

## 148 Bay Avenue Project Description - UPDATED for ZBA

The proposed project consists of a substantial renovation and expansion to an existing single family residence in the historic district of Greenport Village. The homeowners wish to update, reconfigure, and expand some of the existing floor plan to accommodate their growing family as well as make an existing third floor space a habitable space. All proposed actions will maintain the existing non-conforming setbacks. Proposed changes to the house will meet New York State energy code and environmental resources of the municipality will not be impacted as the home is already connected to existing water and wastewater systems.

The proposed renovation would add a 62 sq ft extension to the northwest side of the house while converting the existing 135 sq ft northwestern side porch into year round habitable space. The proposed renovation would extend a portion of the back of the house by 32 sq ft on the first floor and by 269sqft on the second floor to create one uniform back wall to the house. These first and second floor alterations would add 498 sq ft of additional square footage to the house. The proposed renovation will also create a habitable third floor creating two additional bedrooms, and a bathroom. A fire sprinkler system is proposed for the 3rd floor and its pathway of egress. The existing third floor is 500 sq ft and the renovation of the third floor space does not expand the footprint in any way and does not in any way impact the existing roof, height, or envelope of the single family residence.

As part of the porch conversion and the back wall of the house, new windows and doors would be added to these areas of the single family residence. No other windows and doors would be changed.

Overall, the existing 1446 sq ft footprint of the house would be enlarged 94 sq ft to a 1540 sq ft footprint and the existing lot coverage of 33.6% would increase to 35.7%. The proposed changes would not further infringe on the existing non-compliant setbacks of the property.



## Village of Greenport Building Department

236 Third Street, Greenport, New York 11944

OFFICE: 631.477.0248 / FAX: 631.477.1877

### NOTICE OF DISAPPROVAL

Date: November 1, 2021

To: Bridget & Eric Elkin



PLEASE TAKE NOTICE that your application dated October 15, 2021 - to make alterations to a 3-story building at 148 Bay Avenue - is returned herewith and disapproved on the following grounds:

**1. Lot Coverage Requirements.**

150-12 District Regulations

One-Family dwelling: Max. lot coverage: 30% (R-2)

The specifications show the proposed lot coverage is 1,540 SF (35.7%). The allowable lot coverage is 1,292 SF (30%). This would require an area variance of 248 SF (5.7%) lot coverage increase.

**2. Front Yard Setback Requirements.**

150-12 District Regulations

One-Family dwelling: Front Yard Setback: 30-feet. (R-2)

The plans show the front yard setback of 14.7 feet. This would require an area variance of 15.3 feet.

**3. Side Yard Setback Requirements.**

150-13 E (1) Residence District Regulations

Existing small lots. A lot, owned individually and separately and separated in ownership from any adjoining tracts of land, which has a total lot area or lot width less than, prescribed in this chapter may be used for a one-family residence, provided that such lot shall be developed in conformity with all applicable district regulations.

- (1) The total dimensions of both side yards for a principal building shall be computed on the basis of four-tenths (0.4) of the lot width; however, no side yard dimension shall be less than four-tenths (0.4) of the total dimensions of both side yards computed as aforesaid, and no side yards dimension shall be less than 10 feet.

The plans show a West yard setback of 5.7 feet. This would require an area variance of 4.3 feet.

#### **4. Side Yard Setback Requirements.**

##### 150-13 E (1) Residence District Regulations

Existing small lots. A lot, owned individually and separately and separated in ownership from any adjoining tracts of land, which has a total lot area or lot width less than, prescribed in this chapter may be used for a one-family residence, provided that such lot shall be developed in conformity with all applicable district regulations.

- (2) The total dimensions of both side yards for a principal building shall be computed on the basis of four-tenths (0.4) of the lot width; however, no side yard dimension shall be less than four-tenths (0.4) of the total dimensions of both side yards computed as aforesaid, and no side yards dimension shall be less than 10 feet.

The plans show an East side yard setback of 1.5 feet. This would require an area variance of 8.5 feet.

