NOTES & SPECIFICATIONS IS THE CONTRACTOR'S RESPONSIBILITY TO KEEP THIS CONSTRUCTION DOCUMENT BINDED TOGETHER AT ALL TIMES, IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO READ ALL NOTES, SPECIFICATIONS, AND BE FAMILIARIZED WITH THE PLANS PRIOR TO WORK

. NO WORK TO START UNTIL APPROVED PLANS ARE OBTAINED FROM THE PPLICABLE BUILDING DEPARTMENT.

ALL CONSTRUCTION SHALL BE PERFORMED IN A WORKMAN LIKE MANNER. ALL DIMENSIONS, CONDITIONS, AND APPLICABLE INFORMATION OF EXISTING TRUCTURE/SITE SHALL BE FIELD VERIFIED BY GENERAL CONTRACTOR. ALL WORK SHALL CONFORM TO NATIONAL, STATE, AND LOCAL CODES ND AUTHORITIES HAVING JURISDICTION.

ALL UNNOTED OR NON-VISIBLE EASEMENTS ARE THE RESPONSIBILITY

. ANY OMISSIONS OR DISCREPANCIES OF PLANS AND/OR JOB CONDITIONS SHALL BE CLARIFIED WITH THE ARCHITECT/ENGINEER BEFORE PROCEEDING

. NO DEVIATIONS OR CHANGES TO THE STRUCTURAL SYSTEM SHALL BE MADE UNLESS APPROVED BY THE ARCHITECT/ENGINEER. . CONTRACTOR TO VERIFY DIMENSIONS OF FOUNDATION WITH FLOOR PLANS BEFORE THE START OF FRAMING

DRY WELLS AS REQUIRED BY STATE AND LOCAL CODES.

. DO NOT SCALE DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE ), OWNER/BUILDER ARE RESPONSIBLE FOR ALL INSPECTIONS, APPROVALS, CERTIFICATES, CERT. OF OCCUPANCY OR COMPLETION AND U.L. APPROVAL THESE SETS OF DRAWINGS ARE THE PROPERTY OF AMP ARCHITECTURE, AND SHALL NOT BE ALTERED OR BE REPRODUCED WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT.

12. THE ARCHITECT IS NOT RETAINED FOR SUPERVISION OF THE WORK AND IS RESPONSIBLE FOR DESIGN INTENT ONLY.

3. THE CONTRACTOR SHALL OBTAIN CERTIFICATE OF OCCUPANCY.

. THE CONTRACTOR SHALL KEEP PREMISES REASONABLY CLEAN AT ALL FIMES. AT THE COMPLETION OF WORK, THE CONTRACTOR SHALL REMOVE ALL RUBBISH, WASTE MATERIALS, TOOLS, ETC., CLEAN GLASS AND LEAVE WORK

. THE CONTRACTOR SHOULD FULLY GUARANTEE HIS WORK AND THE WORK OF THE SUB-CONTRACTORS FOR A PERIOD OF AT LEAST ONE YEAR AFTER

THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER, ARCHITECT/ENGINEER, AND THEIR AGENTS AND EMPLOYEES FROM AND AGAINST ALL CLAIMS DAMAGES LOSSES AND EXPENSES INCLUDING ATTORNEYS FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK PROVIDED THAT ANY SUCH CLAIM, DAMAGE, LOSS OR EXPENSE (A) ATTRIBUTABLE TO BODILY INJURY, SICKNESS, DISEASE OR DEATH OR TO

JURY TO OR DESTRUCTION OF TANGIBLE PROPERTY (OTHER THAN THE WORK TSELF INCLUDING THE LOSS OR USE RESULTING THEREFROM). (B) IS CAUSED IN CONTRACTOR IS TO INSTALL HARDWARE THAT IS SPECIFIED BY P.T. LUMBER WHOLE OR IN PART BY ANY NEGLIGENT ACT OR OMISSION OF THE ONTRACTOR, ANY SUBCONTRACTOR, ANYONE DIRECTLY OR INDIRECTLY MPLOYED BY ANY OF THEM, OR ANYONE FOR WHOSE ACTS ANY OF THEM MAY ETC. ANY REFERENCES TO CCA ARE TO REPLACED WITH P.T. BE LIABLE REGARDLESS OF WHETHER OR NOT IT IS CAUSED IN PART BY A PARTY INDEMNIFIED HEREUNDER.

. ALL MATERIALS, ASSEMBLIES, AND METHOD OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO FORM-WORK, BLOCK-WORK, FRAMING, NAILING, PLACING OF CONCRETE, ETC. ARE TO BE CAREFULLY SUPERVISED BY THE CONTRACTOR O BE SURE THEY ARE IN ACCORDANCE WITH THE DRAWINGS, SPECIFICATIONS, APPLICABLE CODES AND GOOD PRACTICE. DEVIATIONS FROM THE DRAWINGS AND SPECIFICATIONS WILL NOT BE PERMITTED WITHOUT WRITTEN NUTHORIZATION OF THE ARCHITECT/ENGINEER.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY SHOP DRAWINGS NEEDED, UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS AND CONDITIONS PERTAINING ARE TO BE FIELD VERIFIED.

20. CONTRACTOR TO REMOVE \$ RELOCATE AS REQUIRED ALL EXISTING WORK ICH INTERFERES WITH NEW CONSTRUCTION IN A WORKMAN LIKE MANNER. 21. ALL MATERIALS ARE TO BE INSTALLED AS PER MANUFACTURER'S PECIFICATIONS, UNLESS NOTED OTHERWISE.

22. PROVIDE FIREBLOCKING AS PER NEW YORK ACCESSIBILITY STANDARDS. 3. PLEASE NOTE THAT THESE PLANS ARE PROTECTED AGAINST ANY UNAUTHORIZED USE UNDER FEDERAL LAW BY THE ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990 (AWCPA), WHICH HAS SEVERE PENALTIES

BUILDING CODE AND 2020 PROPERTY MAINTENANCE CODE.

REFERENCE STANDARD USED FOR ALL WOOD FRAMING, CONNECTIONS OF WOOD FRAMING, AND CONNECTION TO FOUNDATION - 2018 WOOD FRAME CONSTRUCTION MANUAL BY AF & PA. 3. ALL PLUMBING WORK SHALL CONFORM TO THE 2020 INTERNATIONAL

. ALL MECHANICAL WORK SHALL CONFORM TO THE 2020 INTERNATIONAL MECHANICAL CODE AND 2020 INTERNATIONAL FUEL GAS CODE.

5. ALL ELECTRICAL WORK SHALL CONFORM TO 2017 NATIONAL ELECTRIC CODE, SECTION 1008 OF THE 2020 IBC. NFPA 70 AND 2020 INTERNATIONAL ENERGY CONSERVATION CODE. I. ALL EXTERIOR WALLS AND ROOFS SHALL BE INSULATED WITH FOIL FACED FIBERGLASS BATT INSULATION BY JOHN MANVILLE OR APPROVED EQUAL.

OIL TO BE PLACED TOWARD WARM SIDE. . PROVIDE 2" R-10 RIGID FOAM INSULATION FOR EXTERIOR FOUNDATION WALLS FROM 6" BELOW GRADE TO 24" BELOW GRADE IF DESIRED BY CONTRACTOR OR OWNER. CARE SHOULD BE TAKEN NOT TO DAMAGE OUNDATION WATERPROOFING.

