: MAX SHGC 0.47	PER TABLE R402.1.2: FENESTRATION U-FACTOR: MAX U-0.30 PER TABLE R402.1.2: GLAZED FENESTRATION SHGC: MAX SHGC 0.48
AIR LEAKAGE	WHERE APPLICABLE AT AREAS OF NEW WORK, THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH AIR LEAKAGE AND CRITERIA AS INDICATED IN TABLE R402.1.1.1. GAPS, PENETRATIONS, SEAMS, JOINTS, ETC. TO BE SEALED UNLESS OTHERWISE SPECIFIED. TAPED IN APPROVED MANNER TO MINIMIZE AIR LEAKS.	PER TABLE R402.1.1: BUILDING THERMAL ENVELOPE SHALL LIMIT AIR LEAKAGE IN ACCORDANCE WITH REQUIREMENTS OF SECTION PAGE 4 AND CRITERIA INDICATED IN TABLE R402.1.1.
FENESTRATION AIR LEAKAGE	WINDUZE, WINDOWS AND SLIDING DOORS SHALL HAVE AN AIR INFILTRATION RATE OF NOT GREATER THAN 0.3 CFM PER SQUARE FOOT. SLIDING DOORS SHALL HAVE AN AIR LEAKAGE OF NOT GREATER THAN 0.5 CFM PER SQUARE FOOT. FINAL INSPECTION R-40N TESTED AS NOTED IN THE NEXT COLUMN.	PER TABLE R402.1.1: WINDOWS, DOORS AND SLIDING DOORS SHALL HAVE AN AIR INFILTRATION RATE OF NOT GREATER THAN 0.3 CFM PER SQUARE FOOT AND FOR SLIDING DOORS SHALL HAVE AN AIR LEAKAGE OF NOT GREATER THAN 0.5 CFM PER SQUARE FOOT, WHEN TESTED IN ACCORDANCE WITH ASTM E283 AT A PRESSURE DIFFERENTIAL OF 1.57 PSF. AS APPROVED BY THE MANUFACTURER.
ELECTRICAL POWER AND LIGHTING SYSTEMS	NOT LESS THAN 90% OF NEW PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH EFFICIENCY LAMPS.	PER TABLE 1: NOT LESS THAN 90% OF NEW PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH EFFICIENCY LAMPS.

225 MONSELL PLACE

ISSUE/REVISION DATE

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## MECHANICAL ENGINEER

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## AV + IT CONSULTANT

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## ACOUSTICAL CONSULTANT

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## GENERAL NOTES

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STAMP & SIGNATURE 	PRJ. NO.: 2018
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	<b>G-001</b>



ANNOTATION SYMBOLS LEGEND

- INTERIOR ELEVATION MARKER
- EXTERIOR ELEVATION MARKER
- ROOM TAG
- SECTION HEAD
- ENLARGED AREA CALLOUT
- ELEVATION / DATUM MARKER
- DRAWING TITLE
- DOOR TAG
- CENTERLINE
- PARTITION TAG
- WINDOW TAG
- FINISH TAG
- REVISION TAG

MATERIAL LEGEND

- SOIL
- CUT TILE
- RIGID INSULATION
- FINISH CONCRETE
- WOOD SECTION
- STONE / TILE FACE
- GLASS
- WOOD FACE
- CUT STONE
- WOOD PLANK
- STEEL
- ALUMINUM
- STRUCTURAL CONCRETE
- BRICK

ABBREVIATIONS LIST

- AT AIR CONDITIONER UNIT
- A.C., AC ACOUSTIC CEILING TILE
- A.C.T. AREA DRAIN
- A.F.F. ABOVE FINISH FLOOR
- A.N. AS NOTED
- ADJ. ADJACENT
- ADJUST. ADJUSTABLE
- ALUM. ALUMINUM
- APT. APARTMENT
- B. BATH
- B. CAB. BASE CABINET
- B.C. BRICK COURSES
- B.F. BOILER FLUE
- B.O.S. BOTTOM OF SLAB
- B.R. BEDROOM
- B.S.A. BOARD OF STANDARDS AND APPEALS
- B.T. BATH TUB
- B.V. (B.E.) BATH VENT (BATH EXHAUST)
- BD. BOARD
- BLDG. BUILDING
- B.L.K. BLOCK
- BM. BEAM
- BOT. BOTTOM
- BR. BRICK
- BTW. BETWEEN
- C. C.I. CAULKED CONTROL JOINT
- C. J.T. CAULK JOINT
- C.H. CONCRETE HARDENING
- C.I.S. CAST IRON SADDLE
- C.J. CONTROL JOINT
- C.L.L. CONTRACT LIMIT LINE
- C.M.T. CORRUGATED METAL TIE
- C.O. CLEAN OUT
- C.R. CEILING REGISTER
- C.S. CAST STONE
- C.T. CERAMIC TILE
- C.W. COLD WATER
- CAB. CABINET
- CAULK. CAULKING
- CEM. CEMENT
- CH. CHAMBER
- CL. CLOSET
- CLG. CEILING
- CMU CONCRETE MASONRY UNITS
- COL. COLUMN
- CONC. CONCRETE
- CONT. CONTINUOUS
- CONV. CONVECTOR
- CORR. CORRIDOR
- COUNT. COUNTER
- CPT. CARPET
- CRS. COURSE
- D.F. DELIVERED FINISHED

ABBREVIATIONS LIST

- D.L. DOUBLE LAYER
- D.R. DINING ROOM
- D.U. DWELLING UNIT
- D.W. DISHWASHER
- DET. DETAIL
- DIA. DIAMETER
- DIAG. DIAGONAL
- DIM. DIMENSION
- DIR. DIRECTIONAL
- DIV. DIVIDER
- DN. DOWN
- DR. DOOR
- DRN. DRAIN
- DWG. DRAWING
- DX. DRYER EXHAUST
- EIK. EAT IN KITCHEN
- ELEC. ELECTRIC(AL)
- ELEC. HT. ELECTRIC HEATER
- ELEC. MET. ELECTRIC METER
- ELEV. ELEVATOR
- ENAM. PT. ENAMEL PAINT
- EQ. EQUIP.
- EST. GD. ESTABLISHED GRADE
- EXIT. EXIT SIGN
- EXIT LT. EXIT LIGHT
- EXP. EXPANSION
- EXP. CONC. EXPOSED CONCRETE
- EXP. JT. EXPANSION JOINT
- EXT. EXTERIOR
- F. EX. FIRE EXTINGUISHER
- F. HT. FULL HEIGHT
- F. RT. FIRE RATING
- F.A. INT. FRESH AIR INTAKE
- F.B. FACE BRICK
- F.F.B.D. FULL FALSE BEAM DROP
- F.F.E.L. FINISH FLOOR ELEVATION
- F.H.M. FLUSH HOLLOW METAL
- F.O. FLUSH OPENING
- F.P. FIRE PROOF
- F.P.C. FACTORY PRIME COAT
- F.P.H.B. FROSTPROOF HOSE BIBB
- F.P.S.C. FIREPROOF SELF-CLOSING
- F.P.W.G. FIREPROOF WIRE GLASS
- F.S.P. FIRE STANDPIPE
- F.FE. FURNITURE FITTINGS EQUIPMENT
- F.FN. FINISH (ED)
- F.FN. FL. FINISH FLOOR
- F.FX. FIXTURE
- F.L. FLOOR
- F.L. DR. FLOOR DRAIN
- FOUND. FOUNDATION
- FYR. FOYER

ABBREVIATIONS LIST

- G.B. GRAB BAR
- G.B.F.B. GYPSUM BOARD FURRED BEAM
- G.B.H.C. GYPSUM BOARD HUNG CEILING
- G.B.T.O. GYPSUM BOARD TRIMMED OPENING
- G.C. GENERAL CONTRACTOR
- G.E.P. GLOSS ENAMEL PAINT
- GA. GAUGE
- GALV. GALVANIZED
- GEN. GENERAL
- GL. GLASS
- GR. GRADE
- GRS. CH. GARBAGE CHUTE
- GWB. GYPSUM WALLBOARD
- GYP. GYPSUM
- GYP. BD. DRYWALL CONSTRUCTION
- H.B. HOSE BIB
- H.C. HUNG CEILING
- H.M. HOLLOW METAL
- H.P. HIGH POINT
- H.R. HAND RAIL
- H.V. HALL VENT (DUCT)
- H.W. HOT WATER
- HT. HEIGHT
- HVAC. HEATING, VENTILATION, AIR CONDITIONING
- ID. INSIDE DIAMETER
- I.G.B.C. INSULATED GYPSUM BOARD CEILING
- INCL. INCLUDED, INCLUDING
- INSUL. INSULATION
- INT. INTERIOR
- JAN. CL. JANITOR CLOSET
- J.T. JOINT
- KIT. KITCHEN
- KITTE. KITCHENETTE
- KX. KITCHEN EXHAUST
- L.D. LOUVER DOOR
- L.L.A. LOOSE LINTEL ABOVE
- L.P. LOW POINT
- L.R. LIVING ROOM
- LAM. LAMINATED
- LAM. PL. LAMINATED PLASTIC
- LAV. LAVATORY
- LDR. LEADER
- LIB. LIBRARY
- LIN. CL. LINEN CLOSET
- L.T. WT. LIGHTWEIGHT
- M.B. MASTER BATHROOM
- M.E.A. MATERIAL & EQUIPMENT ACCEPTANCE DIV.
- M.L. METAL LINED
- M.L.V. METAL LOUVER VENT
- M.O. MASONRY OPENING
- M.T. MEN'S TOILET
- M.W. MECHANICAL WATERPROOFING
- MAINT. MAINTAIN, MAINTENANCE
- MAS. MASONRY
- MAX. MAXIMUM

ABBREVIATIONS LIST

- M.B. S.D.L. MARBLE SADDLE
- M.B.R. MASTER BEDROOM
- MECH. MECHANICAL
- MET. METAL
- MIN. MINIMUM
- MISC. MISCELLANEOUS
- MSTRY. MASONRY
- MTD. MOUNTED
- N.C. NON-CORROSIIVE
- N.H.C. NO HUNG CEILING
- N.L.C. NOT IN CONTRACT
- N.T.S. NOT TO SCALE
- NO. (#) NUMBER
- NOM. NOMINAL
- O.C. ON CENTER
- O.D. OUTSIDE DIMENSION
- O.F. OVERFLOW
- O.H. OPPOSITE HAND
- O.T.B. OPEN TO BELOW
- OPEN SH. OPEN SHELF/ SHELVES
- OPG. OPENING
- OPN. CAB. OPEN CABINET
- OPP. OPPOSITE
- P.D. PUMP DISCHARGE
- P.H. PUBLIC HALL
- P.V. PUBLIC CORRIDOR VENT DUCT
- PART. PARTITION
- PREC. PRECE
- PL. PLANTER
- PL. BX. PLANTER BOX
- PL. DRN. PLANTER DRAIN
- PLY. D. PLYWOOD DIVIDER
- POL. POLISHED
- PR. SLR. PRIMER SEALER
- PRMD. FIL. PREMOLDED FILLED
- PT. PTD. PAINTED
- PWR. POWDER ROOM
- R. ROOM
- R.D. ROOF DRAIN
- R.H. RANGE HOOD
- R.W. RETAINING WALL
- RAD. RADIATOR, RADIUS
- REC. RECESSED
- REF. REFRIGERATOR
- RESIL. RESILIENT
- RH. RECESSED HAMPER
- RM. ROOM
- S. SINK
- S.A. SLEEPING AREA
- S.A.D. SMOKE ACTIVATED DOOR
- S.A.P. SIMULATED ACOUSTICAL PAINT
- S.I.P. SOUND INSULATED PARTITION
- S.O. SLAB OPENING
- S.O.P. SPRAY ON PAINT
- S.T.C. SOUND TRANSMISSION CLASSIFICATION

