

RESIDENTIAL GENERAL NOTES

MISC. GENERAL NOTES
 1. THIS PROJECT IS THE ADDITION AND RENOVATION OF A 2-FAMILY, ONE AND A HALF STORY STRUCTURE, ZONED AS R-2, IN THE HISTORIC DISTRICT.
 2. THE EXISTING HEIGHT OF THE STRUCTURE AS DEFINED BY THE BUILDING CODE OF NEW YORK STATE 2020 IS 19'-11". THE PROPOSED HEIGHT IS 20'-1".
 3. THE TYPE OF CONSTRUCTION IS TYPE V (B).
 4. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE 2020 BUILDING CODE OF NEW YORK STATE, 2020 EXISTING BUILDING CODE OF NEW YORK STATE, AND THE AF 4 PA WOOD FRAME CONSTRUCTION MANUAL 2015 HIGH WIND EDITION.
 5. DESIGN LOAD CALCULATION ARE BASED ON:
 LIVE LOAD: AS PER TABLE R301.4, BUILDING CODE OF NEW YORK STATE 2020.
 DEAD LOAD: CALCULATED AS PER R301.3 AS PER FCNYS 2020.
 SNOW LOAD: 20 PSF GROUND SHOW LOAD AS PER FIG. R301.2(1) FCNYS 2020.
 WIND EXPOSURE CATEGORY 'C', FOR 130 MPH 3 SECOND GUST.

LOCATION	LIVE	DEAD	DELECT LIMIT
1ST FL.	40 LB.	12	U360
2ND FL. (SLEEP AREA)	30 LB.	12	U360
ATTIC (NON STORAGE)	20 LB.	10	U360
ROOF	20 LB.	15	U360

6. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE CONSTRUCTION MEANS, METHODS, TECHNOLOGIES, SEQUENCES, OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
 THERE ARE NO WARRANTIES, NOR ANY MERCHANTABILITY OF FITNESS FOR A SPECIFIC USE EXPRESSED OR IMPLIED IN THE USE OF THESE PLANS.
 7. CONTRACTOR TO VERIFY ALL DIMENSIONS BEFORE STARTING CONSTRUCTION. DO NOT SCALE DRAWINGS. FOLLOW DIMENSIONS ONLY.
 8. CONTRACTORS SHALL FURNISH AND INSTALL ALL MATERIAL AND EQUIPMENT SHOWN, LISTED, OR DESCRIBED ON THESE DRAWINGS SUBJECT TO QUALIFICATIONS, CONDITIONS, OR EXCEPTIONS AS NOTED. CONTRACTOR SHALL FURNISH ALL LABOR, SCAFFOLDING, AND TOOLS NECESSARY TO COMPLETE THE WORK.
 9. ALL MATERIAL SHALL BE INSTALLED IN STRICT CONFORMANCE WITH MANUFACTURERS REQUIREMENTS AND SPECIFICATIONS.
 10. CONTRACTOR SHALL OBTAIN ALL REQUIRED INSPECTIONS, APPROVALS AND CERTIFICATE OF OCCUPANCY.

DEMOLITION
 1. CONTRACTOR SHALL DEMOLISH WALLS, FLOOR, AND EXISTING ROOF AS INDICATED ON DRAWINGS AND AS NECESSARY, AND REMOVE DEBRIS.
 2. CONTRACTOR SHALL DO ALL PATCHING REQUIRED DUE TO REMOVAL OF EXISTING WORK AND OR INSTALLATION OF NEW WORK.
 3. ALL NEW WORK SHALL MATCH AND MEET FLUSH TO EXISTING WORK AS CLOSELY AS POSSIBLE UNLESS OTHERWISE NOTED.
 4. EXISTING STRUCTURE AND INTERIORS TO REMAIN SHALL BE PROTECTED AS NECESSARY DURING DEMOLITION AND CONSTRUCTION.
 5. CONTRACTOR SHALL PROTECT EXISTING SERVICES TO REMAIN AND SHALL NOTIFY ALL UTILITIES AND TELEPHONE SERVICES AND MAKE ARRANGEMENTS FOR HOOK-UP, REMOVAL, OR CAPPING OF EQUIPMENT AS NECESSARY.

FOUNDATIONS
 1. ASSUMED SOIL BEARING CAPACITY: 1,500 LB./SQ.FT.
 2. CONCRETE TO BE PLACED, REINFORCED, 3,000 PSI, 28 DAY TEST.
 3. ALL NEW FOOTINGS TO REST ON UNDISTURBED SOIL.

GENERAL CONSTRUCTION
 1. PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, EQUIPMENT AND SERVICES NECESSARY TO COMPLETE ALL WOOD AND PLASTIC WORK REQUIRED BY THE DRAWINGS AS SPECIFIED HEREIN, OR REASONABLY IMPLIED AS NECESSARY TO COMPLETE THE WORK.
 2. FLASHING, SOFFITS AND EXTERIOR TRIM SHALL MATCH EXISTING.
 3. INTERIOR TRIM SHALL MATCH EXISTING.
 4. FRAMING EDGINGS
 A. ALL FRAMING LUMBER SHALL BE GRADE STAMPED DOUGLAS FIR-LARCH STRUCTURAL GRADE NO. 2 OR BETTER.
 B. ALL ENGINEERED LUMBER SHALL BE AS INDICATED ON DRAWINGS, AND SHALL BE INSTALLED, CUT AND DRILLED IN ACCORDANCE WITH MANUFACTURERS REQUIREMENTS AND SPECIFICATIONS.
 C. ALL SHEATHING TO BE APA RATED, EXPOSURE 1, THICKNESSES AS INDICATED.
 D. ALL SUB FLOORING TO BE APA RATED STURD-1 FLOOR, EXPOSURE 1, 3/4" MIN. THICKNESS.
 E. ALL HEADERS 6" O/D AND OVER SHALL BE SUPPORTED WITH DOUBLE UPRIGHTS, 9" O/D AND OVER WITH THREE UPRIGHTS. ALL HEADERS SHALL BE A MIN. OF 2" O/D OR AS SHOWN ON DRAWING.
 F. SOLID BLOCKING SHALL BE PROVIDED FOR ALL JOISTS AND FLOOR BEAMS AS PER BOCHYS 2020 OR AS NOTED @ 4" O.C. MIN. PROVIDE 2" SPACES FOR AIR CIRCULATION IN ROOF.
 G. PROVIDE DOUBLE FRAMING AROUND ALL OPENINGS (DOORS, ETC.) OR AS NOTED ON DRAWINGS.
 H. PROVIDE DOUBLE UP FRAMING UNDER ALL JOISTS AND PARALLEL PARTITIONS OR AS NOTED ON DRAWINGS.
 I. ALL FLUSH WOOD CONNECTIONS SHALL BE FASTENED WITH RATED GALVANIZED METAL CONNECTORS BY "SIMPSON" OR APPROVED EQUAL.

J. NAILING SCHEDULE SHALL BE AS PER BUILDING CODE OF NEW YORK STATE 2020 AS A MINIMUM.
 K. ALL SHEATHING TO BE APA RATED, EXPOSURE 1, THICKNESSES AS INDICATED.
 L. ALL SUB FLOORING TO BE APA RATED STURD-1 FLOOR, EXPOSURE 1, 3/4" MIN. THICKNESS.
 M. ALL ROOF RAFTERS SHALL BE ATTACHED TO THE PLATE AND STUD WITH GALVANIZED HURRICANE TIE CONNECTORS BY "SIMPSON" OR APPROVED EQUAL. FOR TIMBER PILE FOUNDATIONS, PROVIDE HURRICANE CLIPS AT ALL PERIMETER JOISTS TO GREEK CONNECTIONS.
 N. ALL NEW WINDOWS TO BE THERMAL INSULATED LOW-E GLASS, WITH ARGON GAS, IMPACT RESISTANT AS REQUIRED.
 O. LOAD PATHS ARE INDICATED BY SECTION DRAWINGS.
 P. CONNECTIONS SHALL BE BUILT IN ACCORDANCE WITH ANSI A/F A W/FCM-1995 (SEE NAILING SCHEDULE).
 Q. FLASHING AT ALL WINDOW AND DOOR OPENINGS SHALL BE EPDM OR APPROVED RUBBERIZED MEMBRANE.
 R. FLASHING AT ROOF CONNECTIONS, VALLEYS, CHIMNEYS AND CRACKS SHALL BE ALUMINUM.
 S. STEP FLASHING SHALL BE USED AT ALL INTERSECTIONS OF SLOPED AND VERTICAL SURFACES, EXCEPT STEP FLASHING AND COUNTER, AND CAP. FLASHING SHALL BE USED AT INTERSECTION OF ROOF AND CHIMNEY, AND ROOF AND WALLS.
 T. INSULATION SHALL BE BATT INSULATION OF THICKNESS INDICATED ON THE DRAWINGS AND SHALL BE 2" OR 3" IDENTIFY FIBERGLASS BATT INSULATION TO THE SPECIFICATIONS FOR PRE-FORMED FIBROUS GLASS INSULATION, NAAMM STANDARD S1, 11-70. CLOSED-CELL SPRAY-IN FOAM INSULATION (R-6.5 PER INCH) BY ICYNENE OR APPROVED EQUAL SHALL BE PROVIDED AS INDICATED ON DRAWINGS.
 U. NEW INTERIOR DOORS SHALL MATCH EXISTING.
 V. GYPSUM BOARD SHALL BE Sanded JOIST TYPE, CONFORMING TO ASTM C36, AND SHALL BE "SHEETROCK 5/8" BY U.S. GYPSUM CO. OR APPROVED EQUAL. GYPSUM WALLBOARD THICKNESS SHALL BE 1/2".
 W. ALL NEW AND REPAIRED GYP. BOARD SHALL BE TAPED AND SPACKLED THREE (3) COATS. ALL EXTERIOR CORNERS SHALL HAVE METAL CORNER BEADS.