#### **5. Combined Yard Set Back Requirements.**

##### 150-13 E (1) Residence District Regulations

Existing small lots. A lot, owned individually and separately and separated in ownership from any adjoining tracts of land, which has a total lot area or lot width less than, prescribed in this chapter may be used for a one-family residence, provided that such lot shall be developed in conformity with all applicable district regulations.

- (3) The total dimensions of both side yards for a principal building shall be computed on the basis of four-tenths (0.4) of the lot width; however, no side yard dimension shall be less than four-tenths (0.4) of the total dimensions of both side yards computed as aforesaid, and no side yard dimension shall be less than 10 feet.

The calculated combined side yard set back is 13.1 feet. (0.4 x 32.71) The plans show proposed combined setback of 7.2 feet. This would require an area variance of 5.8 feet.

#### **6. 150-12 District Regulations**

One-Family dwelling number of stories permitted 2 ½.

The plans show the Conversion of the attic to livable space. This would require a variance for 3<sup>rd</sup> story.

7.

#### **Off Street Parking Requirements.**

##### 150-12 District Regulations

One-Family dwelling: Off Street Parking. (R-2)

The plans show no off-street parking to be provided. This would require a variance for 2 off street parking

**This application is therefore denied, requiring the above-mentioned area variances.**

**Additionally, this project will have to obtain a Certificate of Appropriateness from the Historic Preservation Commission prior the issuance of Building Permit.**

The premise to which this application applies to is located at:  
148 Bay Avenue, Greenport, New York 11944.

This property is located in the R-2 District. This Property is located in the Historic District.

Map: 1001 Section: 5 Block: 2 Lot(s): 15

.....  
Alex Bolanos- NYS Code Enforcement Official

10/3/2021  
.....  
Date



# ZONING BOARD OF APPEALS APPLICATION

## AREA VARIANCE

236 Third Street, Greenport, New York, 11944  
(631) 477-0248  
[www.villageofgreenport.org](http://www.villageofgreenport.org)

Date of Application \_\_\_\_\_

All information below is to be completed by the applicant. This completed application is to be accompanied by the Notice of Disapproval, Copies of Covenants and/or Restrictions, where applicable, Environmental Assessment Form, building plans showing elevations, setbacks, floor plans, room dimensions, details of footings and foundation, and species of lumber and quality of material, where applicable.

### THE OWNER OF THE PROPERTY IS: (PLEASE PRINT CLEARLY)

Bridget and Eric Elkin  
\_\_\_\_\_  
First Name                      Last Name                      Business Name, if applicable

\_\_\_\_\_  
Mailing Address                      City/ Town/ Village                      State                      Zip

\_\_\_\_\_  
Phone #                      E-Mail Address

### CONTACT PERSON (if different from owner)

*The person to receive all correspondence:*

Margot and Clay Coffey                      ISAAC-RAE STUDIO  
\_\_\_\_\_  
First Name                      Last Name                      Business Name, if applicable

430 Main Street 2nd Fl Greenport NY 11944  
\_\_\_\_\_  
Mailing Address                      City/ Town/ Village                      State                      Zip

646-275-2447                      margot@isaac-rae.com, clay@isaac-rae.com  
\_\_\_\_\_  
Phone #                      E-Mail Address

**IF ANYONE OTHER THAN THE OWNER COMPLETES THIS APPLICATION, WRITTEN CONSENT FROM THE OWNER MUST BE SUBMITTED WITH THIS APPLICATION.**

### Location:

Suffolk County Tax Map Number: 1001 Section: 5 Block: 2 Lot 15

Street Address: 148 Bay Avenue Greenport, New York, 11944

Zoning District:  WC  R1  R2  PD  CR  CG

Is property located within the Historic District?  Yes  No



# ZONING BOARD OF APPEALS APPLICATION AREA VARIANCE

236 Third Street, Greenport, New York, 11944

(631) 477-0248

[www.villageofgreenport.org](http://www.villageofgreenport.org)

The Code Official reviewed and denied an application dated 10/15/21 for a Building Permit for the location specified on this application.