ABBREVIATIONS LIST

- S.V. SERVICE VENT (DUCT)
- S.W. SHEAR WALL
- SEP. SEPARATE
- SH. SHOWER
- SHLV. SHELF, SHELVES
- SN. RD. SINGLE ROD
- S.S.D. SLIDING SHOWER DOORS
- SPRKL. SPRENNLER
- ST. STL. STAINLESS STEEL
- STAT. STATIONARY
- STL. STEEL
- STL. SD. STEEL SADDLE
- STOR. STORAGE
- STR. JTS. STRUCTURAL JOINTS
- SURF. MTD. SURFACE MOUNTED
- SV. CL. SERVICE CLOSET
- SV. EL. SERVICE ELEVATOR
- T.C. TOP OF COPING
- T.F.O. TOP FLOOR ONLY
- T.O. TRIMMED OPENING
- T.O.C. TOP OF CURB
- T.O.S. TOP OF SLAB
- T.O.W. TOP OF WALL
- T.R. TOP REGISTER
- TEMP. TEMPERED
- TERR. TERRAZZO
- TEX. AC. PT. TEXTURED ACOUSTIC PAINT
- TH. THICK
- TRZ. SD. TERRAZZO SADDLE
- TV. TELEVISION
- TWL. BR. TOWEL BAR
- TX. TOILET EXHAUST
- TYP. TYPICAL
- U.C. UNDERCUT
- U.O.N. UNLESS OTHERWISE NOTED
- URN. URINAL
- V.C.B. VINYL COVE BASE
- V.C.J. VINYL CONTROL JOINT
- V.C.T. VINYL COMPOSITE TILE
- V.S.B. VINYL STRAIGHT BASE
- V.T. VINYL TILE
- V.W.F. VINYL WALL FABRIC
- VENT. VENTILATION
- VEST. VESTIBULE
- VIF. VERIFY IN FIELD
- VIS. PANL. VISION PANEL
- W.C. WATER CLOSET
- WH. WEEP HOLE
- W.I. WROUGHT IRON
- W.I.C. WALK IN CLOSET
- W.P. WATERPROOF
- W.R.G.B. WATER RESISTANT GYPSUM BOARD
- W.S. WEATHER STRIPPING
- W.T. WOMEN'S TOILET

ABBREVIATIONS LIST

- W. WITH
- W.D. WASHER / DRYER
- WID. WITHOUT
- WD. WOOD
- WHRL. WHIRLPOOL
- WHRL. A.P. WHIRLPOOL ACCESS PANEL
- WIND. DIM. WINDOW DIMENSION
- WL. CAB. WALL CABINET
- WM. WASHING MACHINE
- WR. GL. WIRE GLASS
- WTR. RES. WATER RESISTANT

THE TURETT COLLABORATIVE:

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DRAWING TITLE

SYMBOLS AND ABBREVIATIONS

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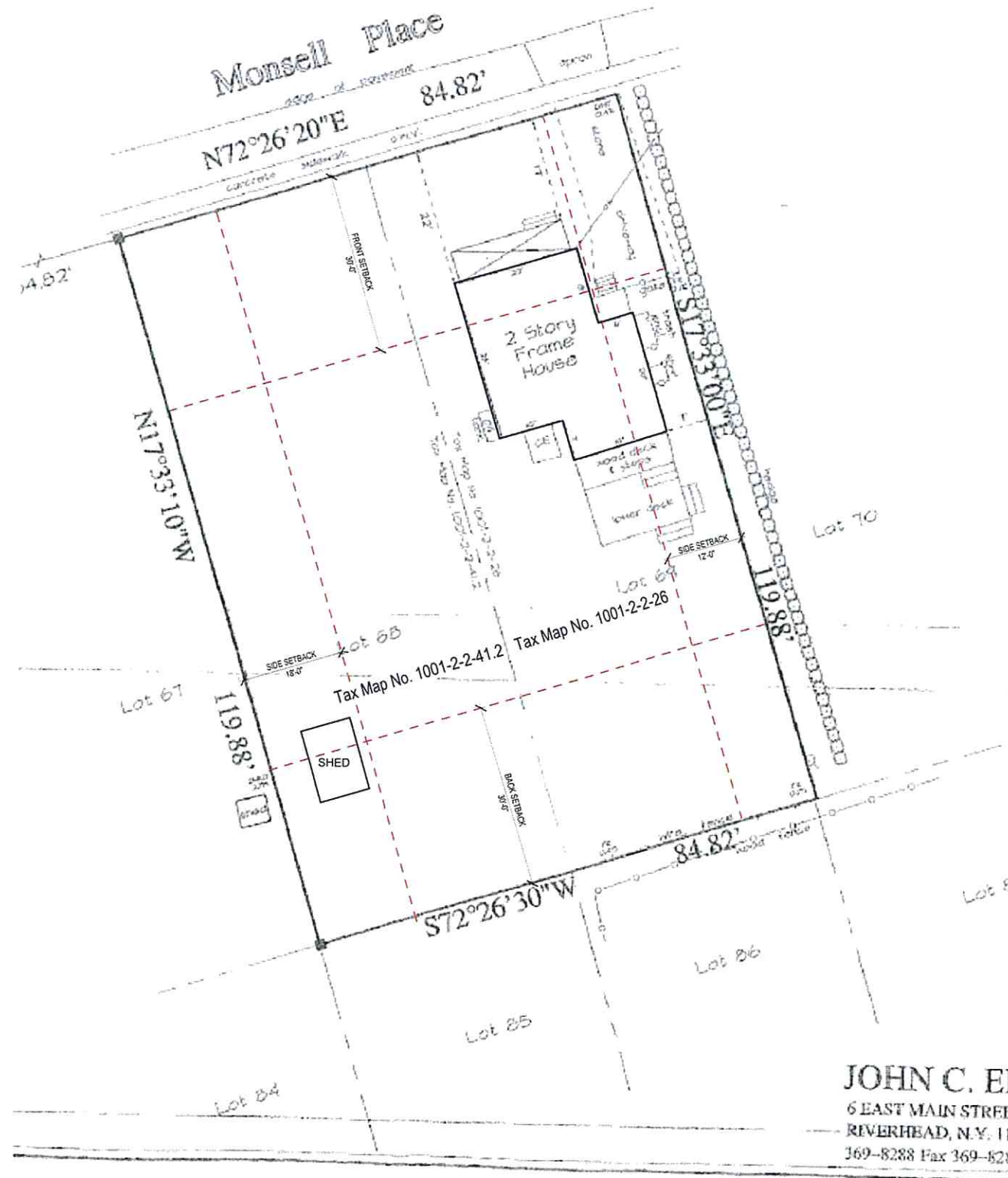
VILLAGE OF GREENPORT  
BUILDING DEPARTMENT

	STAMP & SIGNATURE REGISTERED ARCHITECT DATE OF NEW YORK	PROJ. NO.: 2018 DATE: 01/08/20 SCALE: As indicated SHT. NO.:
	<b>G-002</b>	
	DRAWING TITLE	
	SYMBOLS AND ABBREVIATIONS	

Tax Map # 1001-2-226  
 Existing  
 AREA OF HOUSE + DECK = 1,120 sf  
 LOT AREA = 5,040 SF  
 LOT COVERAGE = 22.2%

Proposed design  
 AREA OF HOUSE AND DECK = 1,508 SF  
 LOT AREA 5,040 SF  
 LOT COVERAGE 29.9%

PROPERTY OF JOHN A. MONSELL



JOHN C. EI  
 6 EAST MAIN STREET  
 REVERHEAD, N.Y. 11  
 369-8288 Fax 369-8288

225 MONSELL PLACE

ISSUE/REVISION	DATE
2 Rev 2	04/06/22

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 NEW YORK, NY, 10007  
 212.965.1244

STRUCTURAL ENGINEER  
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MECHANICAL ENGINEER  
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AV + IT CONSULTANT  
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EXISTING SURVEY

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VILLAGE OF GREENPORT  
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	STAMP & SIGNATURE	PROJ. NO.: 2018
		DATE: 03/17/21
		SCALE:
		SHT. NO.: Z-001



ISSUE/REVISION	DATE
1. deleted Bilco Dr	033022

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 NEW YORK, NY, 10007  
 212.965.1244

STRUCTURAL ENGINEER

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MECHANICAL ENGINEER

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AV + IT CONSULTANT

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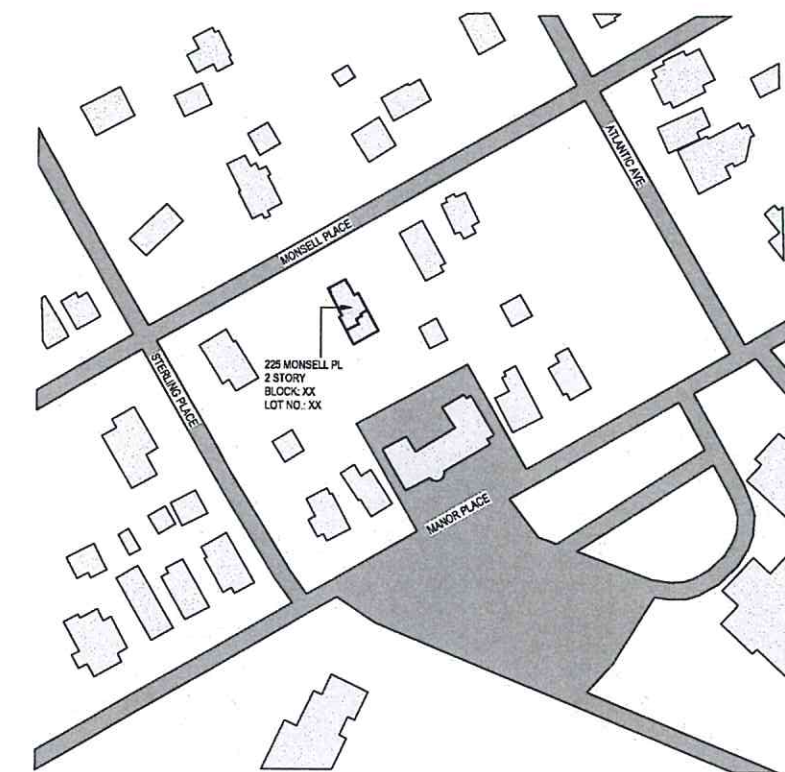
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NEW PROPOSED SITE PLAN