FINISHES
 1. NEW WOOD FLOORS TO BE SELECTED BY OWNER, SANDED AND POLYURETHANE, 3COATS.
 2. EXISTING WOOD FLOORS SHALL BE SANDED AND REFINISHED.
 3. CERAMIC TILE FLOOR SHALL BE SELECTED BY OWNER AND INSTALLED WITH THIN SET ADHESIVE.
 4. EXTERIOR PAINT SHALL BE LATEX ACRYLIC BY BENJAMIN MOORE OR APPROVED EQUAL APPLIED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND RECOMMENDATIONS. COLOR TO BE SELECTED.
 5. EXISTING INTERIOR WALLS AND CEILING IN ROOMS AFFECTED BY THE WORK SHALL BE CLEANED AND REPAIRED. NEW WALLS AND CEILING SHALL BE SEALED AND PAINTED. PAINTING SHALL BE TWO (2) COATS BENJAMIN MOORE AQUA PEARL LATEX PAINTED. COLOR TO BE SELECTED.
 6. INTERIOR TRIM SHALL BE SANDED SMOOTH, PRIME, AND FINISHED WITH TWO (2) COATS BENJAMIN MOORE LATEX ACRYLIC SEMI-GLOSS PAINT.

HVAC
 1. PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, EQUIPMENT AND SERVICES NECESSARY TO PROVIDE A HVAC SYSTEM TO HEAT AND COOL THE LIVING SPACES AS REQUIRED BY THE DRAWINGS AND SPECIFICATIONS AND THE 2020 MECHANICAL CODE OF NEW YORK STATE, OR REASONABLY IMPLIED AS NECESSARY TO COMPLETE TO WORK.
 2. EXISTING BOILER TO REMAIN.
 3. EXISTING AIR HANDLERS AND CONDENSERS TO REMAIN.
 4. PROVIDE AIR HANDLERS, DUCTWORK, AND CONTROLS AS NECESSARY TO COMPLETE THE WORK FOR AIR CONDITIONING IN ALL ZONES.
 5. PROVIDE HOT WATER RADIANT HEAT TUBING AS NECESSARY FOR HEATING IN ALL ZONES.

PLUMBING
 1. PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, EQUIPMENT AND SERVICES NECESSARY TO COMPLETE ALL NEW PLUMBING WORK REQUIRED BY THE DRAWINGS AND SPECIFICATIONS AND THE 2020 PLUMBING CODE OF NEW YORK STATE, OR REASONABLY IMPLIED AS NECESSARY TO COMPLETE THE WORK.
 2. CONFORM TO THE NEW YORK STATE ENVIRONMENTAL CONSERVATION LAW WITH REGARDS TO WATER SAVING AND CONSERVATION. ALL FIXTURES SHALL BE ON THE APPROVED LIST OF CERTIFIED WATER SAVING FIXTURES AS PUBLISHED BY THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION.
 3. ALL WORK ON THE PLUMBING SYSTEM SHALL BE PERFORMED BY OR UNDER THE SUPERVISION OF A PROPERLY LICENSED MASTER PLUMBER. UPON COMPLETION, THE PLUMBER SHALL PROVIDE A SOLDER CERTIFICATE AS REQUIRED BY THE TOWN OF SOUTHOLD.
 4. THE CONTRACTOR SHALL OBTAIN, SUBMIT, AND PAY FOR ALL PERMITS, CERTIFICATIONS, LICENSES AND INSPECTIONS AS REQUIRED BY LOCAL, STATE, AND FEDERAL AUTHORITIES, AND ANY OTHER APPLICABLE JURISDICTION.

ELECTRICAL
 1. FURNISH ALL LABOR, MATERIALS, EQUIPMENT, PLANT, TOOLS, AND SERVICES NECESSARY AND REQUIRED FOR THE INSTALLATION OF ALL NEW ELECTRICAL SYSTEMS AND RELATED WORK INCLUDING, BUT NOT LIMITED TO, CONNECTIONS TO PREVIOUSLY INSTALLED ELECTRICAL SYSTEMS, WIRING, LIGHTING, SERVICES, FEEDERS, DISTRIBUTION AND PROTECTION EQUIPMENT, CONNECTIONS TO APPLIANCES, GROUNDING, AND ALL INCLUDING ALL CONNECTIONS AND DEVICES WITHIN THE SCOPE OF THE WORK AS SHOWN ON THE APPLICABLE DRAWINGS AND SPECIFICATIONS AND AS NORMALLY SPECIFIED IN THIS TYPE OF PROJECT AND INCLUDING CONNECTIONS TO PREVIOUSLY INSTALLED TRANSFORMERS AND ELECTRICAL DISTRIBUTION SYSTEMS.
 2. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE 2020 BUILDING CODE OF NEW YORK STATE, THE NATIONAL ELECTRICAL CODE, NFPA NO. 70-2017 (NEC), LOCAL UTILITY STANDARDS, OCCUPATIONAL SAFETY AND HEALTH (OSHA), THE NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION (NEMA) AND ANY OTHER APPLICABLE CODES. IN THE EVENT OF CONFLICT, THE MORE STRINGENT REQUIREMENTS WILL APPLY.
 3. ALL PRODUCTS USED FOR ELECTRICAL WORK SHALL BEAR THE UNDERWRITERS LABORATORIES, INC. LABEL AND BE SUITABLE FOR THE ENVIRONMENT IN WHICH THEY WILL BE INSTALLED.
 4. ALL WORK ON THE ELECTRICAL SYSTEM SHALL BE PERFORMED BY OR UNDER THE SUPERVISION OF A PROPERLY LICENSED MASTER ELECTRICIAN.
 5. THE CONTRACTOR SHALL OBTAIN, SUBMIT, AND PAY FOR ALL PERMITS, LICENSES AND INSPECTIONS AS REQUIRED BY THE LOCAL, STATE, AND FEDERAL AUTHORITIES, AND ANY OTHER APPLICABLE JURISDICTION.
 6. CARBON MONOXIDE DETECTORS IN CONFORMANCE WITH APPLICABLE CODES SHALL BE CONNECTED TO THE LIGHTING CIRCUITS WITH NO INTERVENING WALL SWITCH. LINE COND CONNECTOR, DIRECT PLUG-IN, AND BATTERY POWERED ALARMS ARE NOT ACCEPTABLE. ALARMS SHALL BE INSTALLED ON EACH LEVEL ON WHICH SLEEPING QUARTERS ARE LOCATED.
 7. SMOKE DETECTORS IN CONFORMANCE WITH THE 2020 BUILDING CODE OF NEW YORK STATE, THE NFPA NATIONAL FIRE ALARM CODE NO. 72-1993 SHALL BE PROVIDED OUTSIDE EACH SEPARATE SLEEPING AREA, IN EACH SLEEPING AREA, AND ON EACH FLOOR LEVEL.

CONTRACTOR SHALL COORDINATE WITH OWNERS ALARM COMPANY FOR SMOKE AND BURGLAR ALARMS AS NECESSARY.