. GENERALLY, UNLESS NOTED OTHERWISE, INSULATE AS FOLLOWS: - 9" R-30 FOR FLAT CEILINGS - 8.25" R-30C FOR VAULTED AND CATHEDRAL CEILINGS - 3.5" R-13 FOR 2"x4" WALL CONSTRUCTION - 5.25" R-21 FOR 2"x6" WALL CONSTRUCTION - 5.25" R-21 FOR FLOORS

FIRE AND SMOKE PROTECTION FEATURES
. FIRE-RESISTANCE RATINGS OF BUILDING ELEMENTS, COMPONENTS, OR ASSEMBLIES SHALL BE DETERMINED IN ACCORDANCE WITH TEST PROCEDURES SET FORTH IN ASTM EII9 OR UL 263, AS PER SECTION 703.3 OF THE 2020 NTERNATIONAL BUILDING CODE (IBC).

2. ALL NONCOMBUSTIBLE MATERIALS MUST MEET THE REQUIREMENTS OF SECTION MUST COMPLY WITH SECTION IIII OF THE 2020 IBC. 103.5 OF THE 2020 IBC

3. ALL FIRE-RESISTANCE-RATED GLAZING SHALL BE IN ACCORDANCE WITH SECTION 703.6 OF THE 2020 IBC. . ANY ACCESSIBLE CONCEALED AREAS REQUIRING PROTECTED OPENINGS OR

PENETRATIONS SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED WITH SIGNS OR STENCILING IN THE CONCEALED SPACE PER SECTION 703.7 OF THE 2020 IBC. THE FIRE RESISTANCE RATING OF PENETRATIONS AND JOINTS SHALL BE IN ACCORDANCE WITH SECTIONS 714 \$ 715 OF THE 2020 IBC, RESPECTIVELY.

. ALL FIRE DOORS SHALL COMPLY WITH TABLE 716.5 OF THE 2020 IBC. ALL FIRE WINDOWS SHALL COMPLY WITH TABLE 716.6 OF THE 2020 IBC. WITH SECTION 718 OF THE 2020 IBC. FIREBLOCKING AND DRAFTSTOPPING IS REQUIRED IN COMBUSTIBLE CONCEALED SPACES, BETWEEN HORIZONTAL/VERTICAL PACES, AND WITHIN CEILING & FLOOR ASSEMBLIES EXCEEDING 1,000 S.F.

9. PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 906 OF THE 2020 IBC. EXTINGUISHERS SHALL BE SIZED & LOCATED IN COMPLIANCE WITH TABLE 906.3(1) FOR ORDINARY HAZARD OCCUPANCY.

APPLIES TO THE NEW WORK BEING PERFORMED AND SHALL COORDINATE THE SUB-CONTRACTORS IN SUCH A MANNER TO ASSURE THAT THE CONDITIONS OF HE FIRST AND SECOND FLOORS ARE TAKEN INTO ACCOUNT.

2. SEE STRUCTURAL ENGINEER DRAWINGS AND SPECIFICATIONS.

<u>FOUNDATION, CONCRETE, AND MASONRY</u> . CONTRACTORS TO VERIFY ALL DIMENSIONS OF EXISTING FOUNDATION AS IT

2. ALL LUMBER IN CRAWL SPACES TO BE 18" ABOVE SCRATCH COAT. MAINTAIN 3. SILLS TO BE P.T. AND SECURELY FLASHED WITH A TERMITE SHIELD, ALSO PROVIDE SILL SEAL/INSULATION. SIZE OF SILL TO BE (2) 2"x6", UNLESS (1) 2"x6"

I. ALL LUMBER SHALL BE DOUGLAS FIR LARCH #2 & BETTER (Fb = 875) UNLESS

IS NECESSARY TO MATCH FLOOR HEIGHTS WITH THE EXISTING STRUCTURE. OFFICES, RESTROOMS, LOUNGES, STORAGE ROOMS, & CLOSETS. 4. AT FLUSH FRAMING USE 16 GAGE METAL JOISTS HANGERS BY "TECO" OR

5. MINIMUM, DOUBLE HEADERS AND TRIMMERS AROUND ALL OPENINGS IN FLOORS, ROOFS, AND WALLS. 6. DOUBLE ALL JOISTS UNDER PARALLEL PARTITIONS, POSTS, AND BATH TUBS,

. ALL BEAMS, GIRDERS, ETC. TO HAVE MIN. OF 3-1/2" BEARING 8. MIN. HEADER TO BE (2) 2"XIO" UNLESS OTHERWISE NOTED. 9. ALL WOOD SILLS AND WOOD IN CONTACT WITH MASONRY/CONCRETE TO BE

10. ALL EXTERIOR SHEATHING SHALL BE NAILED AS PER STRUCTURAL ENGINEER

SUB FLOORING, GENERALLY, TO BE OF 3/4" THICKNESS AND OF CDX GRADE. 12. EXTERIOR SHEATHING TO BE COVERED PER EXTERIOR WALL SECTIONS

13. BLOCK EXTERIOR STUD WALLS AT HALF STORY HEIGHTS AND AT UNSUPPORTED EDGE SEAMS OF EXTERIOR SHEATHING. 14. PROVIDE 'X' CROSS BRACING AT JOISTS, STUDS, AND RAFTERS WHEN SPANS

15. TOP PLATES TO BE DOUBLED AND LAPPED AT CORNERS, SEE ALSO PAGE 16. APPLY ALL CONDITIONS ADDRESSED IN FASTENING SCHEDULE AS

THE CONTRACTOR SHALL CARRY WORKMAN'S COMPENSATION AND GENERAL 17. PROVIDE ALL NAILING AND STRAPPING ADDRESSED ON PAGES A-I LIABILITY INSURANCE. ALL SHALL COMPLY WITH STATE AND LOCAL CODES THROUGH A-3 8. AT "WET WALL" PARALLEL TO JOISTS FRAME DOUBLE JOIST AS PER CODE.

GENERALLY, SEPARATE DOUBLE JOIST THE THICKNESS OF WALL ABOVE. SUB FLOOR SHALL NEVER EXCEED A 16" SPAN. 19. AT ROUGH OPENINGS PROVIDE ALL APPLICABLE NAILING AND STRAPPING AS PER PAGE A-I THROUGH A-3.

20. "P.T." SPECIFIES PRESSURE PRESERVATIVELY TREATED LUMBER IN ACCORDANCE W/ AWPA C22: WHERE DRILLING AND/OR CUTTING OCCURS, FIELD TREAT LUMBER W/ COPPER NAPTHENATE WHICH SHALL CONTAIN 2% COPPER METAL BY REPEATED BRUSHING, DIPPING, OR SOAKING UNTIL THE WOOD ABSORBS NO MORE. ALSO, FOR HARDWARE USED WITH P.T. LUMBER, MANUFACTURER SUCH AS: HANGERS, NAILS, SCREWS, FLASHING, ANCHOR BOLTS, ETC. FOR LOCATIONS SUCH AS: LEDGER BD., SILL PLATE, DECK CONSTRUCTION

21. LVL (LAMINATED VENEER LUMBER) DENOTES EITHER OF THE FOLLOWING: A. TRUSS JOIST McMILLIAN I.9E MICROLAM B. GEORGIA PACIFIC 2.0E G-P LAM

PSL (PARALLEL STRAND LUMBER) DENOTES A. TRUSS JOIST McMILLIAN 2.0E PARALLAM ALL TO BE INSTALLED AS PER MANU. SPEC.'S

22. FOR NEW WALLS, REFERENCE STRUCTURAL DRAWINGS FOR DETAILS. ALSO SEE EXTERIOR WALL DETAILS ON PAGES A-500 THRU A-503.

MEANS OF EGRESS SHALL BE PROVIDED IN FULL COMPLIANCE WITH CHAPTER 10 OF THE 2020 IBC, AND SHALL BE MAINTAINED IN ACCORDANCE WITH THE INTERNATIONAL FIRE CODE.