	PROJ. NO.:	2018
	DATE:	01/08/20
	SCALE:	As indicated
	SHT. NO.:	Z-002



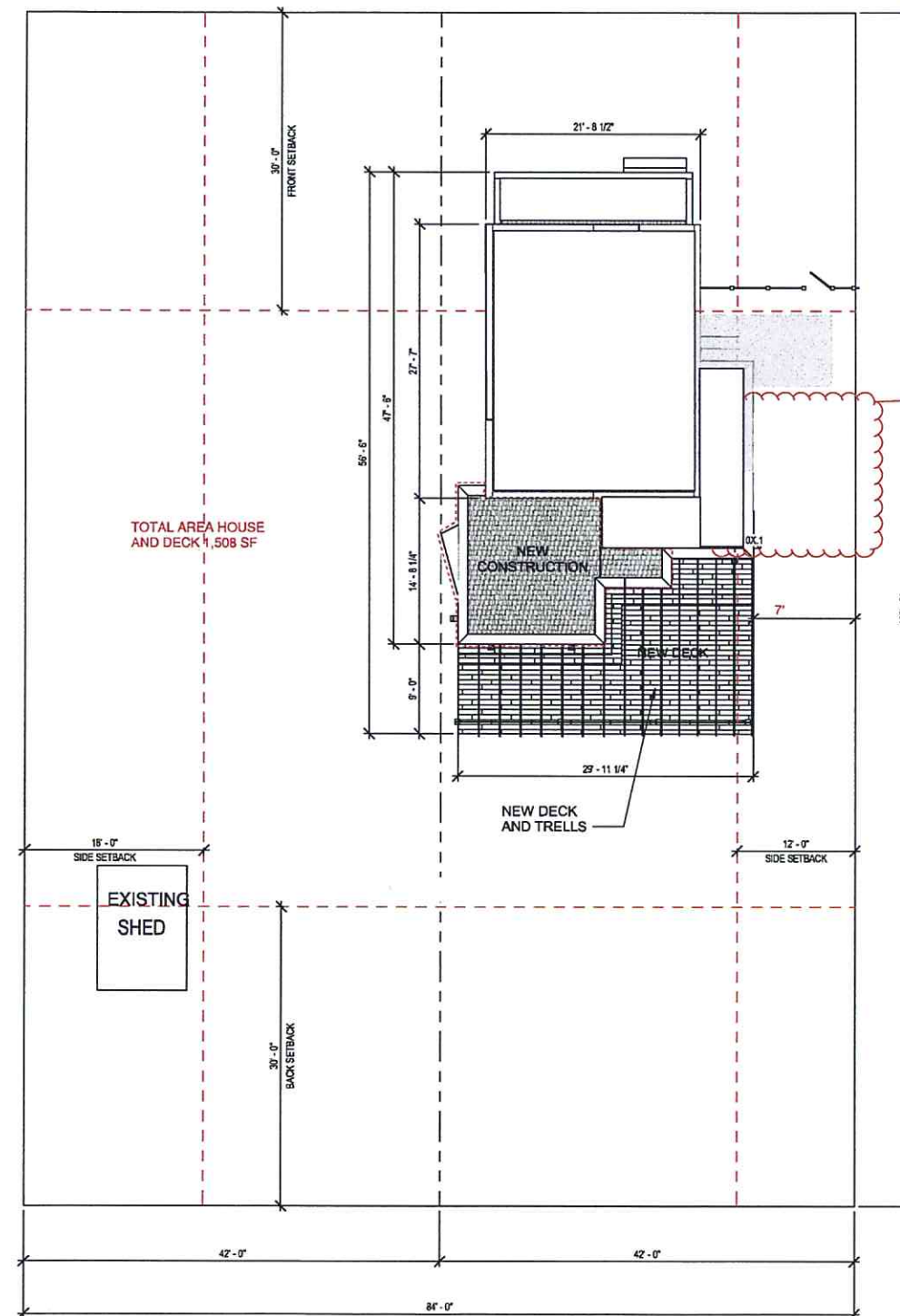
1 Location Plan  
 1" = 80'-0"

BULK REQ.	ii
DISTRICT	R-1
MINIMUM REQUIREMENTS FOR 1-FAMILY DETACHED...	
LOT SIZE (SQUARE FEET)	10,000
LOT WIDTH (FEET)	80
LOT DEPTH (FEET)	100
FRONT YARD (FEET)	30
SIDE YARD (FEET)	12
BOTH SIDE YARDS (FEET)	30
REAR YARD (FEET)	30
LIVABLE FLOOR AREA (SQUARE FEET PER DWELLING UNIT)	1,000
MAXIMUM PERMITTED DIMENSIONS:	
LOT COVERAGE (PERCENT)	30%
BUILDING HEIGHT (FEET)	35
NUMBER OF STORIES	2

Existing First Floor = 874 SF  
 Proposed First Floor = 1,110 SF

Existing Second Floor = 599 SF  
 Proposed Second Floor = 599 SF

Existing Deck = 246 SF  
 Proposed Deck = 398 SF



2 SITE PLAN  
 1/8" = 1'-0"



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ISSUE/REVISION	DATE
Rev 1 - delete Bilco door	03/30/22
Rev 2 - revised baywindow to be on one lot.	06/01/22

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STRUCTURAL ENGINEER  
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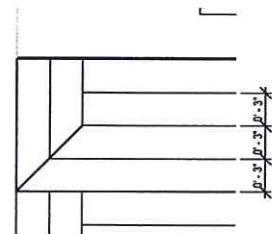
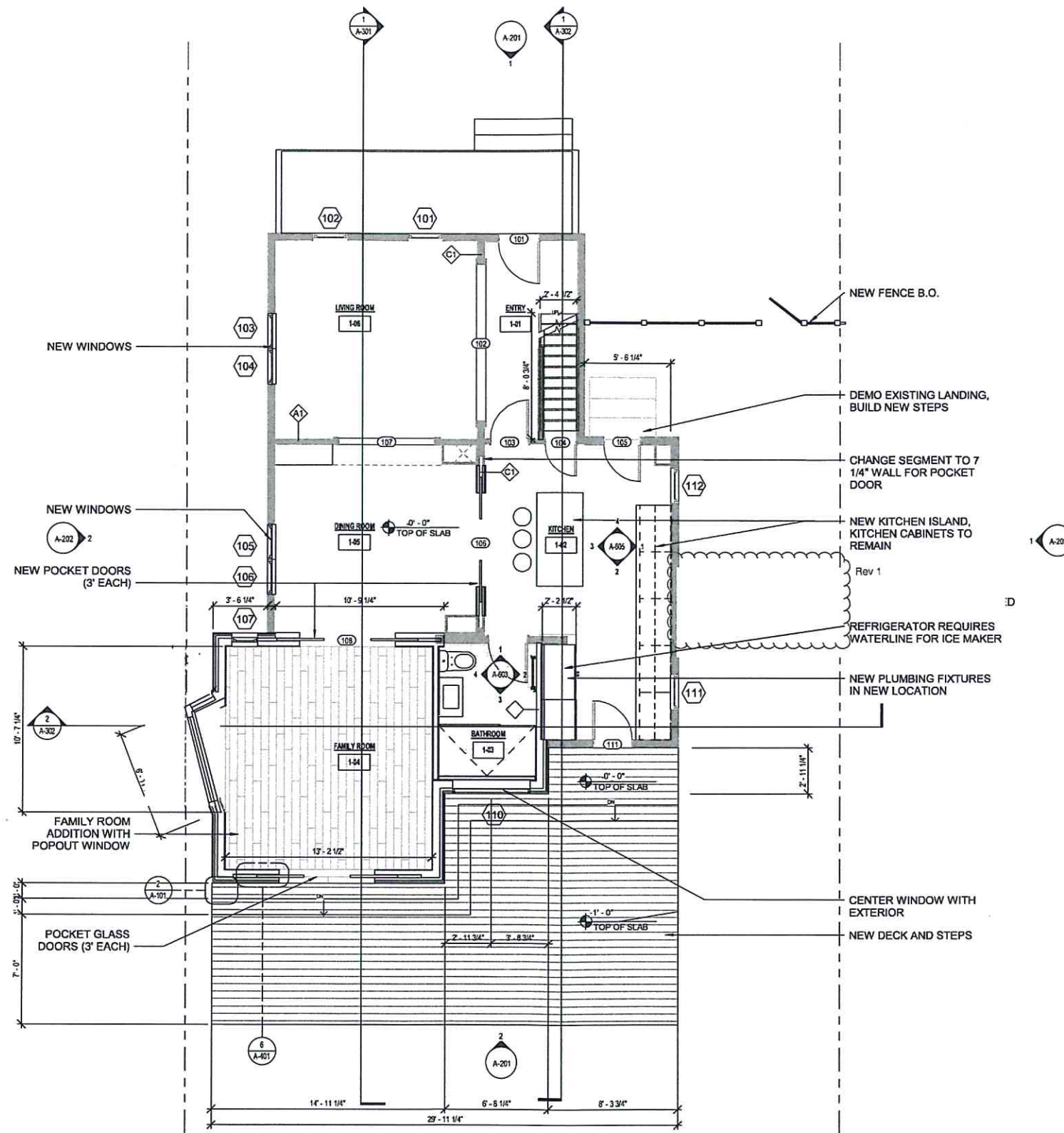
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**CONSTRUCTION PLAN -  
 LEVEL 1**

	PROJ. NO.: 2018
	DATE: 01/07/20
	SCALE: As indicated
	SHT. NO.: A-101



2 PLAN DETAIL - WOOD DECK  
 1/4" = 1'-0"

1 CONSTRUCTION PLAN - LEVEL 1  
 1/4" = 1'-0"

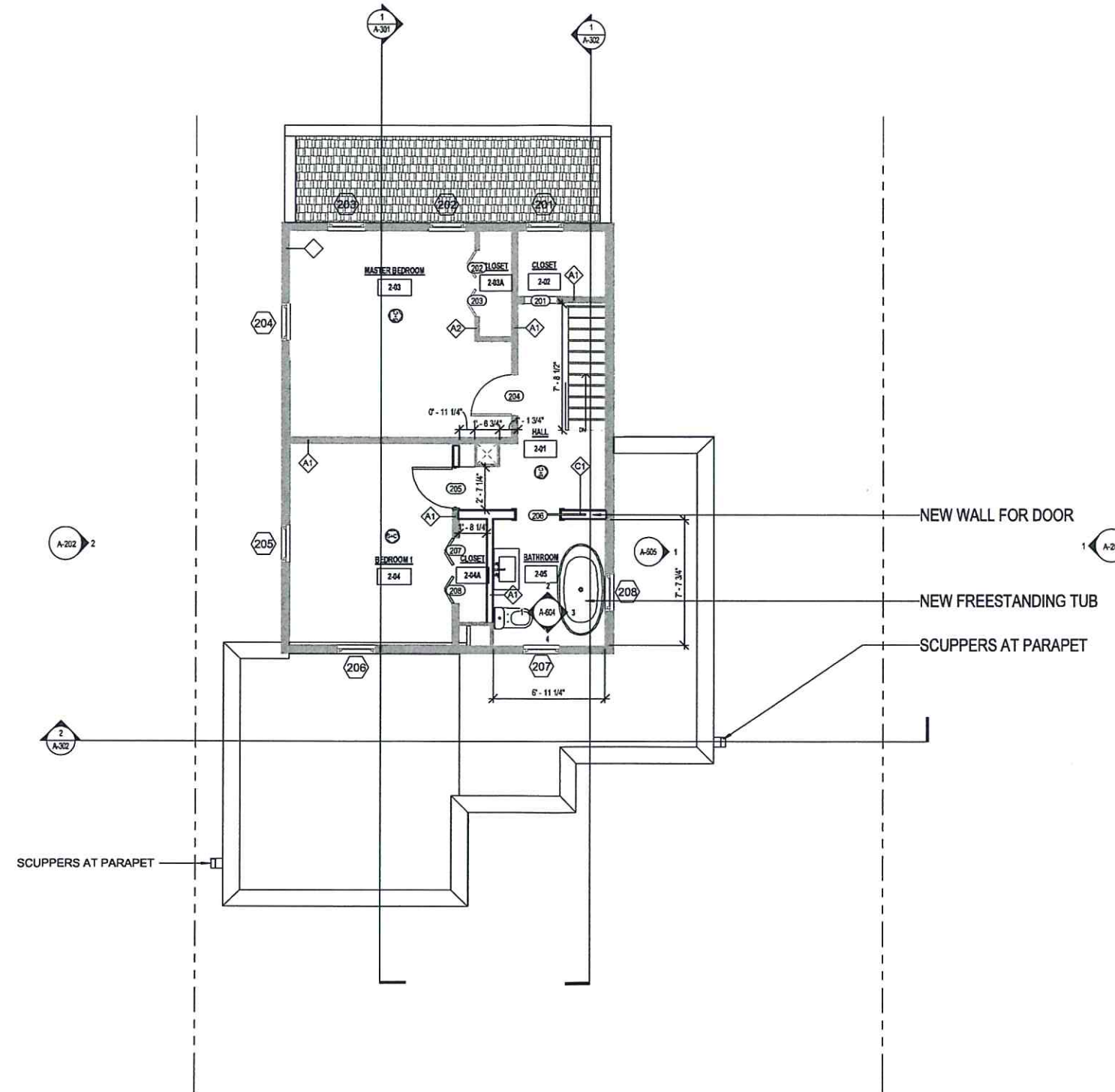
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 BUILDING DEPARTMENT