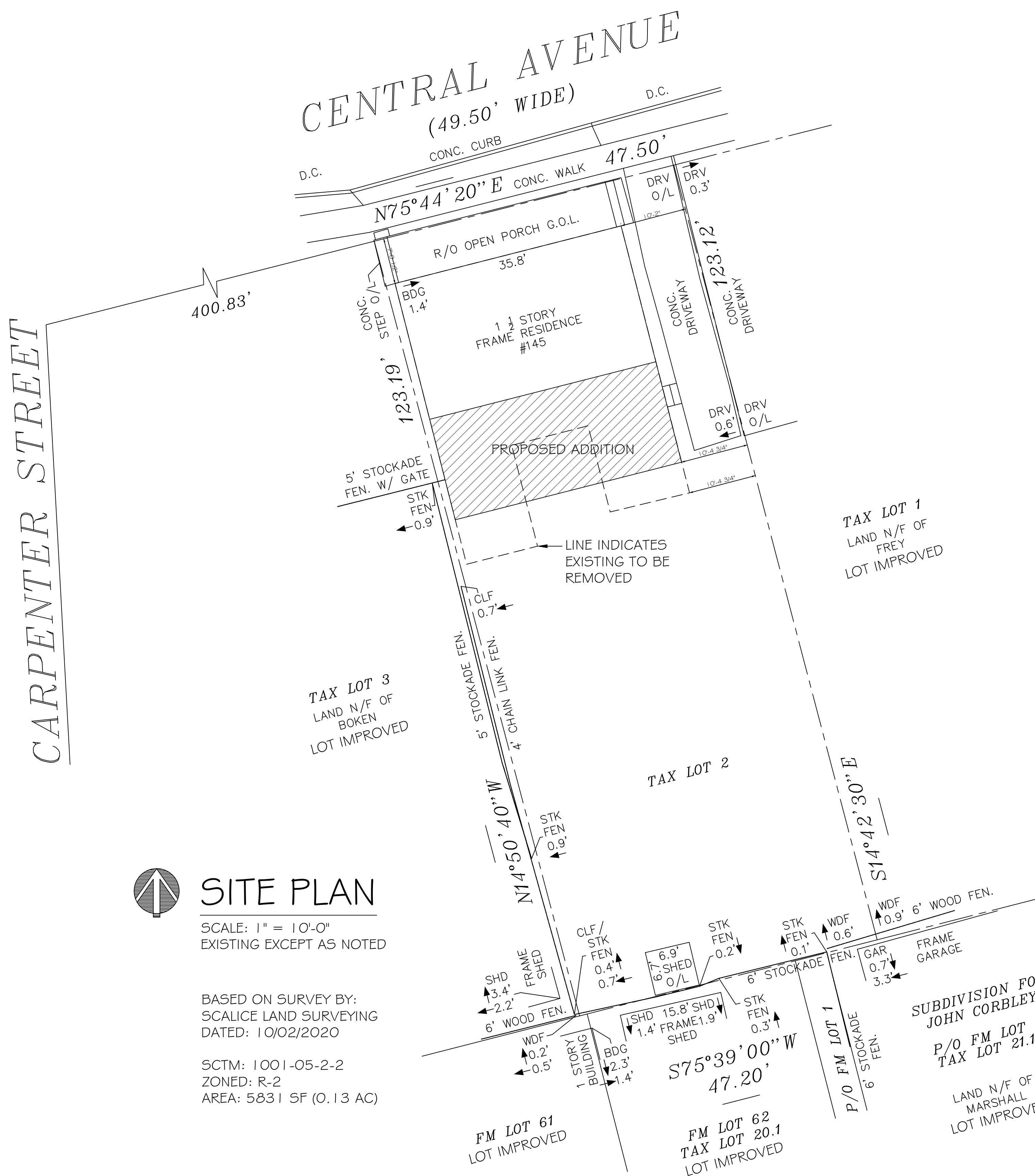
CLIMATIC AND GEOGRAPHIC CRITERIA
 GROUND SHOW LOAD 20 PSF (PER FIG. 1608.2 BOCHYS 2020)
 WIND SPEED (ULTIMATE DESIGN) 130 MPH (PER FIG. 1609.3(1) BOCHYS 2020)
 SEISMIC DESIGN CATEGORY B (PER SECT. 1613 BOCHYS 2020)
 WATER DESIGN TEMP 1.1°F (PER TABLE 101.2)
 FLOOD ZONE N/A (PER FEMA MAP)
 FLOOD LINE DEPTH 36" SEVERE (PER BOCHYS 2020)
 WEATHERING PROBABILITY SEVERE (PER BOCHYS 2020)
DESIGN LOAD CALCULATIONS (UNIFORM LIVE LOADS)
 PER TABLE 1607.1 BOCHYS 2020 40 PSF
 ROOFS OTHER THAN SLEEPING 20 PSF
 SLEEPING ROOMS 30 PSF
 ATTICS WITH LIMITED STORAGE 20 PSF
 ATTICS WITHOUT STORAGE 10 PSF
 STAIRS 40 PSF

NAILING SCHEDULE
 (PER AF 4 PA AMERICAN WOOD COUNCIL WFCM FOR ONE AND TWO FAMILY DWELLINGS 2015 58C HIGH WIND EDITION)

JOINT DESCRIPTION	NUMBER OF COMMON NAILS	NAIL SPACING
ROOF FRAMING		
RAFTER TO TOP PLATE (TOE-NAILED)	3	PER RAFTER
CEILING JOIST TO TOP PLATE (TOE-NAILED)	3	PER JOIST
CEILING JOIST TO PARALLEL RAFTER (FACE-NAILED)	3	EACH LAP
CEILING JOIST LAPS OVER PARTITION (FACE-NAILED)	3	EACH LAP
RIDGE STRAP (EACH END)	2-8d	PER TIE
BLOCKING TO RAFTER (TOE-NAILED)	2-8d	EACH END
RIM BOARD TO RAFTER (END-NAILED)	2-16d	EACH END
WALL FRAMING		
TOP PLATE TO TOP PLATE (FACE-NAILED)	2-16d	PER FOOT
TOP PLATES AT INTERSECTIONS (FACE-NAILED)	4-16d	JOIST FACE SIDE
STUD TO STUD (FACE-NAILED)	2-16d	24" O.C.
HEADER TO HEADER (FACE-NAILED)	1-6d	16" O.C. ALONG EDGES
TOP OR BOTTOM PLATE TO STUD (END-NAILED)	2-16d, 3-1 1/4, 4-1 1/4	PER 2x4, 2x6, 2x8 RESPECTIVELY
BOTTOM PLATE TO FLOOR JOIST, BAND JOIST, END JOIST OR BLOCKING (FACE-NAILED)	2-16d	PER FOOT
FLOOR FRAMING		
JOIST TO SILL, TOP PLATE TO GREEK (TOE-NAILED)	4-8d	PER JOIST
BRIDGING TO JOIST (TOE-NAILED)	2-8d	EACH END
BLOCKING TO JOIST (TOE-NAILED)	2-8d	EACH END
BLOCKING TO SILL OR TOP PLATE (FACE-NAILED)	2-8d	EACH BLOCK
LEDGE STRIP TO BEAM (FACE-NAILED)	3-16d	EACH JOIST
JOIST END EDGE TO BEAM (TOE-NAILED)	3-8d	PER JOIST
BAND JOIST TO JOIST (END-NAILED)	3-16d	PER JOIST
BAND JOIST TO SILL OR TOP PLATE (TOE-NAILED)	2-16d	PER FOOT
ROOF SHEATHING		
DIAGONAL BOARD SHEATHING 1" X 6" OR 1" X 8" OR 1" X 10" OR WIDER	3-8d	PER SUPPORT
GYPSUM WALLBOARD	5d	(TABLE 3.9)
CEILING SHEATHING		
GYPSUM WALLBOARD	5d	7" EDGE / 10" FIELD
WALL SHEATHING		
STRUCTURAL PANELS	8d	(TABLE 3.9)
FIBERBOARD PANELS	7d	3" EDGE / 10" FIELD
25/32" GYPSUM WALLBOARD	8d	3" EDGE / 10" FIELD
HARDBOARD	5d	(TABLE 3.9)
PARTICULARBOARD PANELS	8d	(TABLE 3.9)
DIAGONAL BOARD SHEATHING 1" X 6" OR 1" X 8" OR 1" X 10" OR WIDER	2-8d	PER SUPPORT
	3-8d	PER SUPPORT
FLOOR SHEATHING		
STRUCTURAL PANELS 1" OR LESS	8d	6" EDGE / 12" FIELD
GREATER THAN 1" DIAGONAL BOARD SHEATHING 1" X 6" OR 1" X 8" OR 1" X 10" OR WIDER	10d	6" EDGE / 10" FIELD
	2-8d	PER SUPPORT
	3-8d	PER SUPPORT

FROM TABLE N1102.1.2 (R402.1.2) INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT

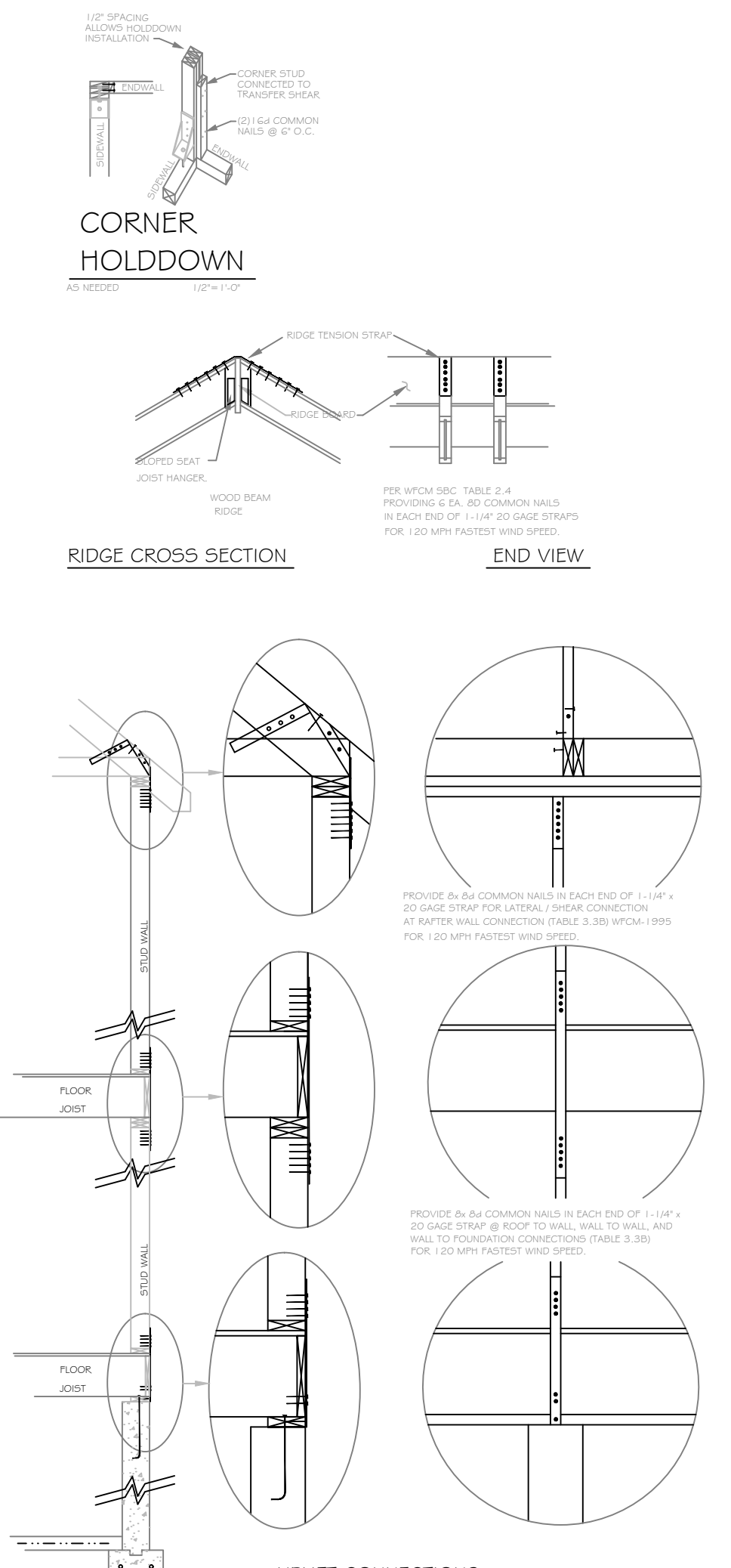
CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE & DEPTH	CRAWL SPACE WALL R-VALUE
4	0.32	0.55'	0.40	49	20 OR 13+5	8 / 13	19	10 / 13	10, 2FT	10 / 13



SITE PLAN
 SCALE: 1" = 10'-0"
 EXISTING EXCEPT AS NOTED

BASED ON SURVEY BY:
 SCALICE LAND SURVEYING
 DATED: 10/02/2020
 SCTM: 1001-05-2-2
 ZONED: R-2
 AREA: 5831 SF (0.13 AC)

CONNECTIONS DETAIL



ISSUES / REVISIONS

DATE	DESCRIPTION
01 OCTOBER, 2021	
26 AUGUST, 2021	
17 AUGUST, 2021	
12 AUGUST, 2021	

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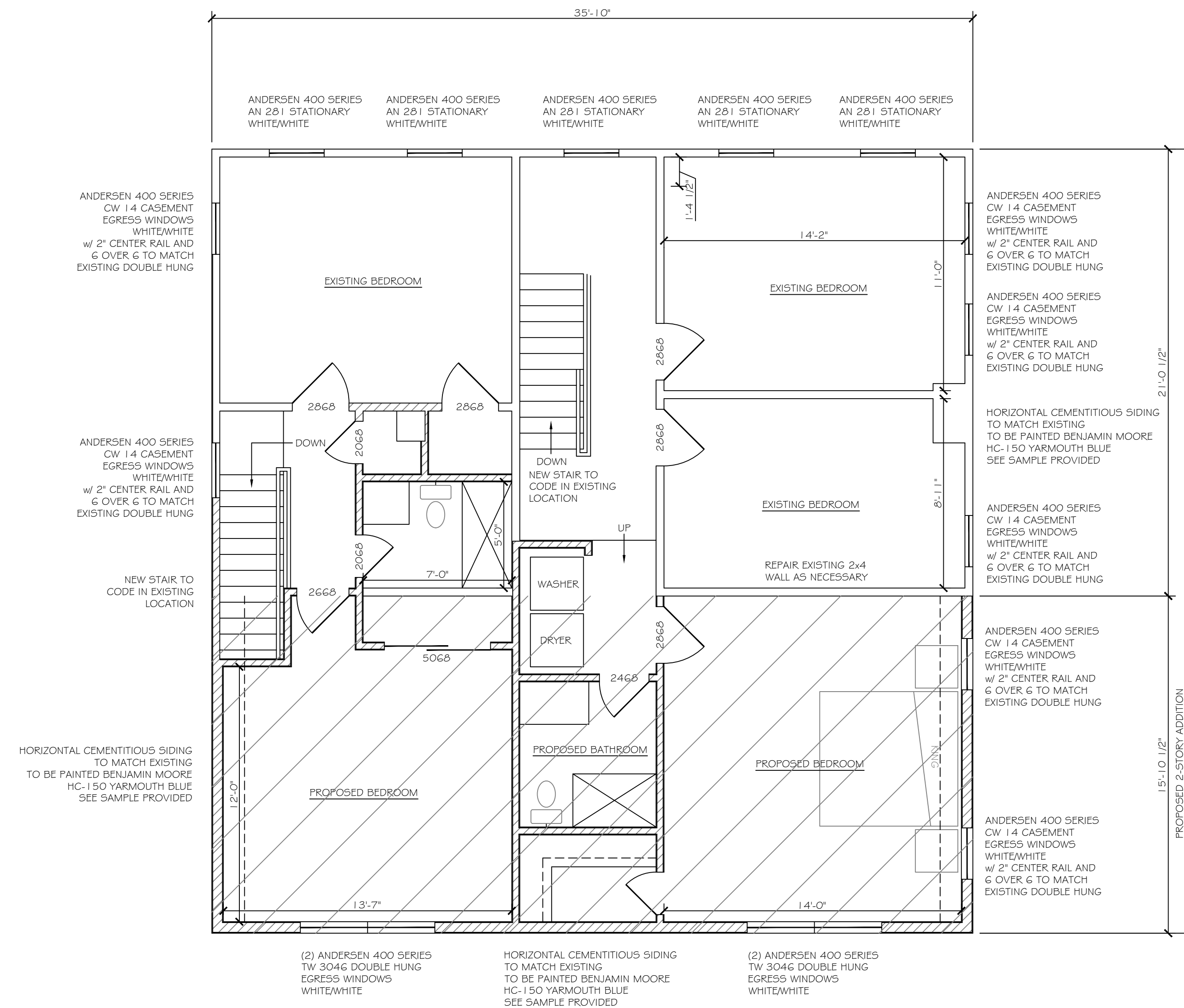
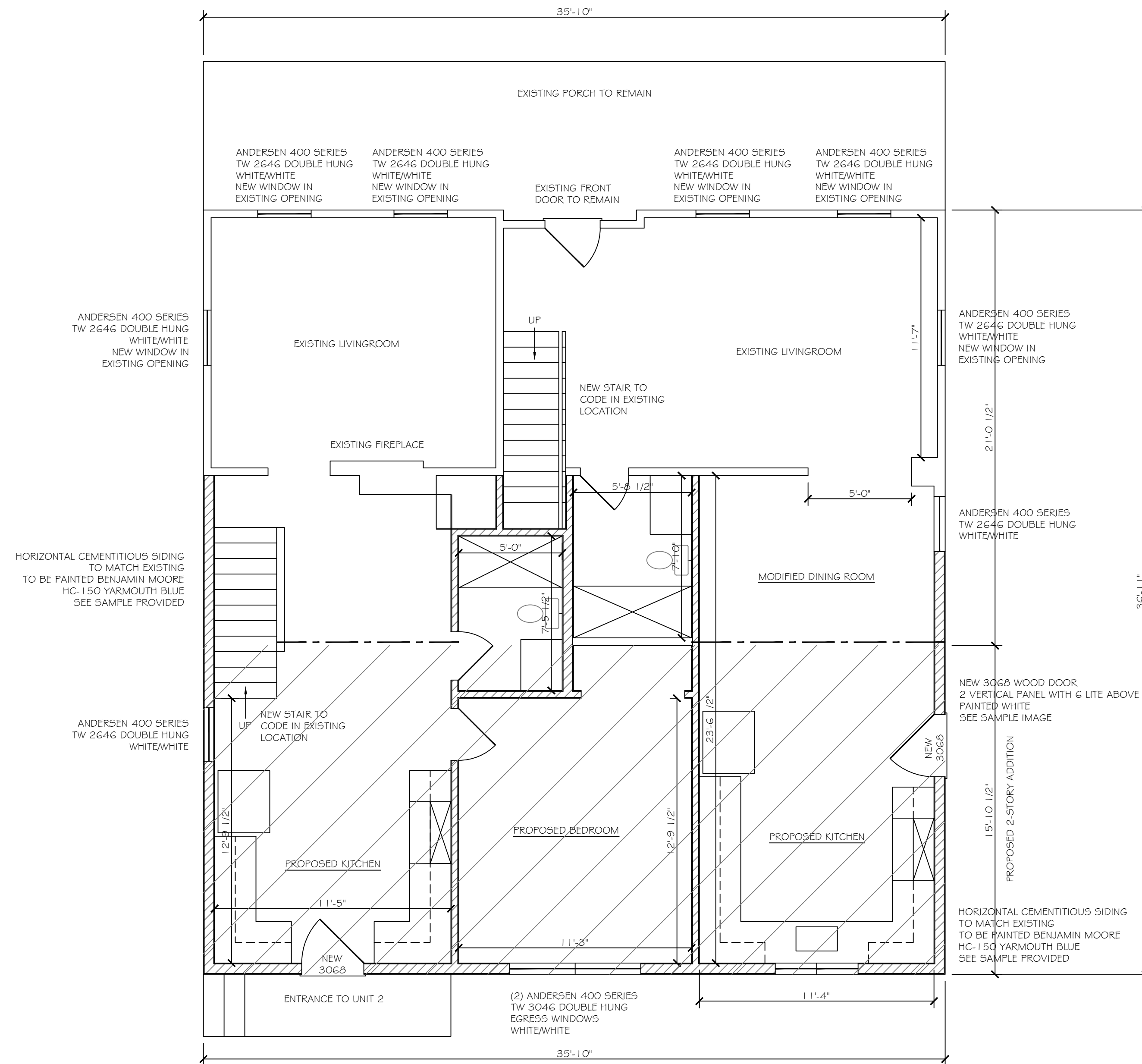
CLIENT / OWNER
INNAMORATO TOM
 145 CENTRAL AVENUE
 GREENPORT, NY 11944