### Provisions of the Zoning Code appealed:

(Indicate Article, Section and Subsection of Zoning Code by numbers)

Article: \_\_\_\_\_ Section: 150 - 13 Subsection: E(1)

### Type of appeal made for:

A Variance to the Zoning Code or Zoning Map.

An interpretation of the Village Code Article: \_\_\_\_\_ Section: \_\_\_\_\_ Subsection: \_\_\_\_\_

Has a prior appeal been made at any time with respect to this property?  Yes  No  I Don't Know

If yes, please provide the date appeal was made: \_\_\_\_\_

### Project Description:

#### For Demolition of Existing Building Areas:

Please describe area being removed:

This project would require that the rear wall of the home be demolished to extend a portion of the back of the house by 32 sq ft on the first floor and by 269sqft on the second floor to create one uniform rear wall to the house.

#### New Construction Areas (New Dwelling or New Addition/Extensions)

Dimensions of First Floor (Addition/Extension): 135 sq ft existing porch into year round habitable space a proposed addition of 94 sq ft +converting (32 sq ft to the back of the house + 62 sq ft extension to the northwest side of the house)

Dimensions of Second Floor: A proposed addition of 269 sq ft

Height (from finished grade to top of ridge): 29 - Feet, \_\_\_\_\_ - Inches note: there is no proposed increase to height

Is basement or lowest floor area being constructed?  Yes  No

If yes, please provide height (above ground) measured from natural existing grade to first floor:  
\_\_\_\_\_ - Feet, \_\_\_\_\_ - Inches.



# ZONING BOARD OF APPEALS APPLICATION AREA VARIANCE

236 Third Street, Greenport, New York, 11944  
(631) 477-0248

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## **Project Description: (CONTINUED)**

### **Proposed Construction Description: (Alteration or Structural Changes)**

Number of floors BEFORE alterations:   3  

#### **Describe General Characteristics BEFORE alterations:**

The house is currently 1446 sq ft in size and exists as a non-conforming house with non-compliant setbacks.

Existing aspects of the house the homeowners wish to alter are as follows: There is an existing 135 sq ft northwestern side porch. The current rear of the house steps back so that the second floor does not fully extend over the first floor. There is an existing unfinished third floor space.

Number of floors AFTER Alterations:   3  

#### **Describe General Characteristics AFTER alterations:**

The proposed renovation would add a 62 sq ft extension to the northwest side of the house while converting the existing 135 sq ft northwestern side porch into year round habitable space. The proposed renovation would extend a portion of the back of the house by 32 sq ft on the first floor and by 269sqft on the second floor to create one uniform back wall to the house. These first and second floor alterations would add 498 sq ft of additional square footage to the house. The proposed renovation will also create a habitable third floor creating two additional bedrooms, and a bathroom. A fire sprinkler system is proposed for the 3rd floor and the existing 500 sq ft third floor space renovation does not expand the footprint in any way and does not in any way impact the existing roof, height, or envelope of the single family residence.

As part of the porch conversion and the back wall of the house, new windows and doors would be added to these areas of the single family residence. No other windows and doors would be changed.

Overall, the existing 1446 sq ft footprint of the house would be enlarged 94 sq ft to a 1540 sq ft footprint and the existing lot coverage of 33.6% would increase to 35.7%. The proposed changes would not further infringe on the existing non-compliant setbacks of the property.

### **Calculations of Building Areas and Lot Coverage:**

Existing Square Footage of Building(s) on this property:   1446   SF

Proposed Increase in Building Coverage:   94   SF   proposed new footprint of home is: 1540 sq t

Square Footage of this Lot:   4306.79   SF

Percentage of Coverage of this Lot by Building Area:   35.7   %   existing lot coverage: 33.6%; proposed increase to 35.7%

### **Purpose of New Construction:**

*Please describe:*

The homeowners wish to update and improve the existing outdated home. They hope to reconfigure and expand some of the existing floor plan to accommodate their growing family as well as make an existing third floor space a habitable space while maintaining the existing non compliant setbacks.