ISSUE/REVISION	DATE
1 Revision 1	08/04/2021



1 CONSTRUCTION PLAN - LEVEL 2  
1/4" = 1'-0"

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STRUCTURAL ENGINEER  
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CONSTRUCTION PLAN -  
 LEVEL 2

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		DATE: 09/15/19
		SCALE: 1/4" = 1'-0"
		SHT. NO.: 40

A-102

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STRUCTURAL ENGINEER  
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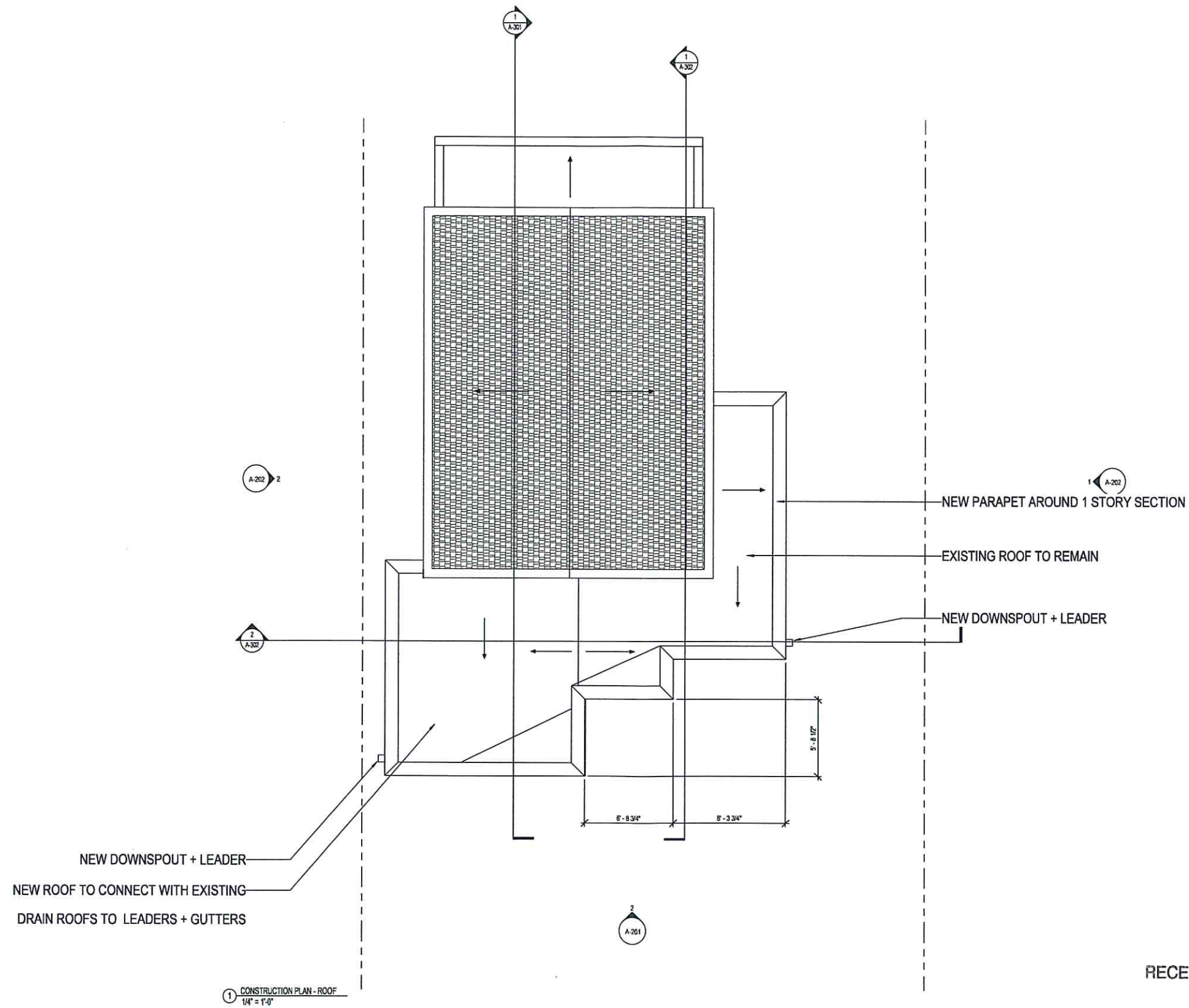
THE TURETT COLLABORATIVE:

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DRAWING TITLE

**CONSTRUCTION PLAN - ROOF**

	PROJ. NO.:	2018
	DATE:	01/07/20
	SCALE:	1/4" = 1'-0"
	SHT. NO.:	A-103



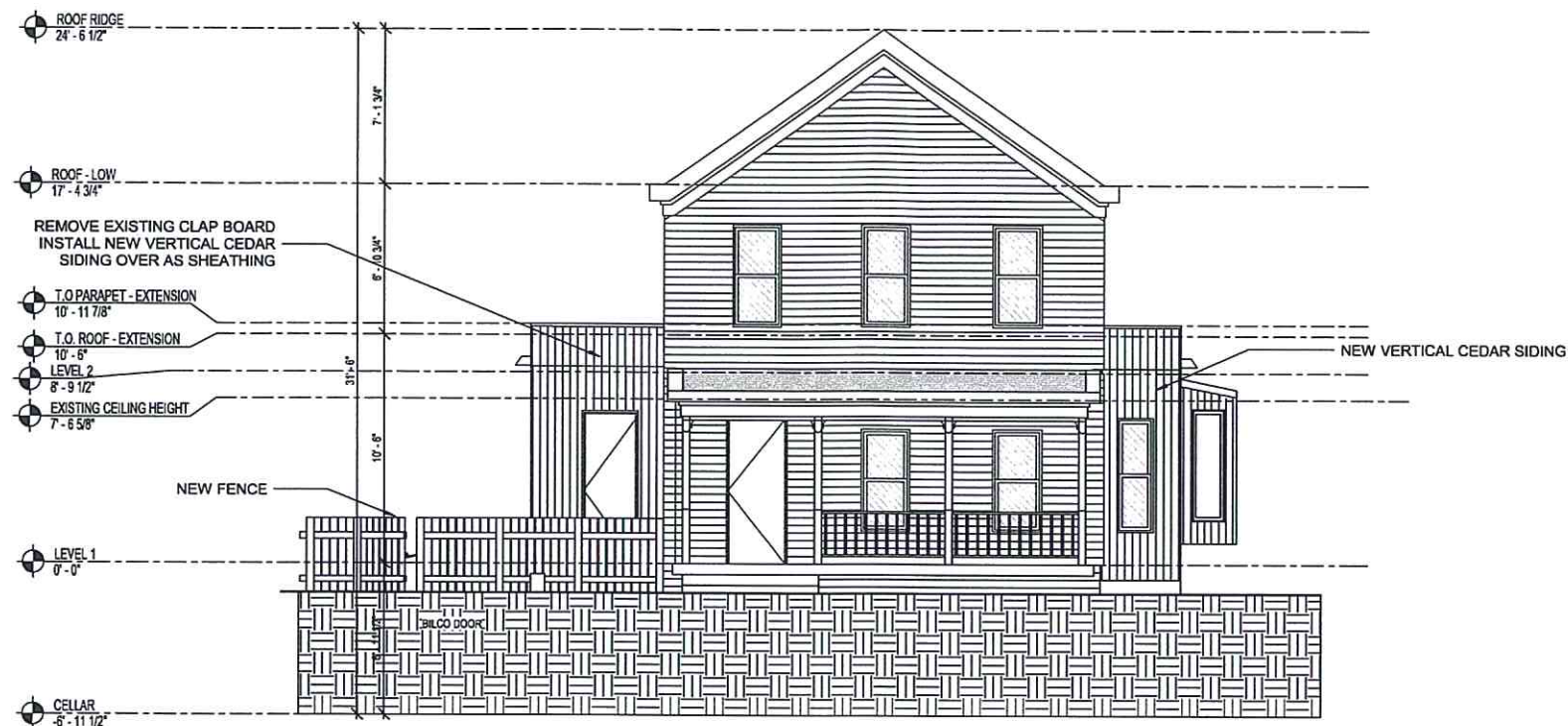
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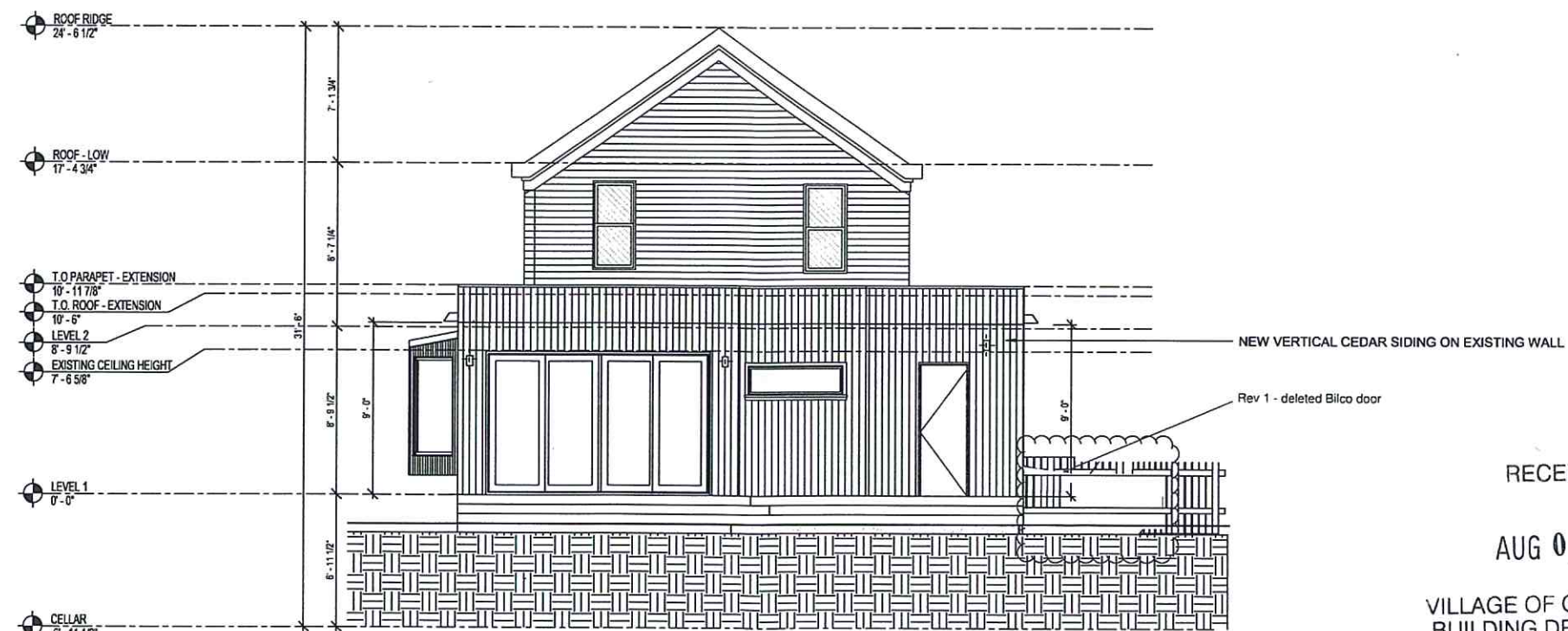
VILLAGE OF GREENPORT  
 BUILDING DEPARTMENT