PROJECT TITLE
ADDITIONS AND RENOVATIONS

DRAWING TITLE
SITE PLAN GENERAL NOTES

08 OCTOBER, 2021
 SCALE
 1" = 10'-0"

DRAWING NO.
A1



01 OCTOBER, 2021
 26 AUGUST, 2021
 12 AUGUST, 2021

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PROJECT TITLE
ADDITIONS AND RENOVATIONS

DRAWING TITLE
FLOOR PLANS

08 OCTOBER, 2021 SCALE
 1" = 20'-0"

DRAWING NO.

A2

01 OCTOBER, 2021
 26 AUGUST, 2021
 12 AUGUST, 2021

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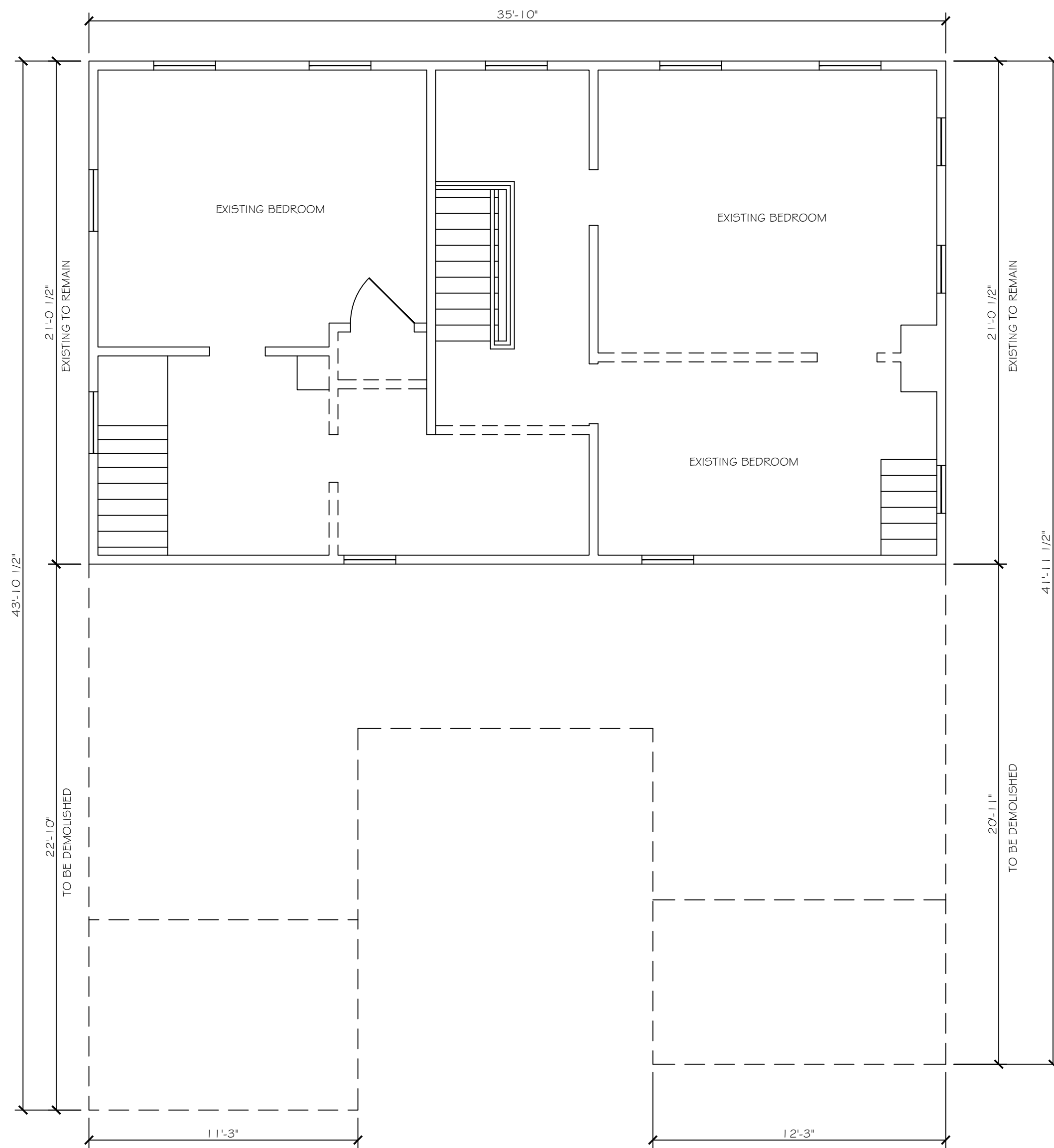
PROJECT TITLE
ADDITIONS AND RENOVATIONS