# **ZONING BOARD OF APPEALS APPLICATION**

## **AREA VARIANCE**

236 Third Street, Greenport, New York, 11944

(631) 477-0248

[www.villageofgreenport.org](http://www.villageofgreenport.org)

### **Area Variance Reasons for Appeal:**

Please answer in detail. *Additional sheets may be submitted with preparers signature.*

### **Will an undesirable change occur in the characteristics of the neighborhood or will a detriment to nearby properties be created by the granting of this area variance?**

These area variances being requested here per village code 150-13 E(1) will maintain existing non-conforming conditions to the side yards of this lot. They are as follows: 1) an area variance of 4.3 feet for the west side yard setback; 2) an area variance of 8.5 feet to the east side yard setback; and 3) an area variance of 5.8 feet for the combined side yard setback. Therefore no undesirable change will occur to the nearby properties or the neighborhood.

### **Can the benefit sought by the Applicant be achieved by another method, feasible for the Applicant to pursue, other than an Area Variance?**

Because the side yards are a pre-existing non-conforming issue as it pertains to village code 150-13 E(1) the benefit sought by the homeowners cannot be achieved by any other fashion than an area variance.

### **Is the requested Area Variance substantial?**

The area variances needed for the side yard setbacks are 1) 4.3 feet for the west side yard setback; 2) 8.5 feet to the east side yard setback; and 3) 5.8 feet for the combined side yard setback. They are small measures on a small lot and not substantial.

### **Will the requested Area Variance have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district?**

Granting these side yard setbacks for this property will in no way impact the neighborhood or district negatively.

### **Was the alleged difficulty self-created, which consideration shall be relevant to the decision of the Zoning Board of Appeals, but shall not necessarily preclude the granting of the Area Variance?**

These variances requested pertain to pre-existing non-conforming conditions of this lot. The homeowners anticipated wanting to improve and update the outdated home in a mindful way per village code and ZBA process.

**Are there Covenants or Restrictions concerning this land? [ ] Yes [x] No**

*If yes, please furnish copies.*





# ZONING BOARD OF APPEALS APPLICATION

## AREA VARIANCE

236 Third Street, Greenport, New York, 11944  
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Date of Application \_\_\_\_\_

All information below is to be completed by the applicant. This completed application is to be accompanied by the Notice of Disapproval, Copies of Covenants and/or Restrictions, where applicable, Environmental Assessment Form, building plans showing elevations, setbacks, floor plans, room dimensions, details of footings and foundation, and species of lumber and quality of material, where applicable.

### THE OWNER OF THE PROPERTY IS: (PLEASE PRINT CLEARLY)

Bridget and Eric Elkin  
First Name Last Name Business Name, if applicable

[REDACTED]  
Mailing Address City/ Town/ Village State Zip

[REDACTED] [REDACTED] [REDACTED]  
Phone # E-Mail Address

### CONTACT PERSON (if different from owner)

*The person to receive all correspondence:*

Margot and Clay Coffey  
First Name Last Name Business Name, if applicable

430 Main Street 2nd Fl Greenport NY 11944  
Mailing Address City/ Town/ Village State Zip

646-275-2447 margot@isaac-rae.com, clay@isaac-rae.com  
Phone # E-Mail Address

**IF ANYONE OTHER THAN THE OWNER COMPLETES THIS APPLICATION, WRITTEN CONSENT FROM THE OWNER MUST BE SUBMITTED WITH THIS APPLICATION.**

### Location:

Suffolk County Tax Map Number: 1001 Section: 5 Block: 2 Lot 15

Street Address: 148 Bay Avenue Greenport, New York, 11944

Zoning District:  WC  R1  R2  PD  CR  CG

Is property located within the Historic District?  Yes  No



# ZONING BOARD OF APPEALS APPLICATION AREA VARIANCE

236 Third Street, Greenport, New York, 11944

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The Code Official reviewed and denied an application dated 10/15/21 for a Building Permit for the location specified on this application.