① CONSTRUCTION PLAN - ROOF  
 1/4" = 1'-0"





① PROPOSED NORTH (FRONT) ELEVATION  
1/4" = 1'-0"



② PROPOSED SOUTH (REAR) ELEVATION  
1/4" = 1'-0"

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BUILDING DEPARTMENT

CONSULTANTS

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NEW YORK, NY, 10007  
212.965.1244

STRUCTURAL ENGINEER  
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CONSULTANT 7 TYPE  
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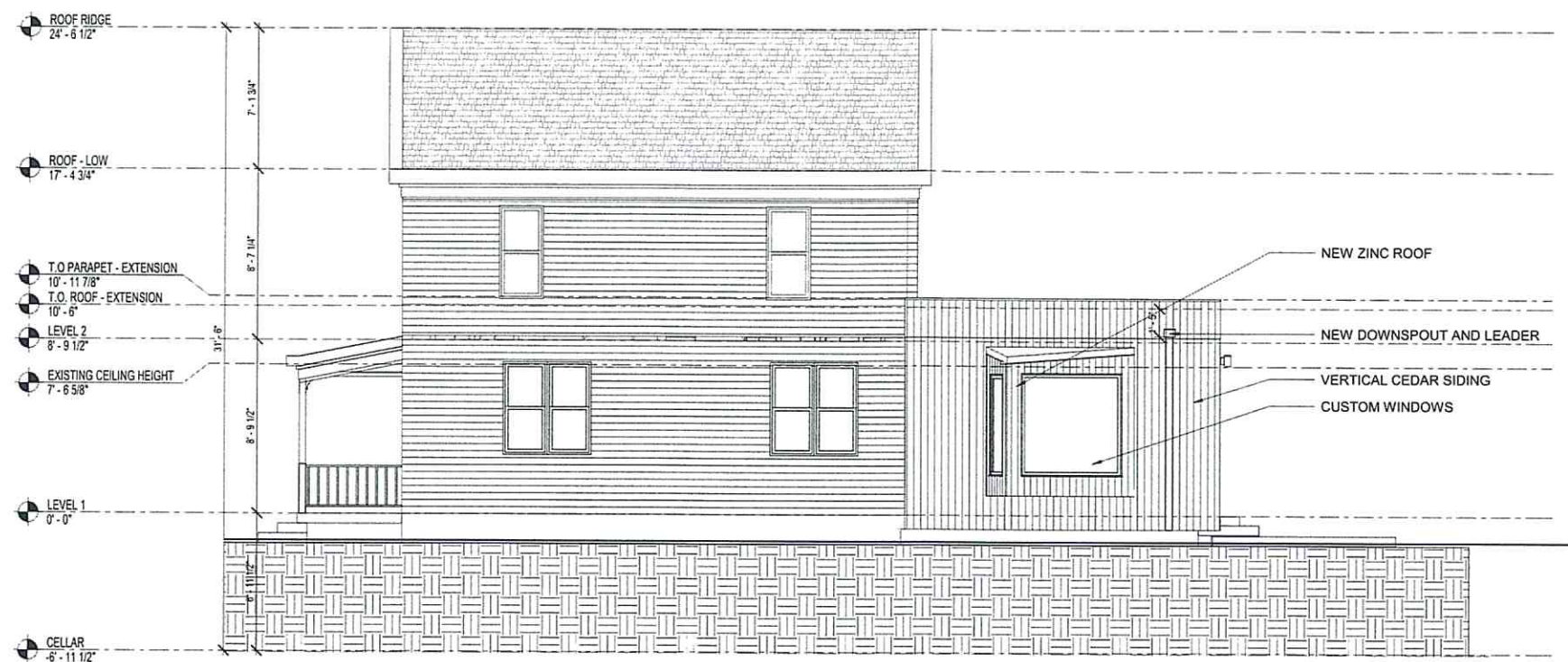
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BUILDING ELEVATIONS -  
NORTH & SOUTH

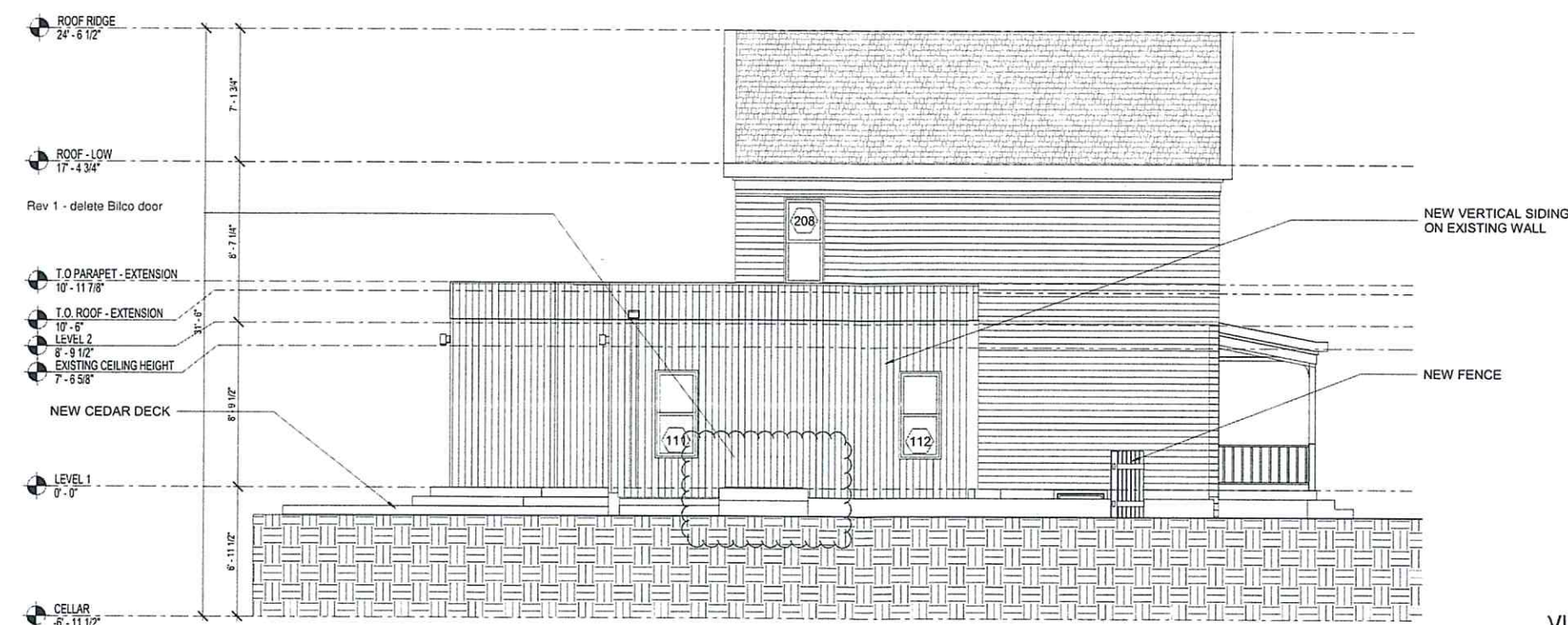
	STAMP & SIGNATURE	PROJ. NO.:	2018
		DATE:	09/23/19
		SCALE:	1/4" = 1'-0"
		SHT. NO.:	5 of 85

A-201





2 PROPOSED WEST ELEVATION  
1/4" = 1'-0"



1 PROPOSED EAST ELEVATION  
1/4" = 1'-0"

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BUILDING DEPARTMENT

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212.965.1244

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THE TURETT COLLABORATIVE

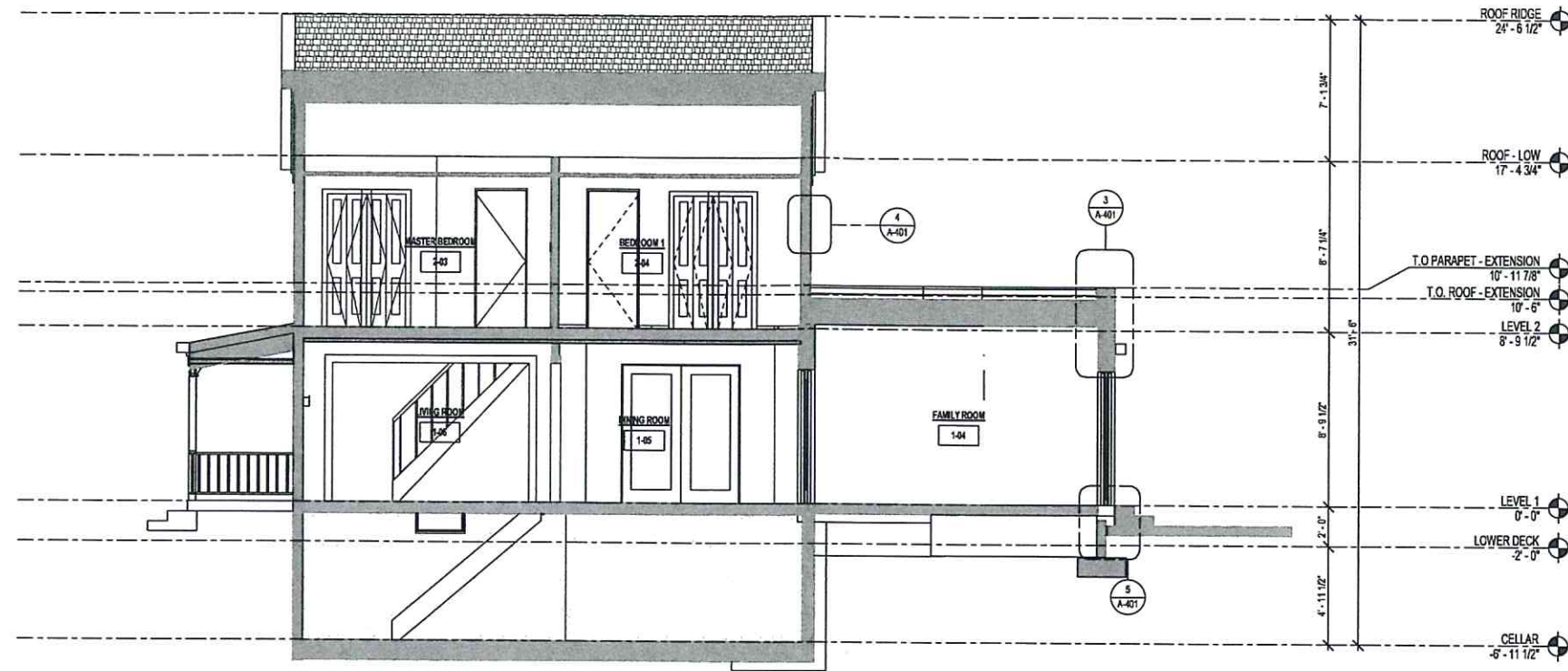
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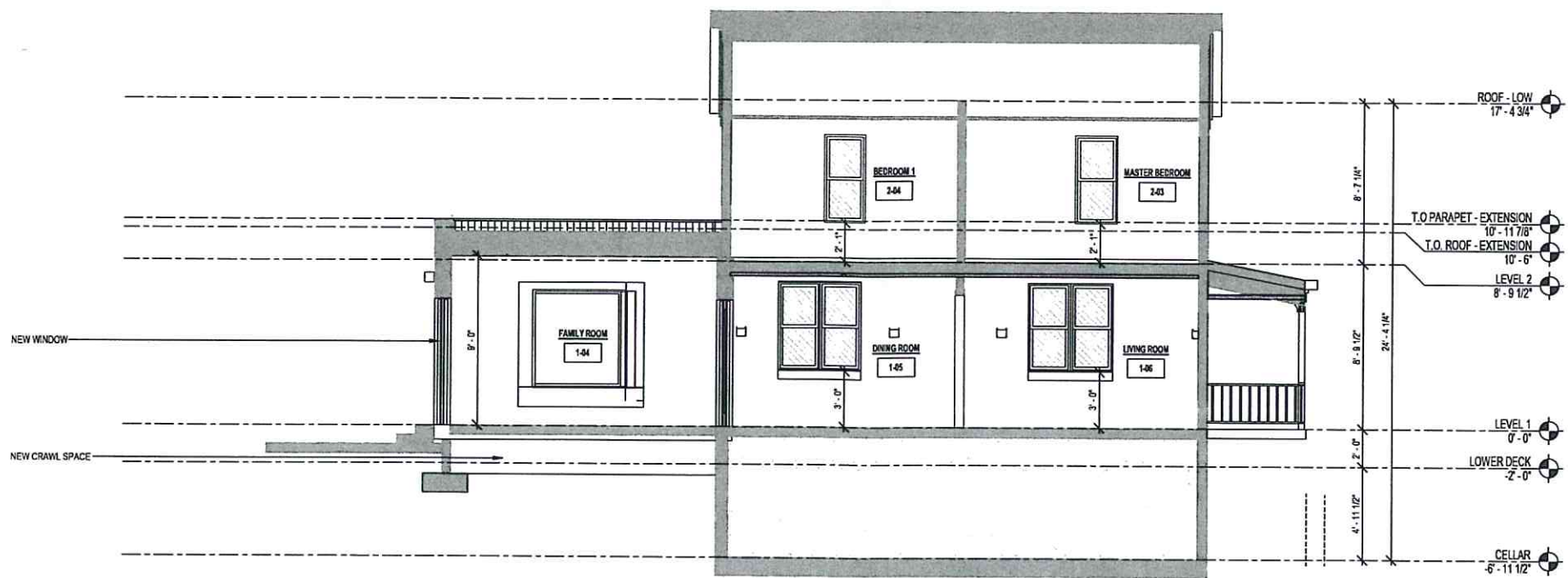
BUILDING ELEVATIONS -  
EAST & WEST