2. DESIGN OCCUPANT LOADS USED TO DETERMINE MEANS OF EGRESS REQUIREMENTS HAVE BEEN DETERMINED PER SECTION 1004 OF THE 2020

3. ALL ROOMS OR SPACES CONSIDERED AS AN ASSEMBLY OCCUPANCY SHALL HAVE THE OCCUPANT LOAD OF SUCH AREA POSTED NEAR THE MAIN EXIT IN A CONSPICUOUS MANNER, AS PER SECTION 1004.3 OF THE 2020 IBC.

4 WALKING SURFACES ALONG MEANS OF EGRESS SHALL HAVE A SLIP-RESISTANT SURFACE AND BE SECURELY ATTACHED.

ACCESSIBLE MEANS OF EGRESS SHALL BE PROVIDED PER SECTION 1009 ALL NEW WORK PERFORMED SHALL CONFORM TO THE 2020 INTERNATIONAL OF THE 2020 IBC AND SHALL BE CONTINUOUS UNTIL REACHING A PUBLIC WAY. EXITS SHALL DISCHARGE DIRECTLY TO THE EXTERIOR OF THE BUILDING IN ACCORDANCE WITH SECTION 1028 OF THE 2020 IBC

ALL TIMES THAT A ROOM OR SPACE IS OCCUPIED, IN ACCORDANCE WITH

1. MEANS OF EGRESS DOOR OPERATIONS AND DOOR HARDWARE SHALL BE COMPLIANT WITH SECTION 1010.1.9 OF THE 2020 IBC. 8. ILLUMINATION OF THE MEANS OF EGRESS, NOT TO BE LESS THAN I FOOTCANDLE (II LUX) AT THE WALKING SURFACE, SHALL BE PROVIDED AT

1. THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL BE PROVIDED BY THE PREMISES' ELECTRICAL SUPPLY, AS PER SECTION 1008.3 OF THE 2020 IBC. IN THE EVENT OF POWER SUPPLY FAILURE, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE EGRESS AREAS PER 2020 IBC SECTIONS 1008.3.1 - 1008.3.4, AND SHALL PROVIDE POWER FOR AT LEAST 90 MINUTES USING STORAGE BATTERIES,

IO. EXIT AND EXIT ACCESS DOORS SHALL BE MARKED BY AN APPROVED EXIT SIGN READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL PER 2020 IBC SECTION 1013. EXIT SIGNS SHALL BE PLACED SUCH THAT NO POINT IN AN EXIT CORRIDOR OR EXIT PASSAGEWAY IS MORE THAN 100 FEET OR THE LISTED VIEWING DISTANCE OF THE SIGN, WHICHEVER IS LESS.

UNIT EQUIPMENT, OR AN ON-SITE GENERATOR.

II. EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED PER 2020 IBC SECTIONS 1013.5 OR 1013.6, RESPECTIVELY. ILLUMINATION SHALL EMERGENCY POWER SYSTEM WHICH PROVIDES CONTINUED ILLUMINATION OF NOT LESS THAN 90 MINUTES IN CASE OF PRIMARY POWER LOSS, AS PER 2020 IBC SECTION 1013.6.3.

12. A SIGN STATING "EXIT" IN VISUAL CHARACTERS, RAISED CHARACTERS, AND BRAILLE AND COMPLYING WITH ICC AIIT.I SHALL BE PROVIDED ADJACENT TO EACH DOOR TO AN EXIT PASSAGEWAY AND AT THE EXIT DISCHARGE, AS PER 2020 IBC SECTION 1013.4. 13. REQUIRED SIGNAGE OF ALL ACCESSIBLE AND INACCESSIBLE AREAS

TION C405.2 OF THE 2017 IECC.

2. LIGHTING SYSTEM CONTROLS ARE NOT REQUIRED IN SECURITY AREAS REQUIRING CONTINUOUS LIGHTING, EXIT PASSAGEWAYS, AND FOR EMERGENCY

EGRESS LIGHTING THAT IS NORMALLY OFF 3. EITHER OCCUPANT SENSOR CONTROLS PER 2017 IECC C405.2.1 OR TIME-SWITCH CONTROLS PER 2017 IECC C405.2.2 SHALL BE PROVIDED IN ALL CONFERENCE/MEETING ROOMS, COPY/PRINT ROOMS, BREAK ROOMS, PRIVATE

4. OCCUPANT SENSOR LIGHTING CONTROLS MUST: - AUTOMATICALLY TURN LIGHTS OFF AFTER 30 MINUTES OF OCCUPANTS

BE MANUALLY ACTIVATED, OR BE AUTOMATICALLY "ON" TO NO MORE THAN 50% OF LIGHTING CAPACITY, UNLESS LIGHTING SYSTEM IS LOCATED IN A PUBLIC CORRIDOR, RESTROOM, OR PRIMARY BUILDING ENTRANCE.

INCLUDE A MANUAL "OFF" CONTROL 5. TIME-SWITCH LIGHTING CONTROLS MUST PROVIDE:

CAPABILITY OF BEING SET FOR 7 DIFFERENT DAY TYPES PER WEEK AUTOMATIC HOLIDAY "SHUTOFF" FEATURE THAT CAN TURN OFF ALL LIGHTING FOR AT LEAST 24 HOURS, THEN RESUME NORMAL ACTIVITY PROGRAM BACKUP CAPABILITIES THAT PREVENTS THE LOSS OF PROGRAMMED SETTINGS FOR AT LEAST 10 HOURS IF POWER IS

MANUAL OVERRIDE FUNCTION THAT ALLOWS LIGHTS TO BE LEFT ON FOR A MAXIMUM OF 2 HOURS & CONTROLS A LIGHTING AREA NO GREATER THAN - CAPABILITY TO UNIFORMLY REDUCE LIGHTS BY AT LEAST 50% BY DOING AT LEAST ONE OF THE FOLLOWING:

. CONTROLLING ALL LIGHTS TOGETHER 2. DUAL SWITCHING OF ALTERNATE LIGHTS OR ROWS OF LIGHTS 3. SWITCHING OF MIDDLE LIGHTS INDEPENDENTLY OF OUTER LIGHTS 4. CONTROLS EACH LIGHT INDIVIDUALLY

PROVIDED IN ALL AREAS WITHIN SIDELIGHT DAYLIGHT ZONES WITH A TOTAL OF MORE THAN 150 WATTS OF GENERAL LIGHTING. DAYLIGHT RESPONSIVE CONTROLS MUST ALLOW AN AUTHORIZED PERSONNEL TO READILY CALIBRATE THE CONTROLS AND TO DIM LIGHT TO AT LEAST 15% OF FULL CAPACITY 7. EXTERIOR LIGHTING CONTROLS PER 2017 IECC C405.2.5 SHALL BE PROVIDED

FOR LIGHTING IN ALL AREAS OTHER THAN EMERGENCY LIGHTING INTENDED TO BE AUTOMATICALLY OFF DURING BUILDING OPERATION. EXTERIOR LIGHTING CONTROLS MUST: PROVIDE CONTROL THAT AUTOMATICALLY TURNS OFF LIGHTING AS A FUNCTION OF AVAILABLE DAYLIGHT, AND FOR LIGHTING OF BUILDING

HABITABLE SPACE

FIRST FLOOR AREA

ROOF AREA

EXISTING

3,915 S.F.