**Provisions of the Zoning Code appealed:**

*(Indicate Article, Section and Subsection of Zoning Code by numbers)*

Article: \_\_\_\_\_ Section: 150 - 12 Subsection: \_\_\_\_\_

**Type of appeal made for:**

A Variance to the Zoning Code or Zoning Map.

An interpretation of the Village Code Article: \_\_\_\_\_ Section: \_\_\_\_\_ Subsection: \_\_\_\_\_

**Has a prior appeal been made at any time with respect to this property?**  Yes  No  I Don't Know

*If yes, please provide the date appeal was made:* \_\_\_\_\_.

**Project Description:**

**For Demolition of Existing Building Areas:**

Please describe area being removed:

This project would require that the rear wall of the home be demolished to extend a portion of the back of the house by 32 sq ft on the first floor and by 269sqft on the second floor to create one uniform rear wall to the house.

**New Construction Areas (New Dwelling or New Addition/Extensions)**

Dimensions of First Floor (Addition/Extension): a proposed addition of 94 sq ft +converting 135 sq ft existing porch into year round habitable space

Dimensions of Second Floor: A proposed addition of 269 sq ft

Height (from finished grade to top of ridge): 29 - Feet, \_\_\_\_\_ - Inches note: there is no proposed increase to height

**Is basement or lowest floor area being constructed?**  Yes  No

*If yes, please provide height (above ground) measured from natural existing grade to first floor:*

\_\_\_\_\_ - Feet, \_\_\_\_\_ - Inches.



# ZONING BOARD OF APPEALS APPLICATION AREA VARIANCE

236 Third Street, Greenport, New York, 11944  
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## Project Description: (CONTINUED)

### Proposed Construction Description: (Alteration or Structural Changes)

Number of floors BEFORE alterations: 3

#### Describe General Characteristics BEFORE alterations:

The house is currently 1446 sq ft in size and exists as a non-conforming house with non-compliant setbacks. Existing aspects of the house the homeowners wish to alter are as follows: There is an existing 135 sq ft northwestern side porch. The current rear of the house steps back so that the second floor does not fully extend over the first floor. There is an existing unfinished third floor space.

Number of floors AFTER Alterations: 3

#### Describe General Characteristics AFTER alterations:

The proposed renovation would add a 62 sq ft extension to the northwest side of the house while converting the existing 135 sq ft northwestern side porch into year round habitable space. The proposed renovation would extend a portion of the back of the house by 32 sq ft on the first floor and by 269sqft on the second floor to create one uniform back wall to the house. These first and second floor alterations would add 498 sq ft of additional square footage to the house. The proposed renovation will also create a habitable third floor creating two additional bedrooms, and a bathroom. A fire sprinkler system is proposed for the 3rd floor and the existing 500 sq ft third floor space renovation does not expand the footprint in any way and does not in any way impact the existing roof, height, or envelope of the single family residence. As part of the porch conversion and the back wall of the house, new windows and doors would be added to these areas of the single family residence. No other windows and doors would be changed.

Overall, the existing 1446 sq ft footprint of the house would be enlarged 94 sq ft to a 1540 sq ft footprint and the existing lot coverage of 33.6% would increase to 35.7%. The proposed changes would not further infringe on the existing non-compliant setbacks of the property.

### Calculations of Building Areas and Lot Coverage:

Existing Square Footage of Building(s) on this property: 1446 SF

Proposed Increase in Building Coverage: 94 SF proposed new footprint of home is: 1540 sq

Square Footage of this Lot: 4306.79 SF

Percentage of Coverage of this Lot by Building Area: 35.7 % existing lot coverage: 33.6%; proposed increase to 35.7%

### Purpose of New Construction:

*Please describe:*

The homeowners wish to update and improve the existing outdated home. They hope to reconfigure and expand some of the existing floor plan to accommodate their growing family as well as make an existing third floor space a habitable space while maintaining the existing non compliant setbacks.