DRAWING TITLE
DEMOLITION PLANS

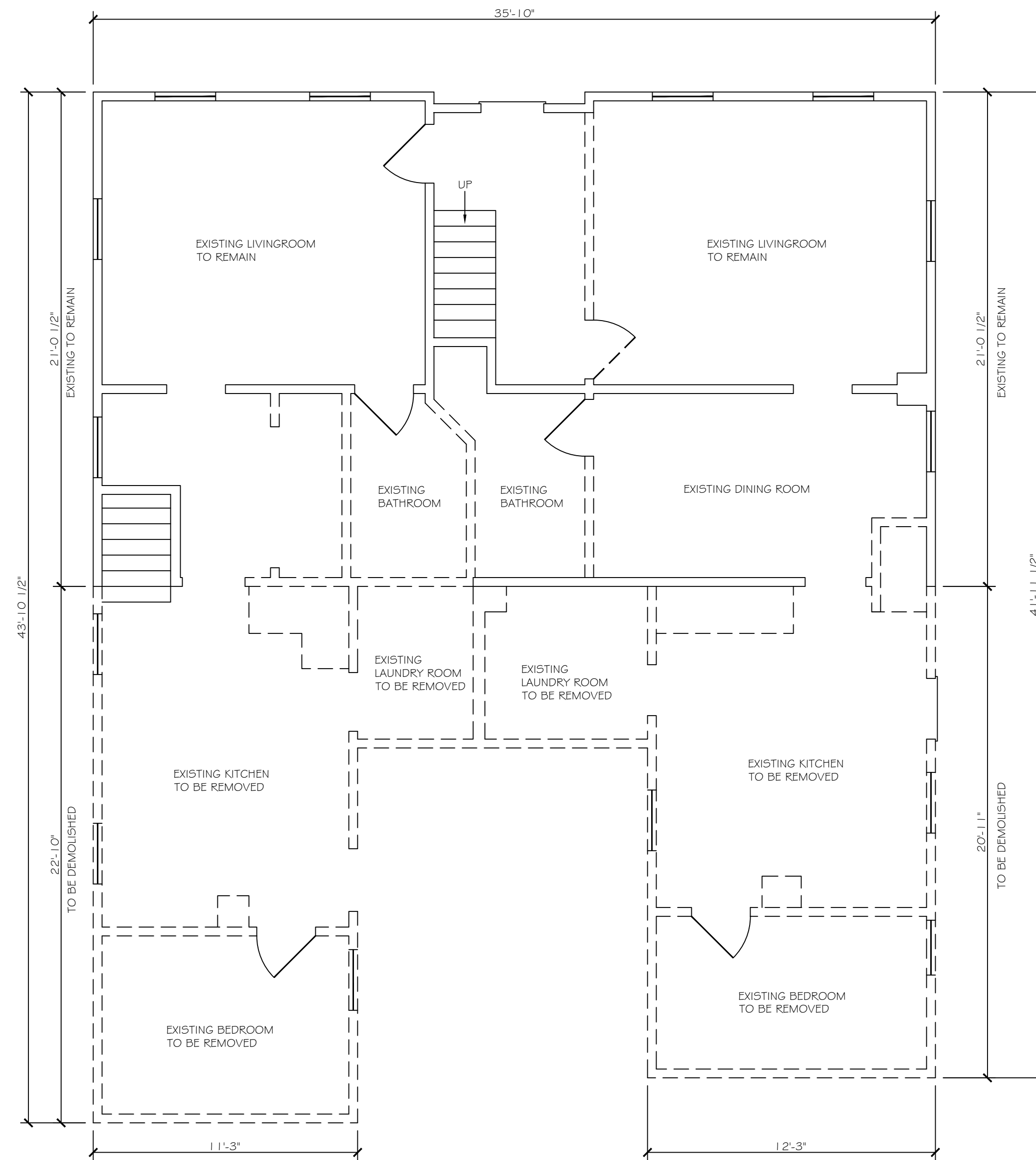
08 OCTOBER, 2021 SCALE
 1/4" = 1'-0"

DRAWING NO.