0 S.F.

PROPOSED

3,915 S.F.

1,000 S.F.

AUTOMATICALLY SHUTS OFF THE LIGHTING AS A FUNCTION OF DAWN/DUSK AND A SET OPENING & CLOSING TIME, OR - AUTOMATICALLY REDUCE LIGHTING POWER TO A MINIMUM OF 30% OF FULL CAPACITY FROM AT LEAST 12:00-6:00AM, FROM I HOUR AFTER BUSINESS CLOSING TO I HOUR BEFORE BUSINESS OPENING, OR DURING ANY PERIOD WHEN ACTIVITY HAS NOT BEEN DETECTED FOR MORE THAN 15 MINUTES.

INTERNALLY ILLUMINATED EXIT SIGNS SHALL NOT BE MORE THAN 5 WATTS PER

SIDE, AS PER 2017 IECC C405.3. 9. WHERE ARTIFICIAL LIGHTING IS PRESENT, AN AVERAGE ILLUMINATION SHALL BE PROVIDED OF AT LEAST 10 FOOT CANDLES (107 LUX) OVER THE AREA OF THE ROOM AT A HEIGHT OF 30" ABOVE FLOOR LEVEL, AS PER 2020 IBC 1205.3. THIS BUILDING SHALL COMPLY WITH THE 2017 IECC "ADDITIONAL EFFICIENCY

POWER REQUIREMENT C406.3, AS DETERMINED USING THE SPACE-BY-SPACE

FACADE/LANDSCAPE EITHER:

METHOD AND TABLE C405.4.2(2). II. THIS BUILDING SHALL COMPLY WITH EXTERIOR LIGHTING REQUIREMENTS AS PER 2017 IECC C405.5.

PACKAGE OPTION" PER C406.1 BY SATISFYING THE REDUCED INTERIOR LIGHTING

<u>GLASS WINDOWS AND DOORS</u>
I. ALL GLASS TO BE INSULATED LOW-E, UNLESS OTHERWISE SPECIFIED. 2. GLASS DOORS AND WINDOWS SHALL NOT BE INSTALLED UNTIL PROPER

3. ALL SLIDING GLASS DOORS, SKYLIGHTS, AND ANY GLASS UNIT INSTALLED WITHIN 18" OF FINISHED FLOOR SHALL BE OF INSULATED TEMPERED GLASS,

4. ALL GLASS UNITS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. 5. ALL WINDOWS TO BE CAULKED AND SEALED AS PER NEW YORK STATE

6. PROVIDE FLASHING PANS UNDER ALL SLIDING GLASS DOORS, WINDOWS, OR ANY OTHER TYPE OF GLASS UNIT WHEN WITHIN 6" OF AN EXTERIOR SURFACE. 7 ALL EXTERIOR DOORS ARE TO BE WEATHERED STRIPPED AND PROVIDE ALL SCREENS AND HARDWARE NECESSARY FOR PROPER FUNCTION OF SUCH UNITS.

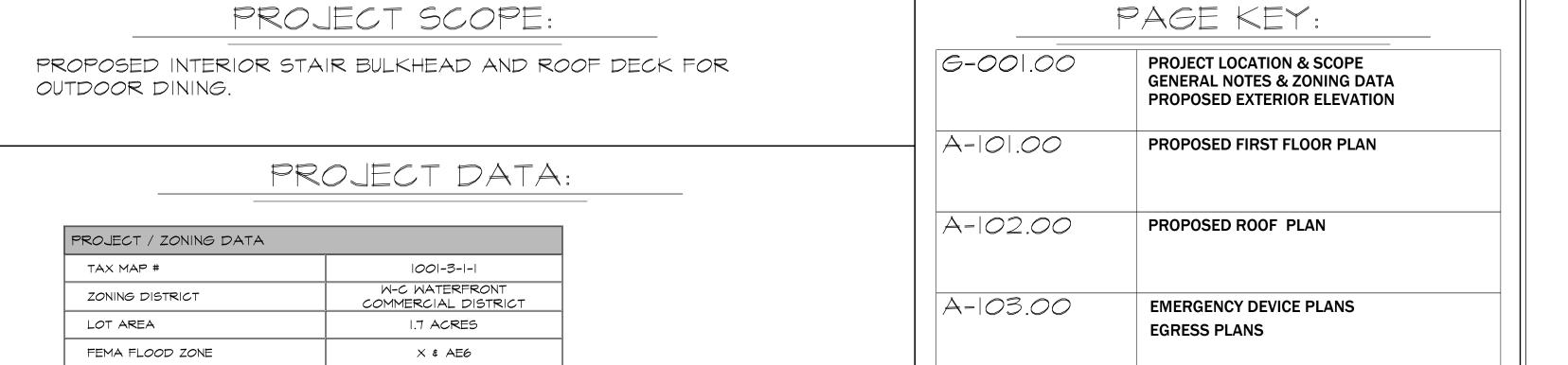
8. ALL GLASS IS TO BE FREE OF SCRATCHES AND IMPERFECTIONS. GLASS 9. ALL WINDOWS TO BE PROVIDED PER PLAN

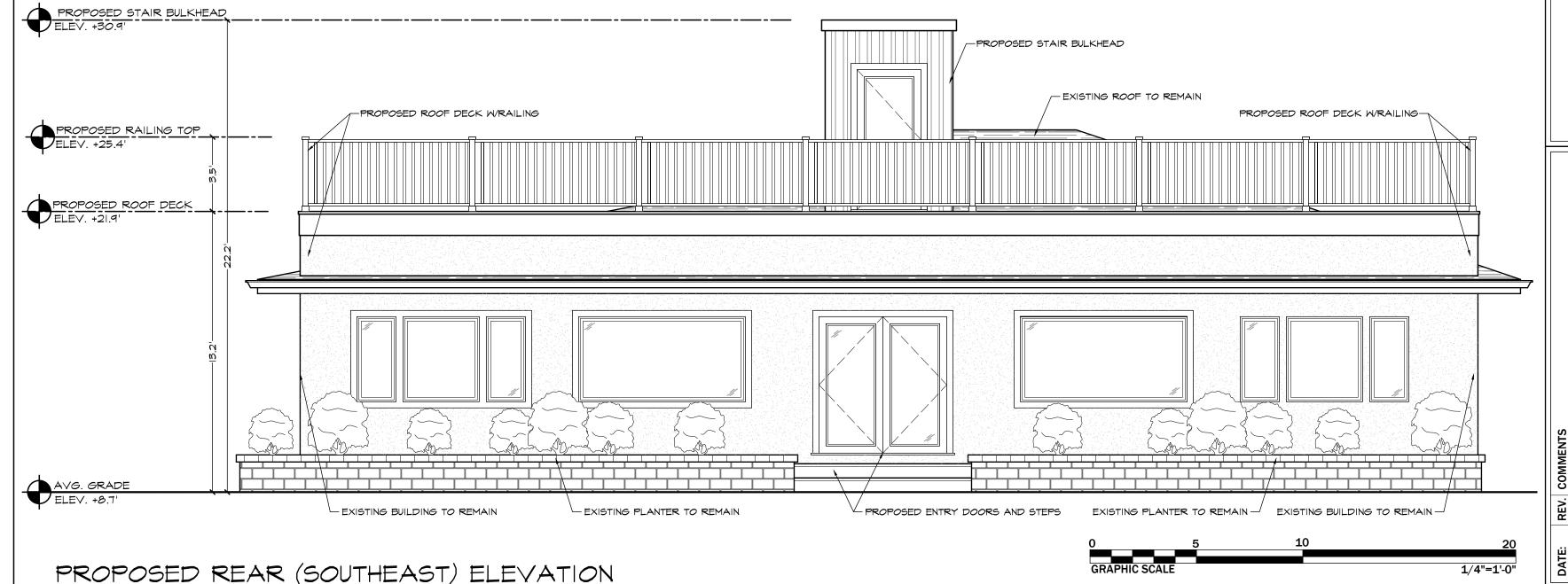
FLOOD MAP DATA FROM FEMA MAP#:36103C0176H MAP DATE: 9/25/2009 FLOOD ZONE X & AE (EL 6)