# **ZONING BOARD OF APPEALS APPLICATION**

## **AREA VARIANCE**

236 Third Street, Greenport, New York, 11944

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### **Area Variance Reasons for Appeal:**

Please answer in detail. *Additional sheets may be submitted with preparers signature.*

### **Will an undesirable change occur in the characteristics of the neighborhood or will a detriment to nearby properties be created by the granting of this area variance?**

These area variances cited per village code section 150-12 maintain the existing non-conforming nature of the lot. They are as follows: 1) a request to grant an area variance of 248 SF (5.7%) lot coverage increase; 2) an area variance of 15.3 ft to the front yard setback; 3) a variance for 3rd floor to be converted into a 3rd story habitable space; and 4) a variance for two off street parking spots.

Because these are pre-existing conditions, no significant change will be evident. Therefore the area variance will not be a detriment to the neighboring properties or the characteristics of the neighborhood.

### **Can the benefit sought by the Applicant be achieved by another method, feasible for the Applicant to pursue, other than an Area Variance?**

Because this home and lot is pre-existing non-conforming as it pertains to the four variances identified under village code 150-12, the benefit sought by the homeowners cannot be achieved by any other fashion than an area variance.

### **Is the requested Area Variance substantial?**

The area variances would reconcile the pre-existing conditions by recognizing a 5.7% increase to lot coverage, an additional 15.3 ft for the front yard setback, a conversion of a 3rd floor into habitable space and the need for two off street parking spaces. These area variances are not substantial and they reconcile existing conditions.

### **Will the requested Area Variance have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district?**

The area variances cited under village code section 150-12 reconcile existing conditions and therefore there will have no physical or environmental impact on the neighborhood or district.

### **Was the alleged difficulty self-created, which consideration shall be relevant to the decision of the Zoning Board of Appeals, but shall not necessarily preclude the granting of the Area Variance?**

These variances pertain to pre-existing non-conforming conditions of this lot. The homeowners anticipated wanting to improve and update the outdated home in a mindful way per village code and ZBA process.

**Are there Covenants or Restrictions concerning this land? [ ] Yes [x] No**

*If yes, please furnish copies.*

617.20  
Appendix B  
Short Environmental Assessment Form

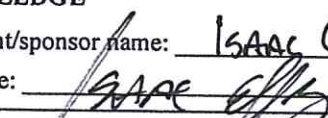
**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>			
Name of Action or Project: 148 Bay Avenue			
Project Location (describe, and attach a location map): 148 Bay Avenue Greenport NY 11944			
Brief Description of Proposed Action:  (please see attached project description)			
Name of Applicant or Sponsor: Clay Coffey, Margot Coffey - Isaac-Rae		Telephone: 646-275-2447	
		E-Mail: margot@isaac-rae.com,	
Address: 430 Main Street 2nd Fl		clay@isaac-rae.com	
City/PO: Greenport		State: NY	Zip Code: 11944
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/> YES <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: Village of Greenport building dept, Village of Greenport Historic Preservation Committee			NO <input type="checkbox"/> YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		.08	acres
b. Total acreage to be physically disturbed?		.01	acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		.08	acres
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			



18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor name: <u>Isaac Clay Coffey</u>		Date: <u>11.5.2021</u>
Signature: <u></u>		

**Part 2 - Impact Assessment.** The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

**Part 3 - Determination of significance.** The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

**PRINT**





**GENERAL NOTES :**

- CONSTRUCTION NOTES:**
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL WORK AND CONSTRUCTION MEET THE REQUIREMENTS OF THE 2018 INTERNATIONAL RESIDENTIAL BUILDING CODE AND NEW YORK DEPARTMENT OF STATE 2020 UNIFORM CODE SUPPLEMENT.
  - DIMENSIONS SHALL TAKE PRECEDENT OVER SCALED DRAWINGS (DO NOT SCALE DRAWINGS).
  - REFER TO THE WINDOW AND DOOR SCHEDULE FOR EXTERIOR OPENINGS.
  - REFER TO CIVIL ENGINEERING DRAWINGS FOR GRADING PLANS
  - REFER ARCHITECTURAL DRAWINGS FOR BUILDING ELEVATIONS INCLUDING SLAB AND FINISH FLOOR ELEVATIONS
  - 130 MPH WIND LOAD REQUIREMENTS SHALL BE TAKEN INTO ACCOUNT DURING CONSTRUCTION.