	STAMP & SIGNATURE	PROJ. NO.:	2018
		DATE:	01/04/21
		SCALE:	1/4" = 1'-0"
		SHT. NO.:	A-202





1 Section 9  
1/4" = 1'-0"



2 BUILDING SECTION  
1/4" = 1'-0"

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277 BROADWAY, SUITE 1300  
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212.965.1244

STRUCTURAL ENGINEER  
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AV + IT CONSULTANT  
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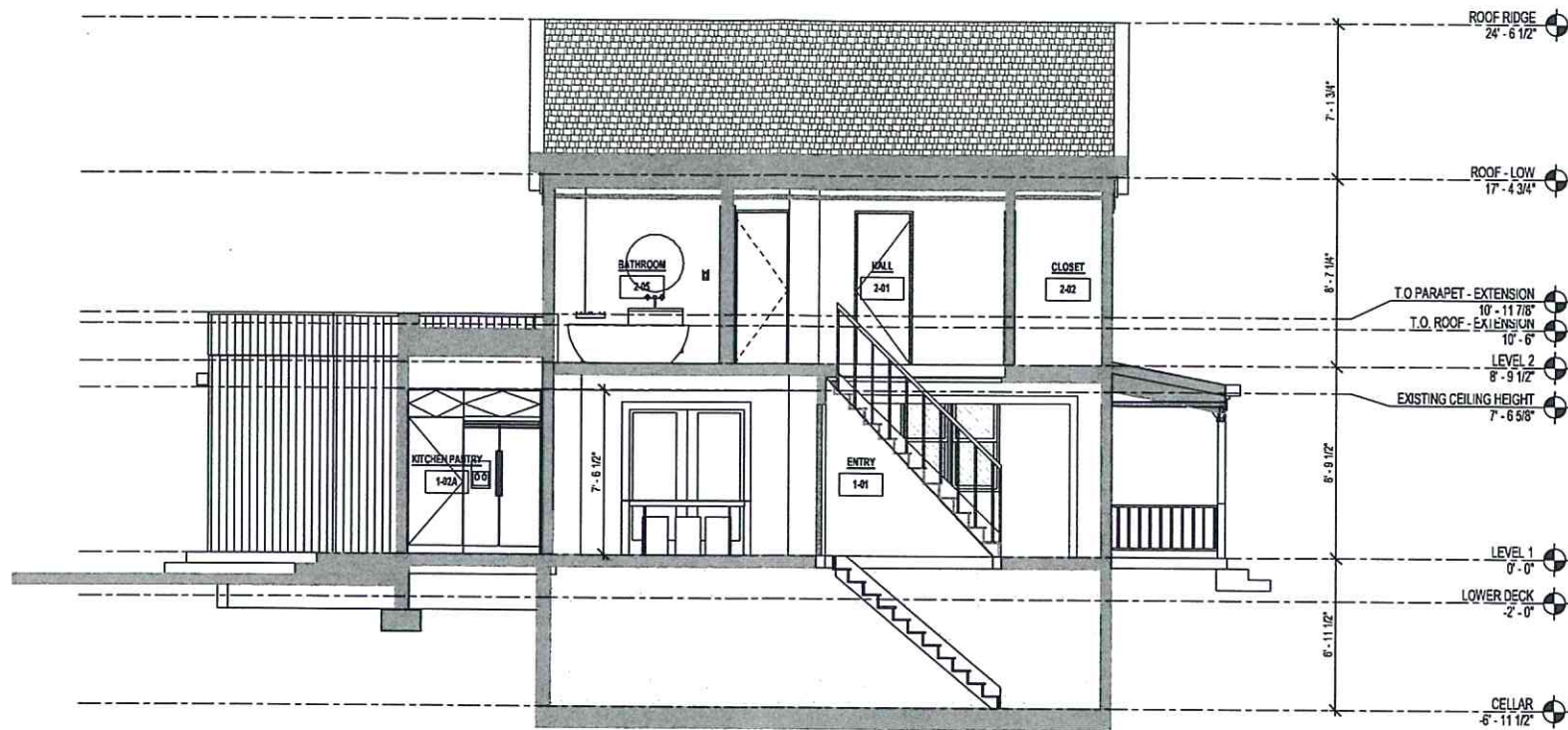
BUILDING SECTION

RECEIVED

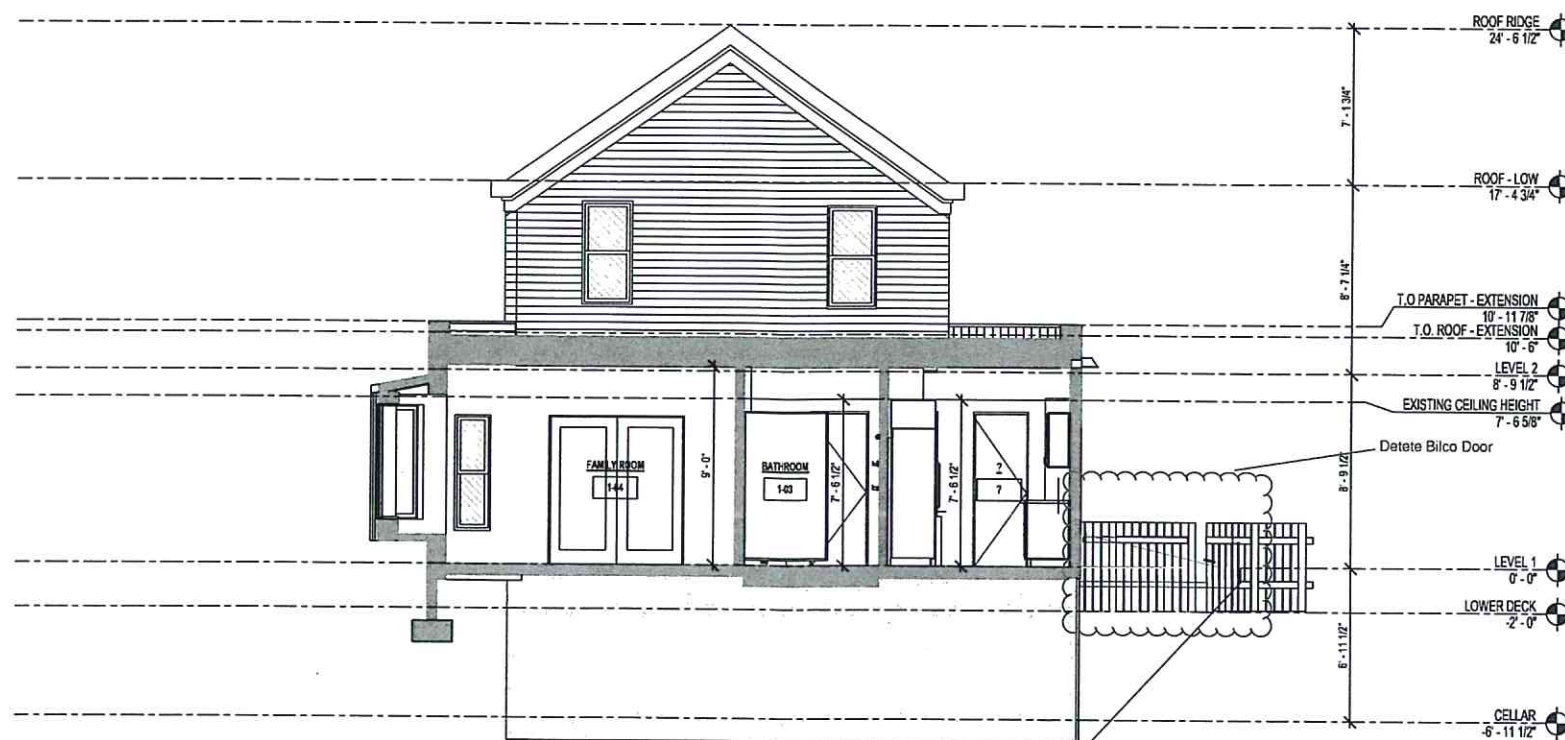
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VILLAGE OF GREENPORT  
BUILDING DEPARTMENT

	STAMP & SIGNATURE	PROJ. NO.:	2018
		DATE:	01/04/21
		SCALE:	1/4" = 1'-0"
		SHT. NO.:	A-301



1 Section 10  
1/4" = 1'-0"



2 Section 8  
1/4" = 1'-0"

CONSULTANTS

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NEW YORK, NY, 10007  
212.965.1244

STRUCTURAL ENGINEER  
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MECHANICAL ENGINEER  
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AV + IT CONSULTANT  
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ACOUSTICAL CONSULTANT  
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CONSULTANT 6 TYPE  
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BUILDING SECTION B