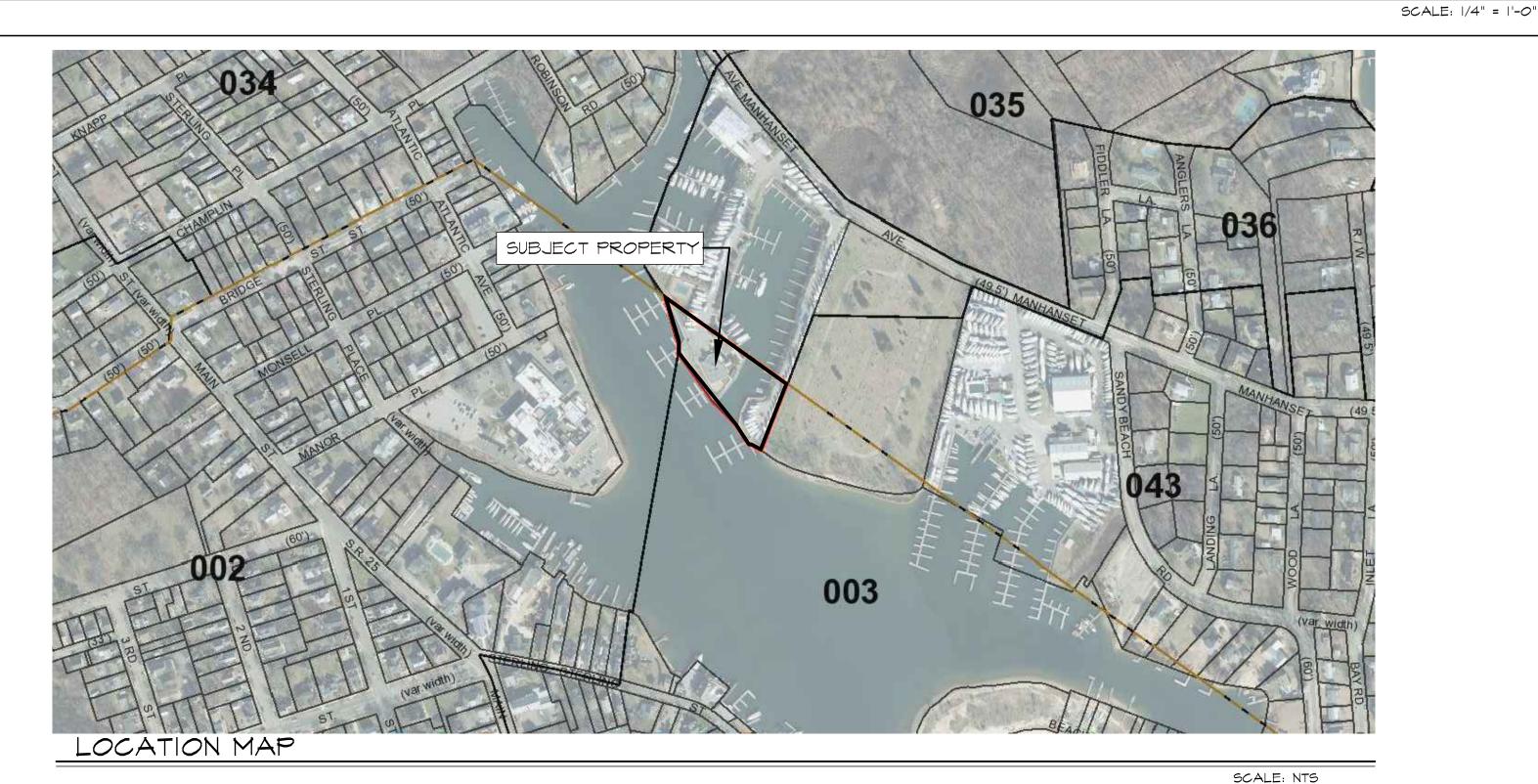
ELEVATIONS REFERENCE 1988



# PORTOBELLO ROOF DECK







PROJECT:

**PORTOBELLO ROOF DECK** 

**1410 MANHANSET ROAD** GREENPORT, NY 11944

DRAWING TITLE:

**PROJECT LOCATION & SCOPE** SITE PLAN & ZONING DATA

G-001.00

DATE: 01/12/21

1 OF 4

## GENERAL SYMBOL KEY: NEW PARTIAL HEIGHT WOOD FRAME (L.G. STL. WHEN APPLICABLE) EXISTING TO BE DEMOLISHED EXISTING TO REMAIN EXISTING PLANTER EXISTING PLANTER NEW FOUNDATION WALL NEW WOOD FRAME (L.G. STL. WHEN APPLICABLE) NEW I-HR FIRE RATED WOOD FRAME (L.G. STL. WHEN APPLICABLE) MIN. (2) 2"x4" STRUCTURAL POST FOR 4" WALLS (MIN. (2) 2"x6" STRUCTURAL POST FOR 6" WALLS), U.O.N. NEW 2-HR FIRE RATED WOOD FRAME (L.G. STL. WHEN APPLICABLE) 39 SEATS <u>NEW</u> CLOSET EXIST. OFFICE EXIST. DINING ROOM HALF WALLS HALF WALLS COUNTER COUNTER LINE OF SLOPED CEILING ABOVE EXIST. COFFEE/SERVICE STATION (19) Ri @ # 8" NEW UP COUNTER PANELS EXIST. SERVICE 6 SEATS SINK W/ SPEED SINK W/ DRAIN ICE BIN RACK BOARDS OVEN PREP. W/ REF. FRYER FRYER PREP. COUNTER <u>EXIST.</u> <u>HALLWAY</u> GRILL SINK <u>EXIST.</u> <u>KITCHEN</u> STOVE 3 PROJECT: **PORTOBELLO** STOVE EXIST. DISH MASHING AREA COUNTER **ROOF DECK** STOVE 1410 MANHANSET ROAD GREENPORT, NY 11944 EXIST. ENTRY 3 SINKS W/ RACK ABOVE <u>EXIST.</u> BATHROOM WARMER DRAWING TITLE: PROPOSED FIRST FLOOR PLAN <u>EXIST.</u> BATHROOM HAND SINK EXIST. BATHROOM EXIST. WALK-IN REFRIGERATION EXIST. <u>CL.</u> EXIST. CL. A-101.00 EXIST. COVERED ENTRY ----8'-3"--MH FREEZER 2 OF 4 DATE: 01/12/21 EXIST. WALK-IN REFRIGERATION PROPOSED FIRST FLOOR PLAN SCALE: 1/4" = 1'-0" 1,000 S.F. HABITABLE SPACE; 3,915 S.F. GROSS AREA