- FOUNDATION NOTES:**
- THE GENERAL CONTRACTOR AND MASON TO REVIEW PLANS, ELEVATIONS, DETAILS AND NOTES TO DETERMINE INTENDED HEIGHTS OF FINISHED FLOORS ABOVE GRADE.
  - GENERAL CONTRACTOR TO RETAIN SURVEYOR TO SET OR VERIFY DATUMS AND FINISHED FLOOR ELEVATIONS
  - DRAINAGE AS REQUIRED BY HALL MEET THE REQUIREMENTS OF THE 2020 INTERNATIONAL RESIDENTIAL BUILDING CODE AND NEW YORK DEPARTMENT OF STATE 2020 UNIFORM CODE SUPPLEMENT.
  - ALL FOOTINGS MUST REST ON APPROPRIATE BEARING MATERIAL SEE STRUCTURAL ENGINEERS DRAWINGS FOR ADDITIONAL DETAILS
  - ANY NEW CONCRETE WALLS BEING ATTACHED TO EXISTING CONCRETE STRUCTURE TO BE INSTALLED WITH #5 RE-BAR, MIN 18" LONG AT 12" O.C. MIN EMBEDD TO BE 9" USE APPROVED EPOXY FOR ANCHORING UNLESS OTHERWISE NOTED. ALL SLABS ON GRADE TO BE 4000 P.S.I. CONCRETE TO BE POURED AT MIN 4" THICK SAND OR GRAVEL FILL WITH 6X6 WIRE MESH REINFORCING. SLAB THICKNESS TO BE MIN 5" THICK
  - ALL FILL TO BE COMPACTED TO 95% RELATIVE DENSITY AT 6" MAX LIFTS
  - CRAWL SPACES TO BE PROVIDED WITH MIN. 24"X24" ACCESS OPENING.
  - UNCONDITIONED CRAWL SPACES TO HAVE 8X16" CAST IRON FOUNDATION VENTS FOR EVERY 150 SQ FT OF AREA
  - DAMP PROOF EXTERIOR OF FOUNDATION WITH BITUMINOUS COATING AS REQUIRED BY 2020 INTERNATIONAL BUILDING CODE AND NEW YORK DEPARTMENT OF STATE 2020 SUBPLEMENTAL CODE. A 6 MIL POLYETHYLENE FILM SHALL BE APPLIED TO THE BELOW GRADE PORTION OF EXTERIOR WALLS PRIOR TO BACKFILLING