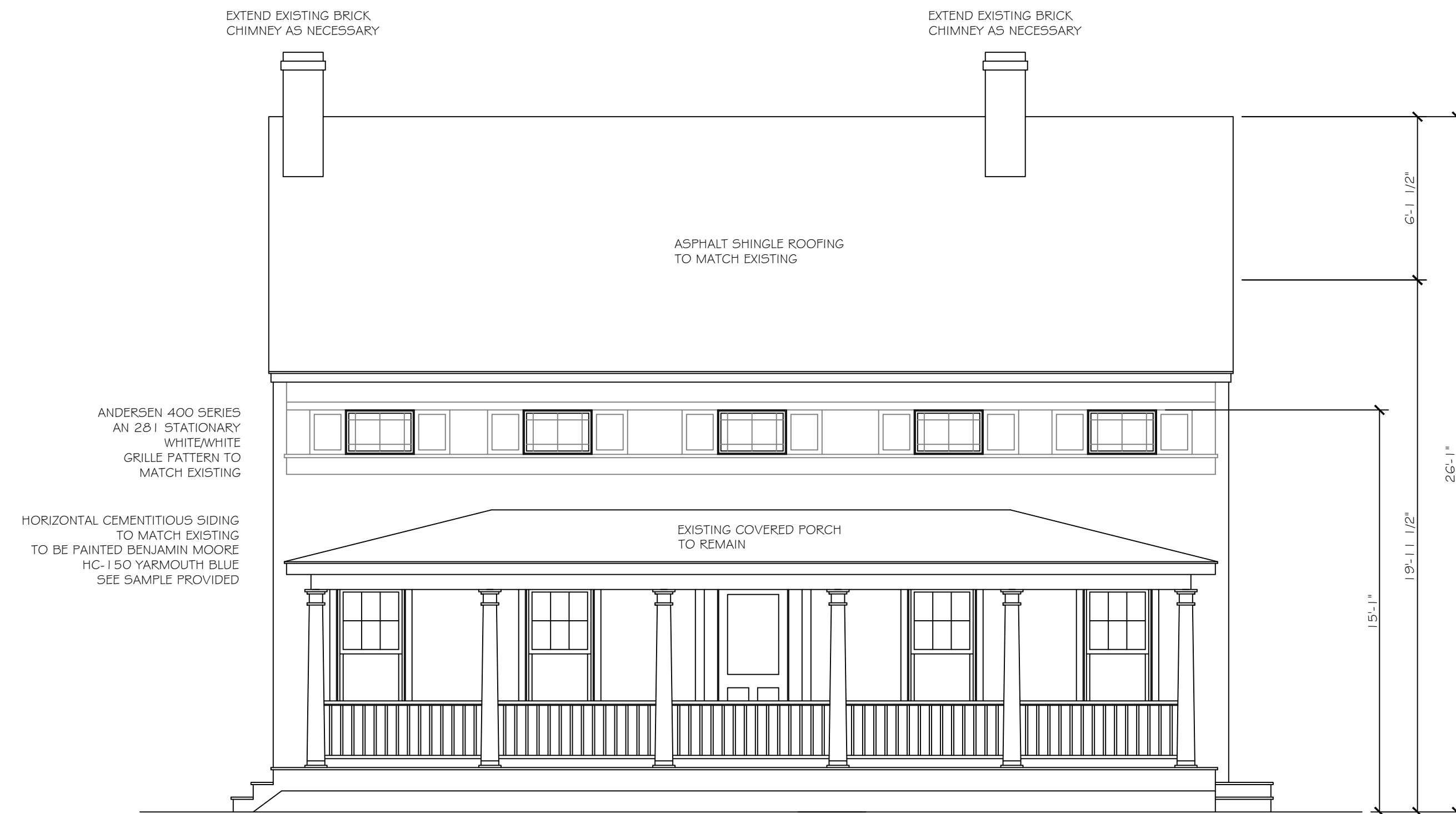
A3



SECOND FLOOR DEMOLITION PLAN
 SCALE: 1/4" = 1'-0"
 EXISTING EXCEPT AS NOTED



FIRST FLOOR DEMOLITION PLAN
 SCALE: 1/4" = 1'-0"
 EXISTING EXCEPT AS NOTED



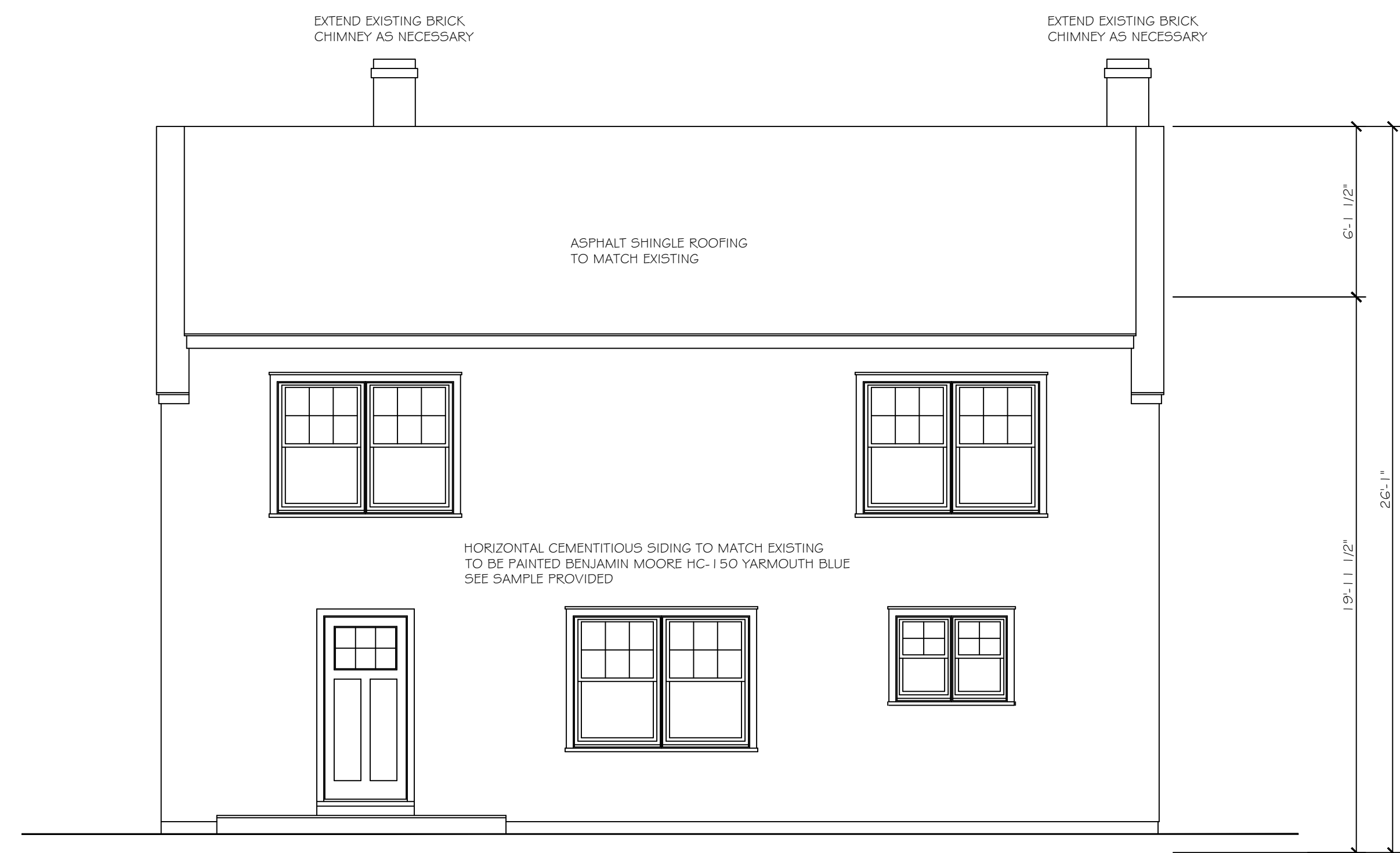
PROPOSED NORTH ELEVATION (FRONT)

SCALE: 1/4" = 1'-0"
EXISTING EXCEPT AS NOTED



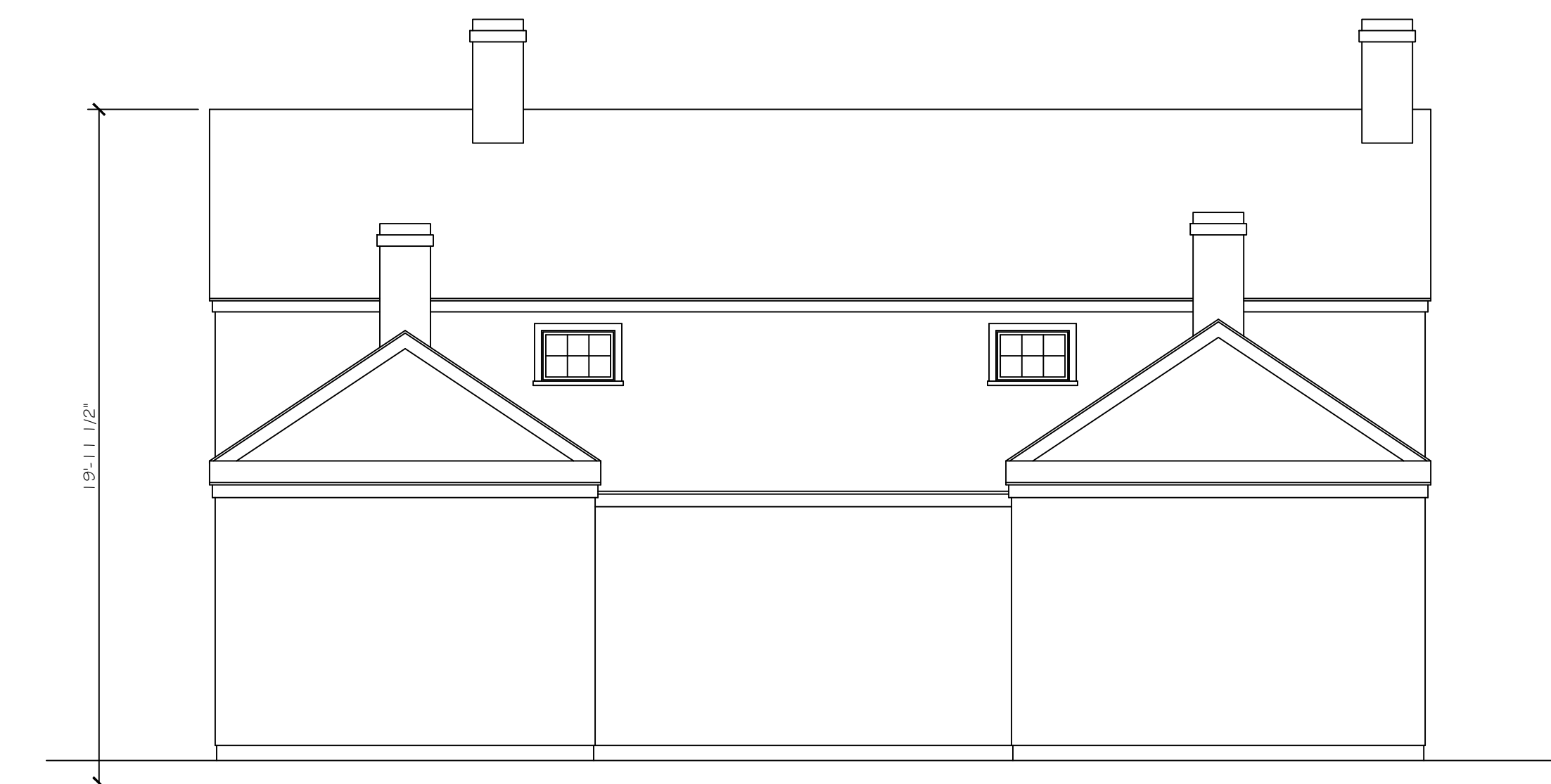
EXISTING NORTH ELEVATION (FRONT)

SCALE: 1/4" = 1'-0"
EXISTING EXCEPT AS NOTED



PROPOSED SOUTH ELEVATION (REAR)

SCALE: 1/4" = 1'-0"
EXISTING EXCEPT AS NOTED



EXISTING SOUTH ELEVATION (REAR)