# GENERAL SYMBOL KEY: NEW PARTIAL HEIGHT WOOD FRAME (L.G. STL. WHEN APPLICABLE) EXISTING TO BE DEMOLISHED EXISTING TO REMAIN NEW FOUNDATION WALL NEW WOOD FRAME (L.G. STL. WHEN APPLICABLE) 42"H RAILING NEW I-HR FIRE RATED WOOD FRAME (L.G. STL. WHEN APPLICABLE) MIN. (2) 2"x4" STRUCTURAL POST FOR 4" WALLS (MIN. (2) 2"x6" STRUCTURAL POST FOR 6" WALLS), U.O.N. NEW 2-HR FIRE RATED WOOD FRAME (L.G. STL. WHEN APPLICABLE) /--42"H RAILING 42"H RAILING <u>NEW ROOF</u> <u>DECK</u> 1,000 Sq. Ft. METAL EGRESS LADDER & LANDING 44 SEATS SELF-CLOSING —EGRESS GATE W/SAFETY LATCH -42"H WALL -42"H WALL NEW LANDING $\Longrightarrow >$ TYPICAL CRICKET: 2"x4" FRAMING @ 16" O.C.; ICE SHIELD LAPPED 18" IN ALL DIRECTIONS & FULLY FLASH PROJECT: **PORTOBELLO ROOF DECK** 1410 MANHANSET ROAD GREENPORT, NY 11944 DRAWING TITLE: PROPOSED ROOF PLAN A-102.00 DATE: 01/12/21 3 OF 4 PROPOSED ROOF PLAN SCALE: 1/4" = 1'-0" O S.F. HABITABLE SPACE; 1,000 S.F. GROSS AREA

MEANS OF EGRESS TABLE										
	R <i>00</i> M	FUNCTION OF SPACE (IBC TABLE 1004.1.2)	AREA (S.F.)	OCCUPANT LOAD FACTOR (S.F./OCCUPANT)	MAX. OCCUPANT LOAD	MAX. TRAVEL DISTANCE ALLOWED (FT.)	FIRST EGRESS ROUTE		SECOND EGRESS ROUTE	
							ROUTE DESIGNATION	MAX. TRAVEL DISTANCE (FT.)	ROUTE DESIGNATION	MAX. TRAVEL DISTANCE (FT.)
R00F	IOI - ROOF DECK	ASSEMBLY - CONCENTRATED (CHAIRS ONLY - NOT FIXED)	1000	7	143	250 <sup>(l)</sup>	Ą	74.3	A <sub>2</sub>	55.4
				TOTAL:	143					

- 250' MAXIMUM TRAVEL DISTANCE IS ACCEPTABLE PROVIDED THAT AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH 2020 IBC 903.3.1.1 OR 903.3.1.2, AS PER 2020 IBC TABLE 1017.2. <sup>2</sup> - THE FLOOR AREA OF ADJOINING CLOSETS/PANTRIES WITHIN THESE ROOMS HAS BEEN INCLUDED IN THE TOTAL ROOM SIZE.

COMPLIANCE STATEMENT:
TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2020 IBC USING CHAPTER 3 & CHAPTER IO

	DESIGNATION	MAX. DESIGNED OCCUPANT LOAD	CALCULATED EGRES		MINIMUM	EGRESS	COMPLIES?
			EGRESS CAP. FACTOR (IN./OCCUPANT)	EGRESS CAP. REQ'D (IN.)	COMPONENT CAP. PER CODE (IN.)	SIZE PROVIDED (IN.)	
	1 - DOOR	II	0.2	2.2	32	32	YES
	2 - LANDING	II	0.3	3.3	44	54	YES
	3 - STAIRS	II	0.3	3.3	36	54	YES
	4 - DOOR	II	0.2	2.2	32	36	YES
	5 - STAIRS	II	0.3	3.3	36	38	YES

- FOR DOOR OPENINGS CONSISTING OF TWO DOOR LEAVES WITHOUT A MULLION, INDIVIDUAL DOORS SHALL BE 32"-48", PER 2020 IBC 1010.1.1. THE FIRST NUMBER PROVIDED IN THIS CELL REPRESENTS THE TOTAL DOOR OPENING MIDTH, WHILE THE SECOND NUMBER IS THAT OF AN INDIVIDUAL DOOR LEAF.

  2 - AS MORE THAN (I) MEANS OF EGRESS IS PROVIDED ALONG THE ROUTE SERVED BY THIS EGRESS COMPONENT PRIOR TO THE COMPONENT, THE MAXIMUM
- REQUIRED CAPACITY OF THIS COMPONENT SHALL BE CONSIDERED AS 50% THE TOTAL CAPACITY POSSIBLE ALONG THIS EGRESS ROUTE, IN ACCORDANCE
- WITH 2020 IBC 1005.5.

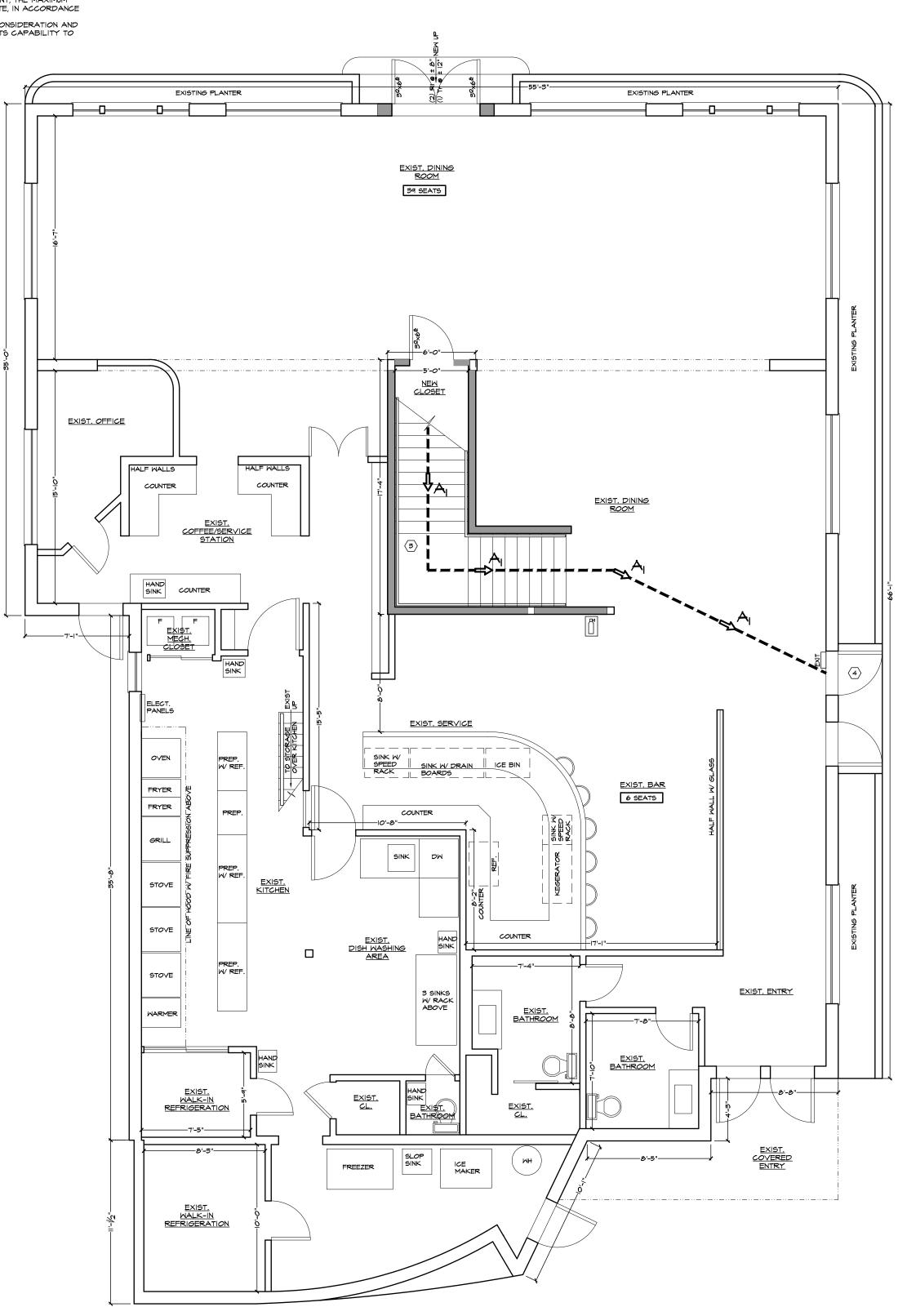
  NOTE THAT THIS COMPONENT IS NOT PART OF A CONSIDERED EGRESS PATH DUE TO ITS PROXIMITY TO OTHER EXITS UNDER CONSIDERATION AND THE CONFLICT IT WOULD CAUSE PER 2020 IBC 1007.1.1. NONETHELESS, THIS COMPONENT HAS BEEN ADDED TO THE TABLE TO VERIFY ITS CAPABILITY TO SERVE THE SAME OCCUPANT LOAD AS NEARBY EGRESS COMPONENTS.