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VILLAGE OF GREENPORT  
BUILDING DEPARTMENT

	STAMP & SIGNATURE	PROJ. NO.: 2018
		DATE: 07/20/21
		SCALE: 1/4" = 1'-0"
		SHT. NO.: A-302



ISSUE/REVISION	DATE
1 Revision 1	08/04/2021

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 212.955.1244

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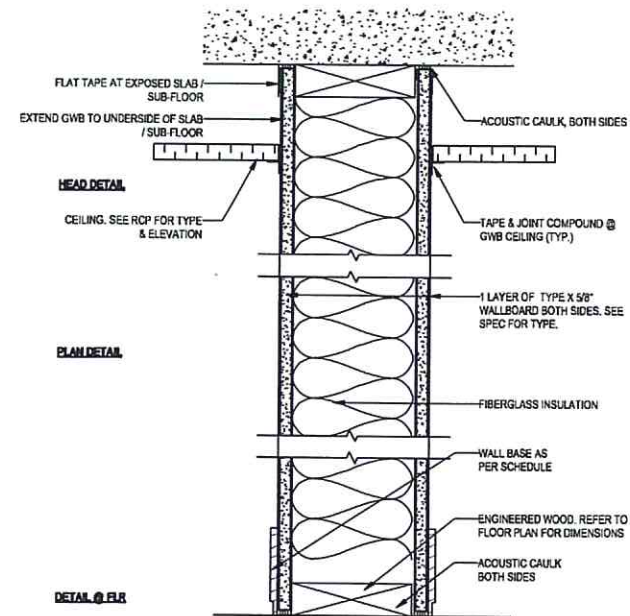
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PARTITION TYPES

	STAMP & SIGNATURE	PROJ. NO.: 2018
		DATE: 04/15/2021
		SCALE: 3" = 1'-0"
		SHT. NO.: A-601

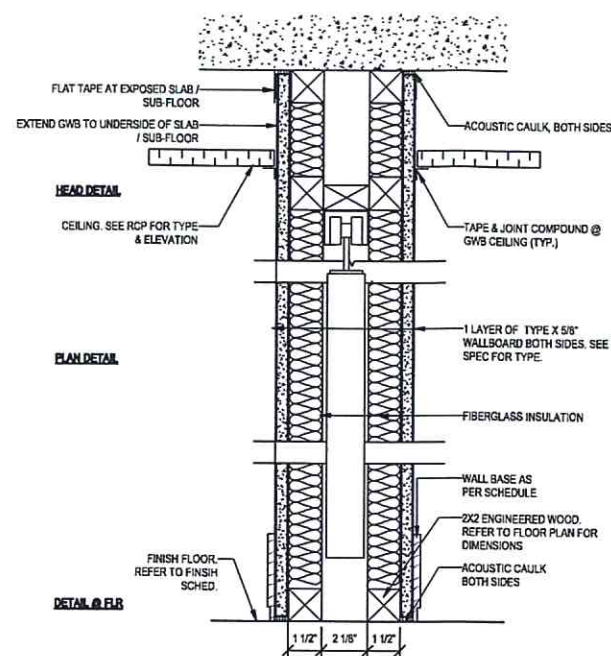
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 VILLAGE OF GREENPORT  
 BUILDING DEPARTMENT



PARTITION TYPE	STUD SIZE	OVERALL DIMENSION	STC RATING	UL DESIGN NO.
A1	2 X 4	SEE PLANS		
A2	2 X 6	SEE PLANS		

\* PROVIDE CEMENT BOARD AT WET AREA, TYP.

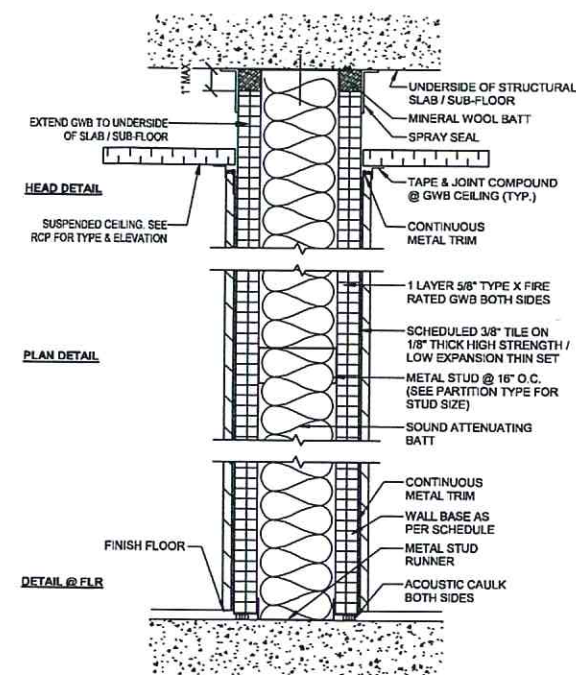
① PARTITION TYPE A - NON-RATED2  
 3" = 1'-0"



PARTITION TYPE	STUD SIZE	OVERALL DIMENSION	STC RATING	UL DESIGN NO.
C1	2x2	SEE PLANS		

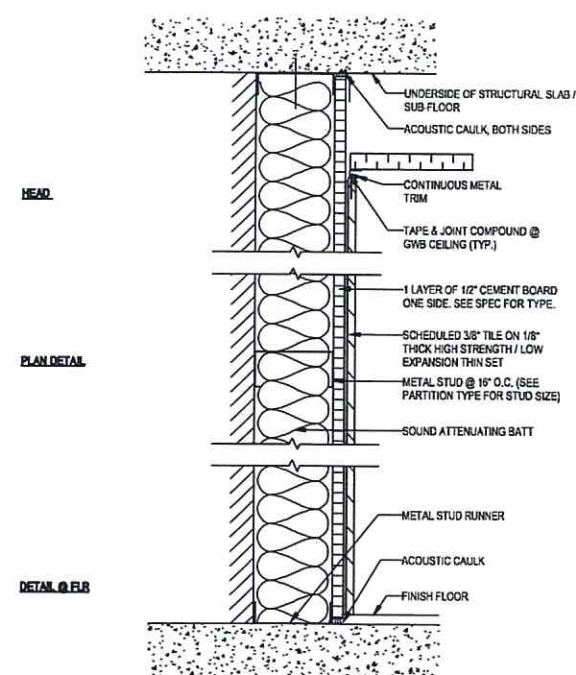
② PARTITION TYPE C - NON-RATED POCKET DOOR  
 3" = 1'-0"





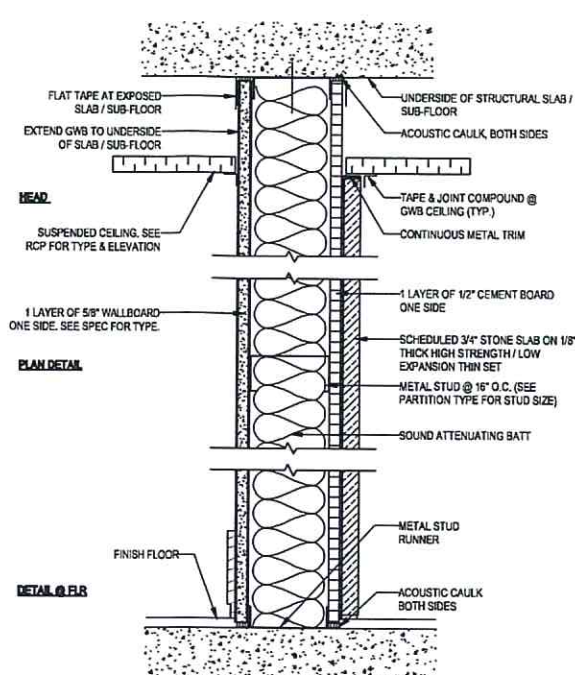
PARTITION TYPE	STUD SIZE	OVERALL DIMENSION	STC RATING	UL DESIGN NO.
I1	1 5/8"	4 7/8"	-	-
I2	2 1/2"	5 3/4"	-	-
I3	3 5/8"	6 7/8"	-	U404 (2 Hr. Config. C)
I4	2x 1 5/8" w/ 2 3/4" CAV.	9 1/4"	-	-
I5	6"	9 1/4"	-	U404 (2 Hr. Config. C)

1 PARTITION TYPE I DOUBLE SIDED TILE - FIRE RATED  
3" = 1'-0"



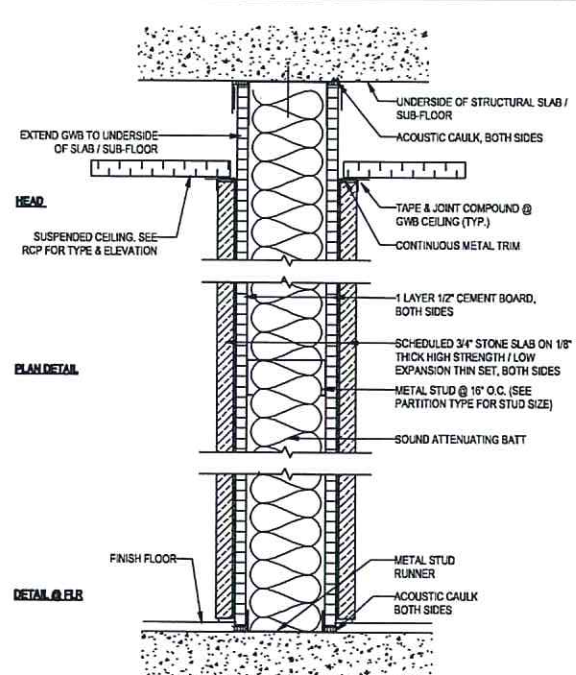
PARTITION TYPE	STUD SIZE	OVERALL DIMENSION	STC RATING	UL DESIGN NO.
J1	1 5/8"	2 5/8"	-	-
J2	2 1/2"	3 1/2"	-	-
J3	3 5/8"	4 5/8"	-	-
J4	2x 1 5/8" w/ 2 3/4" CAV.	7"	-	-
J5	6"	7"	-	-
J7	7/8" FURRING	1 7/8"	-	-

2 PARTITION TYPE J - FURRING - TILE  
3" = 1'-0"



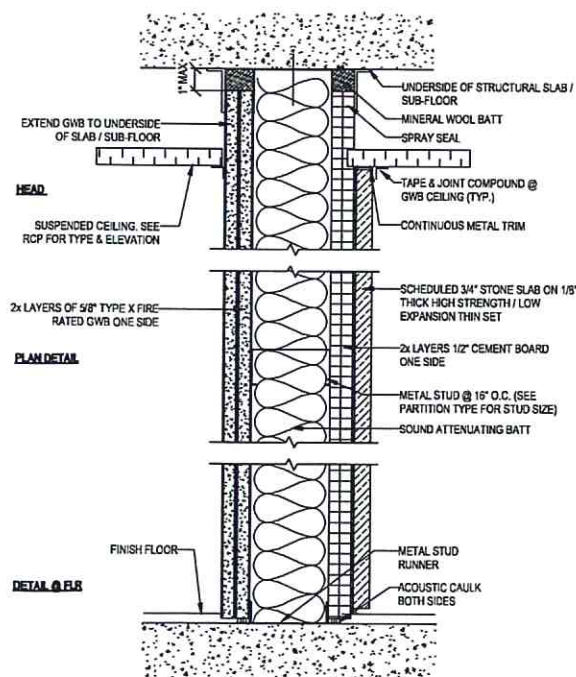
PARTITION TYPE	STUD SIZE	OVERALL DIMENSION	STC RATING	UL DESIGN NO.
K1	1 5/8"	3 5/8"	-	-
K2	2 1/2"	4 1/2"	-	-
K3	3 5/8"	5 5/8"	-	-
K4	2x 1 5/8" w/ 2 3/4" CAV.	8"	-	-
K6	6"	8"	-	-