SCALE: 1/4" = 1'-0"
EXISTING EXCEPT AS NOTED

01 OCTOBER, 2021

26 AUGUST, 2021

17 AUGUST, 2021

12 AUGUST, 2021

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INNAMORATO
TOM

145 CENTRAL AVENUE
GREENPORT, NY 11944

PROJECT TITLE
ADDITIONS AND
RENOVATIONS

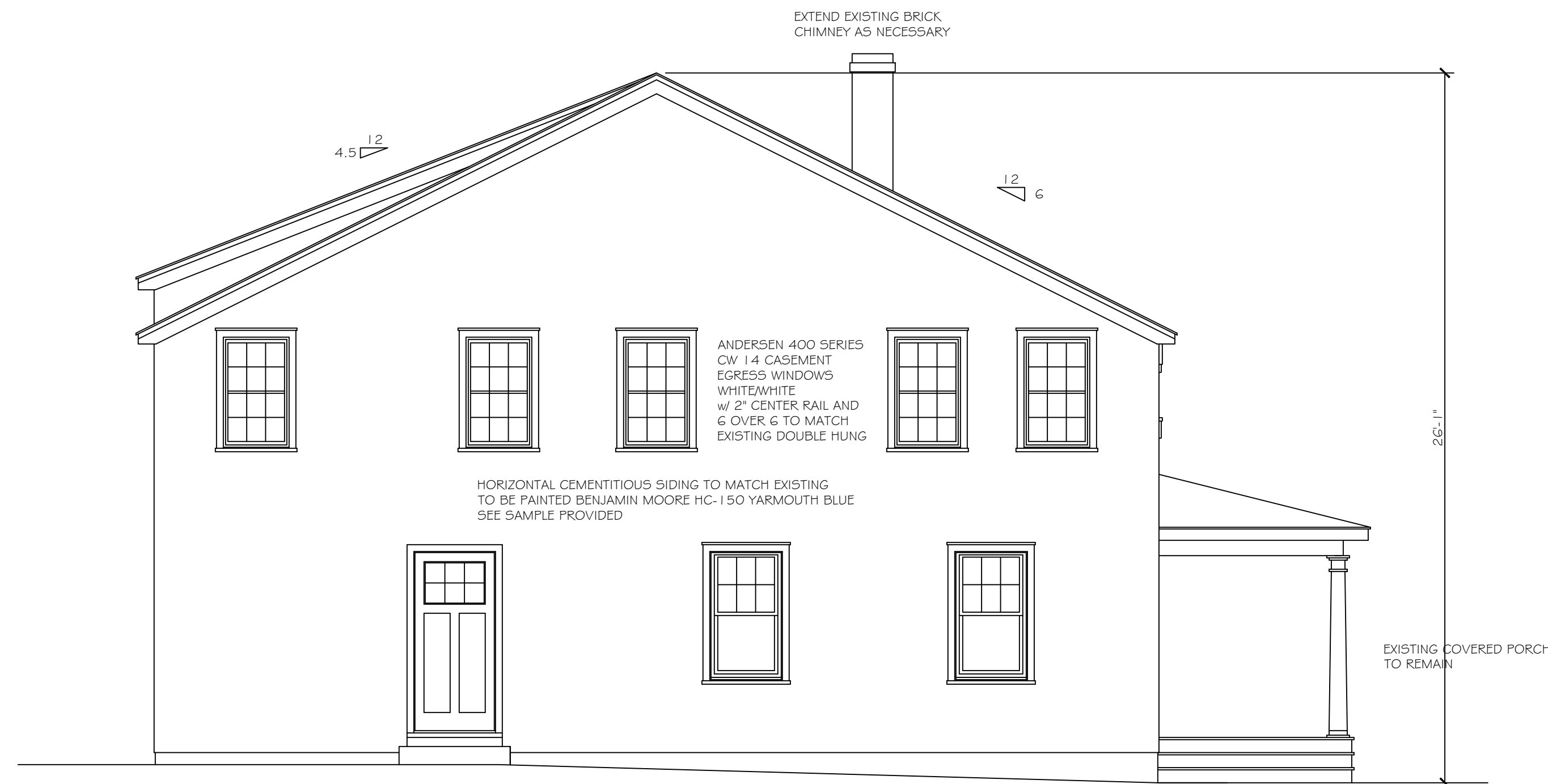
DRAWING TITLE
ELEVATIONS

08 OCTOBER, 2021

SCALE
1/4" = 1'-0"

DRAWING NO.

A4



PROPOSED SIDE ELEVATION (EAST)

SCALE: 1/4" = 1'-0"
EXISTING EXCEPT AS NOTED



EXISTING SIDE ELEVATION (EAST)

SCALE: 1/4" = 1'-0"
EXISTING EXCEPT AS NOTED

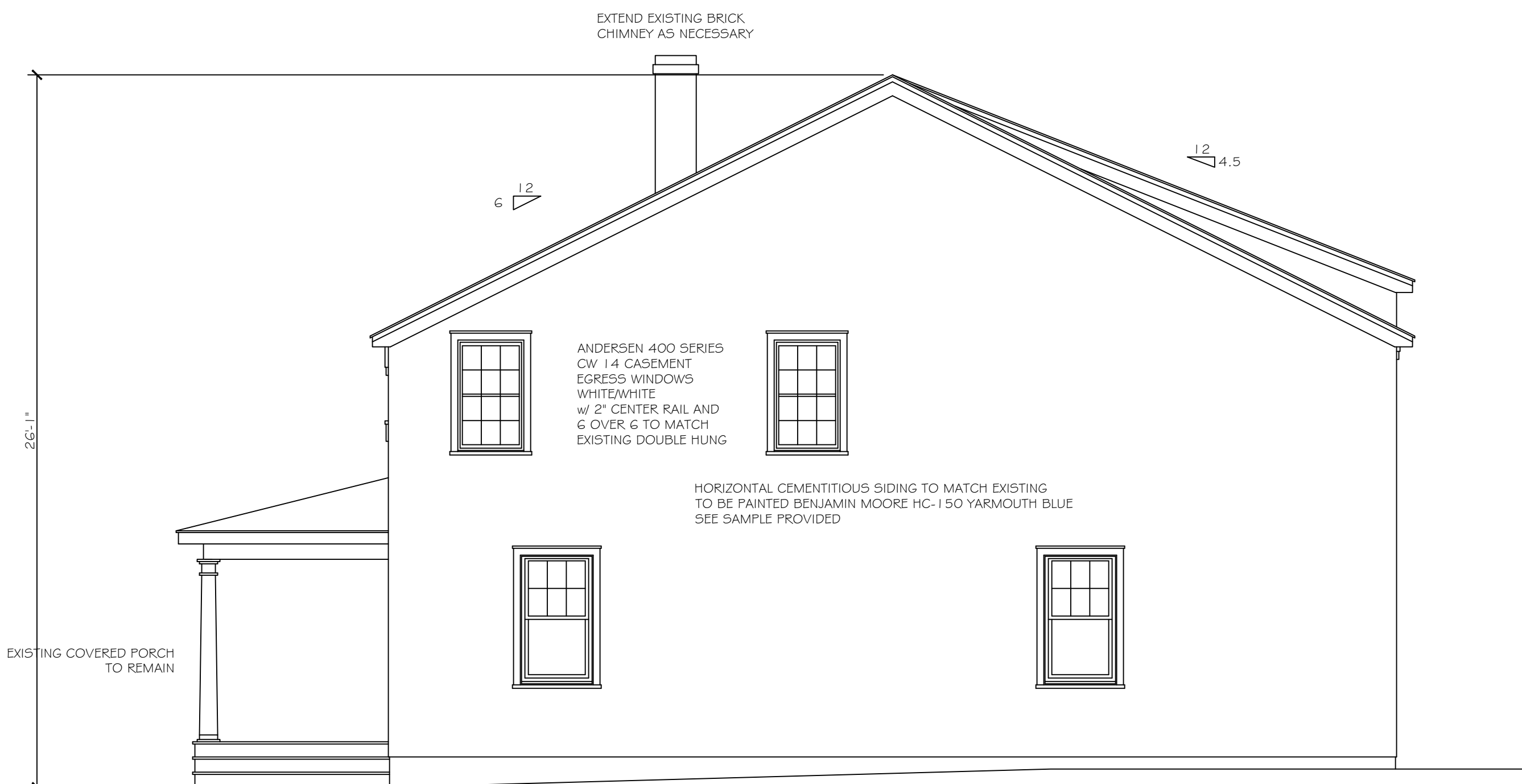


NEW SIDE DOOR (EAST SIDE) AND NEW REAR APARTMENT DOOR (SOUTH SIDE), PAINTED WHITE



DOUBLE HUNG PICTURE CASEMENT

CASEMENT WINDOWS MULLED TO LOOK LIKE EXISTING DOUBLE HUNG PROJECT WILL HAVE 6 OVER 6 TO MATCH EXISTING WINDOWS, PAINTED WHITE TO MATCH EXISTING



PROPOSED SIDE ELEVATION (WEST)

SCALE: 1/4" = 1'-0"
EXISTING EXCEPT AS NOTED



EXISTING SIDE ELEVATION (WEST)

SCALE: 1/4" = 1'-0"
EXISTING EXCEPT AS NOTED

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CLIENT / OWNER
INNAMORATO
TOM
145 CENTRAL AVENUE
GREENPORT, NY 11944

PROJECT TITLE
ADDITIONS AND RENOVATIONS

DRAWING TITLE
ELEVATIONS

08 OCTOBER, 2021 SCALE
1/4" = 1'-0"

DRAWING NO.

A5