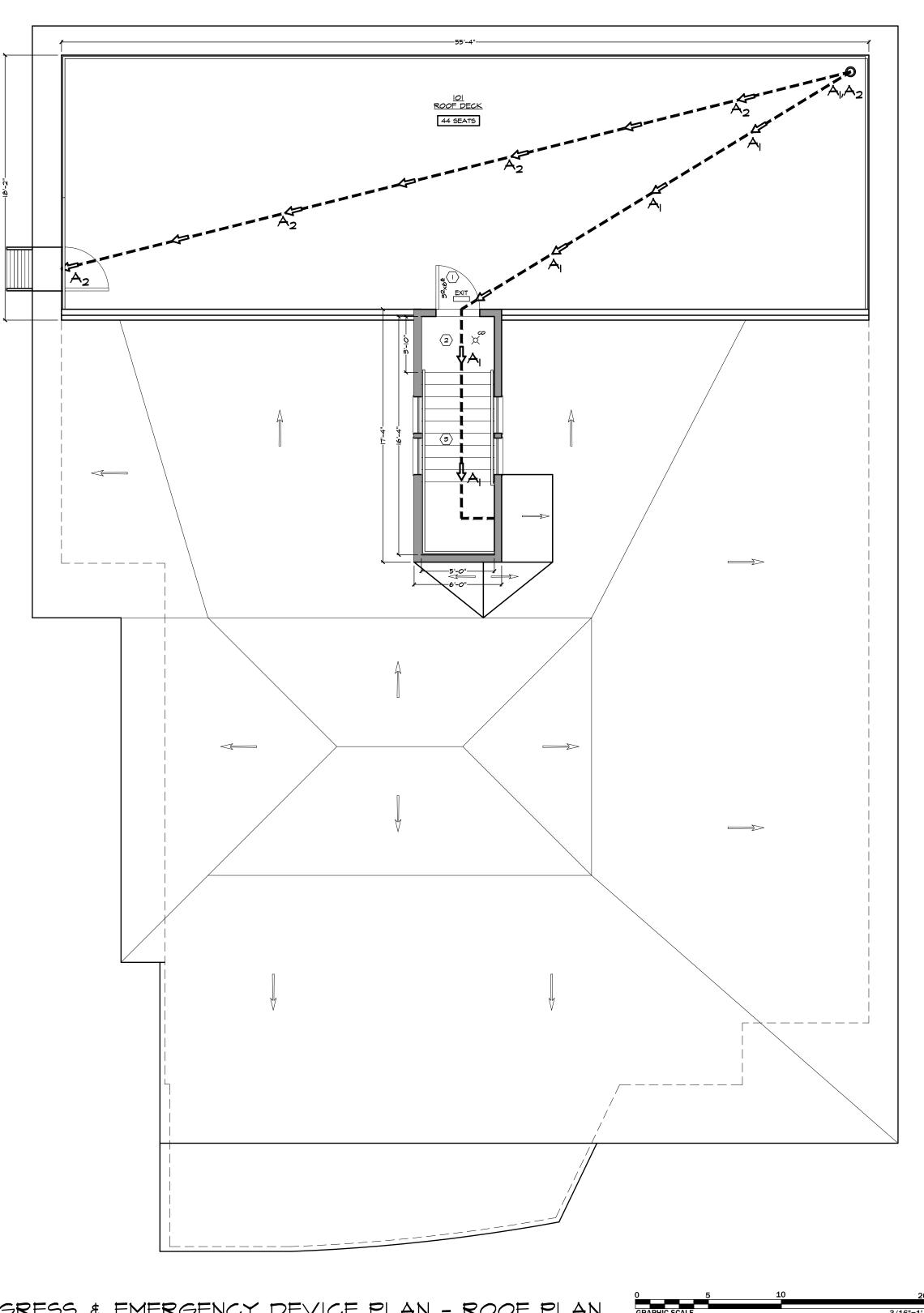
### EMERGENCY DEVICES SYMBOL KEY:

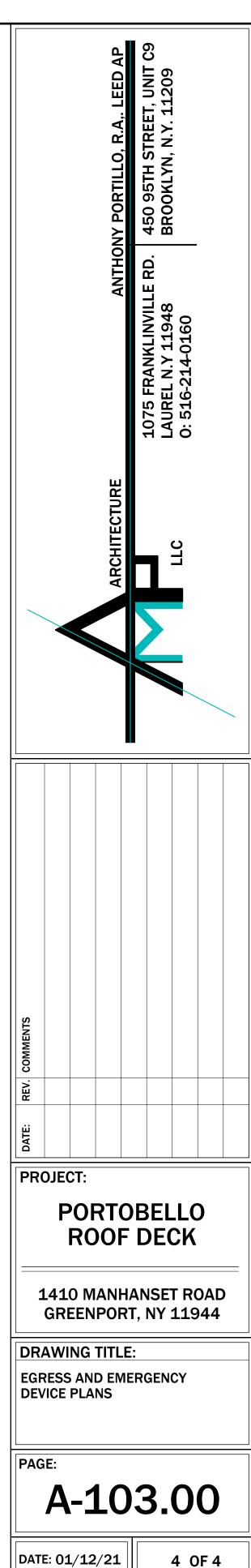
	AUDIBLE FIRE ALARM	EXIT	EMERGENCY LIGHTING EXIT SIGN
XD X	VISIBLE FIRE ALARM - CEILING MOUNT (CD = CANDELA RATING)	EXIT	EMERGENCY LIGHTING EXIT SIGN WITH DIRECTIONAL ARROW
CD X	VISIBLE FIRE ALARM - WALL MOUNT (CD = CANDELA RATING)		PORTABLE 2-A FIRE EXTINGUISHER (OR EQUAL)
	COMBINATION VISIBLE/AUDIBLE FIRE ALARM (CD = CANDELA RATING)	<ul><li>● SM</li><li>● QQ</li></ul>	HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP CARBON MONOXIDE DETECTOR
F	MANUAL FIRE ALARM BOX	⊚ sm/co	HARD WIRED SMOKE AND CARBON MONOXIDE DETECTOR COMBO W/ BATTERY BACK-UP