3 PARTITION TYPE K SINGLE SIDED STONE  
3" = 1'-0"



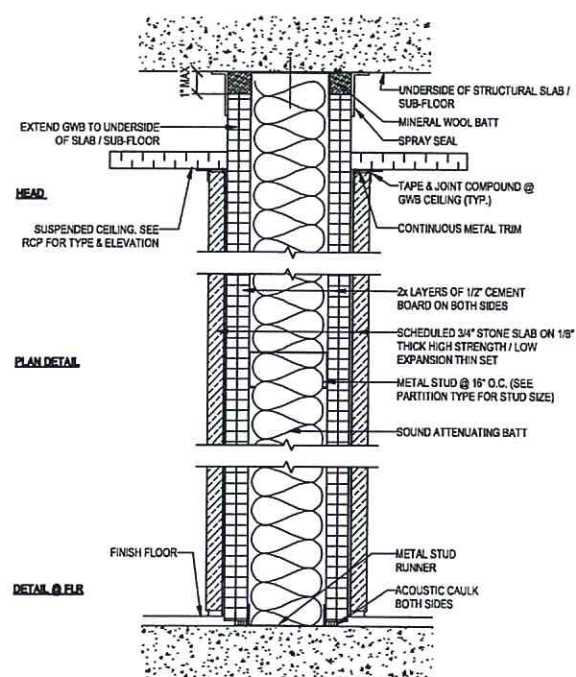
PARTITION TYPE	STUD SIZE	OVERALL DIMENSION	STC RATING	UL DESIGN NO.
L1	1 5/8"	4 3/8"	-	-
L2	2 1/2"	5 1/4"	-	-
L3	3 5/8"	6 3/8"	-	-
L4	2x 1 5/8" w/ 2 3/4" CAV.	8 3/4"	-	-
L5	6"	8 3/4"	-	-

4 PARTITION TYPE L DOUBLE SIDED STONE  
3" = 1'-0"



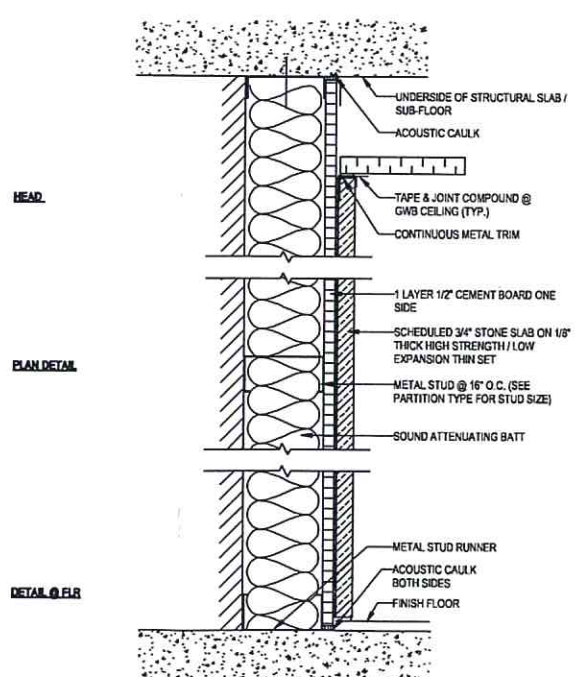
PARTITION TYPE	STUD SIZE	OVERALL DIMENSION	STC RATING	UL DESIGN NO.
M1	1 5/8"	4 3/4"	-	-
M2	2 1/2"	5 5/8"	-	-
M3	3 5/8"	6 3/4"	-	U404 (2 Hr. Config. B)
M4	2x 1 5/8" w/ 2 3/4" CAV.	9 1/8"	-	-
M6	6"	9 1/8"	-	U404 (2 Hr. Config. B)

5 PARTITION TYPE M SINGLE SIDED STONE - FIRE RATED  
3" = 1'-0"



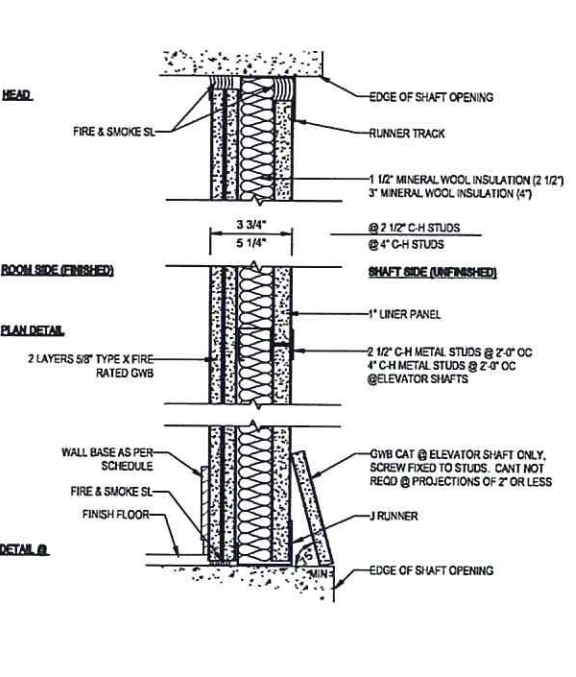
PARTITION TYPE	STUD SIZE	OVERALL DIMENSION	STC RATING	UL DESIGN NO.
N1	1 5/8"	5 5/8"	-	-
N2	2 1/2"	6 1/2"	-	-
N3	3 5/8"	7 5/8"	-	U404 (2 Hr. Config. B)
N4	2x 1 5/8" w/ 2 3/4" CAV.	10"	-	-
N6	6"	10"	-	U404 (2 Hr. Config. B)

6 PARTITION TYPE N DOUBLE SIDED STONE - FIRE RATED  
3" = 1'-0"



PARTITION TYPE	STUD SIZE	OVERALL DIMENSION	STC RATING	UL DESIGN NO.
O1	1 5/8"	3"	-	-
O2	2 1/2"	3 7/8"	-	-
O3	3 5/8"	5"	-	-
O4	2x 1 5/8" w/ 2 3/4" CAV.	7 5/8"	-	-
O6	6"	7 5/8"	-	-
O7	7/8" FURRING	2 1/4"	-	-

7 PARTITION TYPE O FURRING - STONE  
3" = 1'-0"



PARTITION TYPE	STUD SIZE	OVERALL DIMENSION	STC RATING	UL DESIGN NO.
S2	2 1/2"	3 3/4"	48	U415
S4	4"	5 1/4"	51	U415

8 PARTITION TYPE S SHAFT WALL - 2HR RATED  
3" = 1'-0"

CONSULTANTS

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NEW YORK, NY, 10007  
212.965.1244

STRUCTURAL ENGINEER  
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MECHANICAL ENGINEER  
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AV + IT CONSULTANT  
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XXXX  
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ACOUSTICAL CONSULTANT  
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CONSULTANT 6 TYPE  
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CONSULTANT 7 TYPE  
XXXX  
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XXXX

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PARTITION TYPES CONT.

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		SCALE: 3" = 1'-0"
		SHT. NO.: A-602



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ARCHITECT  
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 277 BROADWAY, SUITE 1300  
 NEW YORK, NY, 10007  
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DOOR AND WINDOW  
 SCHEDULE

STAMP & SIGNATURE	PROJ. NO.: 2018
	DATE: 02/27/20
	SCALE:
	SHT. NO.:
<b>A-701</b>	

DOOR SCHEDULE				
NO.	TYPE	WIDTH	HEIGHT	REMARKS
101	Z-8"	6'-8"	0'-1.38"	EXISTING TO REMAIN
102	10'-0"	7'-0"	0'-1.34"	
103	Z-5 1/2"	6'-8"	0'-1.38"	
104	Z-0"	6'-8"	0'-1.38"	
105	Z-4"	6'-8"	0'-1.38"	
106	5'-4"	6'-8"	0'-1.12"	
107	6'-1"	7'-0"	0'-1.34"	
108	6'-0"	6'-8"	0'-1.12"	
111	Z-6"	7'-0"	0'-1.38"	
111	Z-6"	7'-0"	0'-1.38"	
112	Z-0"	6'-8"	0'-1.38"	
201	Z-0"	6'-8"	0'-1.34"	EXISTING TO REMAIN
202	Z-0"	6'-8"	0'-1.12"	EXISTING TO REMAIN
203	Z-0"	6'-8"	0'-1.12"	EXISTING TO REMAIN
204	Z-0"	7'-0"	0'-1.38"	EXISTING TO REMAIN
205	Z-5 1/2"	6'-8"	0'-1.38"	EXISTING TO REMAIN
205	Z-5 1/2"	6'-8"	0'-1.38"	EXISTING TO REMAIN
206	Z-1 1/2"	7'-0"	0'-1.34"	
207	Z-0"	6'-8"	0'-1.12"	EXISTING TO REMAIN
208	Z-0"	6'-8"	0'-1.12"	EXISTING TO REMAIN
209	Z-6"	7'-0"	0'-1.38"	
210	6'-0"	6'-8"	0'-1.12"	

WINDOW SCHEDULE				
NO.	TYPE	WIDTH	HEIGHT	REMARKS
101		4'-8 1/4"	2'-3"	EXISTING TO REMAIN
102		4'-8 1/4"	2'-3"	EXISTING TO REMAIN
103		4'-8 1/4"	2'-3"	
104		4'-8 1/4"	2'-3"	
104		4'-8 1/4"	2'-3"	
105		4'-8 1/4"	2'-3"	
105		4'-8 1/4"	2'-3"	
106		4'-8 1/4"	2'-3"	
106		4'-8 1/4"	2'-3"	
107		5'-3"	1'-8"	
108		5'-2"	1'-8"	
109		4'-9 1/2"	2'-0"	
110		1'-6"	5'-0"	
111		4'-8 1/4"	2'-3"	
112		4'-8 1/4"	2'-3"	
114		1'-4"	2'-6"	
115		4'-8 1/4"	2'-3"	
201		4'-8 1/4"	2'-3"	EXISTING TO REMAIN
202		4'-8 1/4"	2'-3"	EXISTING TO REMAIN
203		4'-8 1/4"	2'-3"	EXISTING TO REMAIN
204		4'-8 1/4"	2'-3"	EXISTING TO REMAIN
205		4'-8 1/4"	2'-3"	EXISTING TO REMAIN
206		4'-8 1/4"	2'-3"	EXISTING TO REMAIN
207		4'-8 1/4"	2'-3"	EXISTING TO REMAIN
208		4'-8 1/4"	2'-3"	
209		4'-8 1/4"	2'-3"	

Finish Schedule							
Number	Name	Level	Base Finish	Wall Finish	Trim	Ceiling Finish	
1-01	ENTRY	LEVEL 1					
1-02	KITCHEN	LEVEL 1					
1-02	KITCHEN	LEVEL 1					
1-02A	KITCHEN PANTRY	LEVEL 1					
1-03	BATHROOM	LEVEL 1	WOOD PTD TO MATCH	SAME AS EX'G PTD	PTD SAME AS EX'G	PTD	
1-04	FAMILY ROOM	LEVEL 1	WOOD PTD TO MATCH EX'G	SHOWER TILE T-1 DRY WALL PTD	PTD SAME AS EX'G	PTD	
1-05	DINING ROOM	LEVEL 1					
1-06	LIVING ROOM	LEVEL 1					
2-01	HALL	LEVEL 2					
2-02	CLOSET	LEVEL 2					
2-03	MASTER BEDROOM	LEVEL 2					
2-03A	CLOSET	LEVEL 2					
2-04	BEDROOM 1	LEVEL 2					
2-04A	CLOSET	LEVEL 2					
2-05	BATHROOM	LEVEL 2	WOOD PTD TO MATCH EX'G	WOOD WAINSCOT PTD		PTD	

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