FACU FIRE ALARM CONTROL UNIT

- FIRE PROTECTION SYSTEMS, INCLUDING AUTOMATIC SPRINKLER SYSTEMS, SHALL BE MONITORED BY AN APPROVED SUPERVISING STATION IN ACCORDANCE WITH NFPA 72.
- 2. ALL FIRE ALARM SYSTEM COMPONENTS SHALL BE INSTALLED IN CONFORMANCE WITH NFPA 72.
- 3. FIRE ALARM SYSTEM SHALL ANNUNCIATE AT THE FIRE ALARM CONTROL UNIT AND SHALL INITIATE OCCUPANT NOTIFICATION DEVICES IN ACCORDANCE WITH SECTION 907.5 OF 2020 IBC. FIRE ALARM SYSTEM SHALL BE ACTIVATED BY ANY OF THE FOLLOWING DEVICES, WHEN PRESENT. - AUTOMATIC FIRE DETECTORS
  - AUTOMATIC SPRINKLER SYSTEM WATERFLOW DEVICES - MANUAL FIRE ALARM BOXES - AUTOMATIC FIRE-EXTINGUISHING SYSTEM
- 4. THE CIRCUIT DISCONNECTING MEANS OF THE DEDICATED BRANCH CIRCUIT (PRIMARY POWER SUPPLY) SHALL HAVE A RED MARKING AND BE ACCESSIBLE ONLY TO AUTHORIZED PERSONNEL, AND SHALL BE IDENTIFIED AS "FIRE ALARM CIRCUIT". THE LOCATION OF THE CIRCUIT DISCONNECTING MEANS SHALL BE PERMANENTLY IDENTIFIED AT THE FIRE ALARM CONTROL UNIT.
- THE CAPACITY OF SECONDARY POWER SUPPLY SHALL BE SUFFICIENT TO OPERATE FIRE ALARM SYSTEM IN A NON-ALARM CONDITION FOR A MINIMUM OF 24 HOURS AND, AT THE CONCLUSION OF THIS PERIOD, SHALL BE CAPABLE OF OPERATING ALL ALARM NOTIFICATION APPLIANCES USED FOR EVACUATION PURPOSES FOR AT LEAST 5 MINUTES.
- SECONDARY POWER SUPPLY SHALL AUTOMATICALLY PROVIDE POWER TO THE PROTECTED PREMISES FIRE ALARM SYSTEM WITHIN 10 SECONDS OF THE PRIMARY POWER SUPPLY FAILING TO PROVIDE THE MINIMUM VOLTAGE REQUIRED FOR PROPER OPERATION.
- EQUIPMENT SHALL BE CAPABLE OF PERFORMING ITS INTENDED FUNCTIONS AT 85% AND AT 110% OF THE NAMEPLATE PRIMARY AND SECONDARY INPUT VOLTAGES, AT AMBIENT TEMPERATURES OF 32°F AND 120°F, AND AT 86°F WITH A RELATIVE HUMIDITY OF 85% AS PER NFPA 72 4.4.4.1. EQUIPMENT SHALL NOT BE INSTALLED IN LOCATIONS WHERE THESE CONDITIONS ARE EXCEEDED UNLESS SPECIFICALLY LISTED AS CAPABLE OF WITHSTANDING THESE CONDITIONS.
- 8. MANUAL FIRE ALARM BOXES SHALL BE RED IN COLOR AND SHALL BE LOCATED 42"-48" ABOVE THE FINISHED FLOOR, MEASURED VERTICALLY FROM THE FLOOR TO THE ACTIVATING HANDLE OR LEVER OF THE BOX.
- 9. ALL FIRE ALARM NOTIFICATION DEVICES SHALL BE LISTED FOR THE PURPOSE FOR WHICH THEY ARE USED AND INCLUDE NAMEPLATES PROVIDING REFERENCE TO THEIR ELECTRICAL REQUIREMENTS AND RATED AUDIBLE OR VISUAL PERFORMANCE, IN ACCORDANCE WITH NFPA 72 SECTION 7.3
- 10. ALARM TROUBLE SIGNALS SHALL FUNCTION IN ACCORDANCE WITH SECTION 4.4.3.5 OF NFPA 72.
- AUDIBLE ALARM NOTIFICATION APPLIANCES FOR THE FIRE ALARM SYSTEM SHALL PRODUCE DISTINCTIVE SIGNALS THAT ARE DIFFERENT FROM THOSE PRODUCES BY OTHER APPLIANCES USED FOR OTHER PURPOSES IN THE SAME
- 12. AUDIBLE NOTIFICATION DEVICES SHALL BE LOCATED WITH THEIR TOPS ABOVE THE FINISHED FLOOR AT LEAST 90" AND BELOW THE FINISHED CEILING AT LEAST 6", PROVIDED CEILING HEIGHTS ALLOW THESE CLEARANCES.
- 13. AUDIBLE NOTIFICATION DEVICES SHALL PROVIDE A SOUND PRESSURE LEVEL 15 dBA ABOVE THE AMBIENT SOUND LEVEL OR 5dBA ABOVE THE MAXIMUM SOUND LEVEL WITH A DURATION OF AT LEAST 60 SECONDS, WHICHEVER IS GREATER. DEVICE SHALL PROVIDE A MAXIMUM SOUND PRESSURE OF 110 dBA AT THE MINIMUM HEARING DISTANCE FROM THE DEVICE.
- 14. VISIBLE NOTIFICATION DEVICES SHALL BE PROVIDED IN PUBLIC USE AND COMMON USE AREAS PER 2020 IBC 907.5.2.3.1.
- 15. WALL MOUNTED VISIBLE NOTIFICATION DEVICES SHALL BE 80-96" ABOVE THE FINISHED FLOOR, OR WITHIN 6" OF THE CEILING WHEN NOT ALLOWED BY LOW
- 16. FOR CORRIDORS LESS THAN 20' WIDE, VISIBLE NOTIFICATION DEVICES SHALL NOT BE RATED LESS THAN 15 CANDELAS.
- 17. UNLESS LISTED FOR RECESSED MOUNTING, DETECTORS SHALL NOT BE INSTALLED RECESSED INTO THEIR MOUNTING SURFACE.
- 18. CARBON MONOXIDE DETECTION SHALL BE PROVIDED IN ANY DETECTION ZONE WHERE CARBON MONOXIDE PRODUCING EQUIPMENT EXISTS.
- 19. CARBON MONOXIDE DETECTION SYSTEMS SHALL COMPLY WITH 2020 IFC 915.3
  AND NFPA 120. CARBON MONOXIDE DETECTORS SHALL BE LISTED IN ACCORDANCE WITH UL 2075.







DATE: 01/12/21

EGRESS & EMERGENCY DEVICE PLAN - ROOF PLAN GRAPHIC SCALE

SCALE: NTS

EGRESS & EMERGENCY DEVICE PLAN - FIRST FLOOR GRAPHIC SCALE