- FRAMING NOTES**
- ALL FRAMING TECHNIQUES SHALL MEET THE REQUIREMENTS OF THE 2020 INTERNATIONAL BUILDING CODE AND NEW YORK DEPARTMENT OF STATE 2020 UNIFORM CODE SUPPLEMENT.
  - STRUCTURAL LUMBER SHALL BE GREEN DOUGLAS FIR LARCH NO. 2, OR BETTER, UNLESS OTHERWISE NOTED ON THE PLANS
  - INTERIOR METAL FRAMING SHALL BE 18 GAUGE OR BETTER UNLESS OTHERWISE NOTED ON THE PLANS
  - FLOORS, WALLS, CEILINGS AND RAFTERS TO BE SPACED AT 16 INCHES O.C. UNLESS NOTED
  - UNLESS OTHERWISE NOTED, ALL BEARING WALL HEADERS TO BE (2) 2X10 #2 + 3TR. DOUG. FIR BEARING WALL HEADERS TO HAVE (2) JACK STUDS AND (2) FULL LENGTH STUDS ON EACH SIDE OF ALL OPENINGS. LVL HEADERS TO HAVE (3) JACK STUDS AND (2) FULL LENGTH STUDS ON EACH SIDE OF OPENINGS. BEARING WALL WINDOW SILLS SHALL ALSO HAVE (2) WINDOW SILL PLATES FOR 2X4 WALL OPENINGS BETWEEN 4" AND 6" AND 2X6 WALL OPENINGS BETWEEN 5"11 AND 8". PROVIDE FIRE AND BLOCKING WHERE APPLICABLE.
  - ALL FLUSH BEAMS/HEADERS TO BE INSTALLED WITH HEAVY DUTY GALVANIZED HANGERS AND ANCHORS WHERE APPLICABLE TO ALL CONNECTING JOISTS.
  - DOUBLE UP FLOOR JOISTS UNDER WALLS THAT RUN PARALLEL TO THE FLOOR JOIST AND UNDER BATHTUBS. FLOORS TO HAVE CERAMIC TILE INSTALLED SHALL BE VERIFIED FOR PROPER LOAD CAPACITY UNLESS NOTED ON PLANS.
  - 7). PROVIDE 2 - 1-3/4" THICK MICROLAM ( HEIGHT TO MATCH FLOOR JOISTS) AROUND STAIRWELL AND/OR OTHER ACCESS OPENINGS UNLESS OTHERWISE NOTED (TYPICAL).
  - PROVIDE BLOCKING/BRIDGING IN FLOOR JOISTS AT 8'0 O.C.. USE SOLID BLOCKING IN FLOOR JOISTS UNDER ALL BEARING WALLS.
  - PROVIDE INSULATION Baffles AT EAVE VENTS BETWEEN RAFTERS. INSTALL DRAFT BLOCKING AS NEEDED.
  - UNLESS OTHERWISE NOTED, ALL ROOFS AND WALLS TO HAVE A MINIMUM 1/2" THICK, 4-PLY FIR CDX EXTERIOR SHEATHING GRADE PLYWOOD, PLYWOOD TO COVER OVER PLATES AND HEADERS. UNLESS OTHERWISE NOTED USE 3/4" THICK T&G PTS FIR OR ADVANTECH PLYWOOD SUBFLOOR ADHERED WITH PL400 ADHESIVE AND SCREWED TO FLOOR JOISTS. FINISHED FLOOR TO BE INSTALLED OVER SUBFLOOR AS PER MANUFACTURER'S INSTRUCTIONS.
  - ALL BATHROOM WALLS TO HAVE 5/8" THICK MOISTURE-RESISTANT SHEETROCK.
  - 1 HR FIRE RATED ASSEMBLYS TO HAVE ONE LAYER OF 5/8" TYPE X SHEET ROCK AND TO MEET ANSUL 263 AND UL DESIGN NO. U419
  - 2 HR FIRE RATED ASSEMBLYS TO HAVE TWO LAYERS OF 5/8" TYPE X SHEET ROCK AND TO MEET ANSUL 263 AND UL DESIGN NO. U419
  - ALL ROOFS AND SHEATHING TO BE INSTALLED WITH ICE AND WATER SHIELD, HENRY BLUE SKIN OR APPROVED EQUAL.
  - ALL FLAT ROOFS TO BE APPLIED WITH AN EPDM 6MILL MATERIALS
  - ALL SILL PLATES AND WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED. SILL PLATES TO BE INSTALLED WITH FOAM SILL GASKETS AND COP-R-TEX TERMITE SHIELD OR APPROVED EQUAL.

**FIREBLOCKING NOTES**

AS REQUIRED BY CURRENT 2018 IBC/2020 SUPPLEMENT - FIREBLOCKING REQUIRED. FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE.

- FIREBLOCKING SHALL BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:
- IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS. CONCEALED HORIZONTAL FURRED SPACES SHALL ALSO BE FIREBLOCKED AT INTERVALS NOT EXCEEDING 10 FEET. BATTIS OR BLANKETS OF MINERAL OR GLASS FIBER SHALL BE ALLOWED AS FIREBLOCKING IN WALLS CONSTRUCTED USING PARALLEL ROWS OF STUDS OR STAGGERED STUDS.
  - AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
  - IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH CURRENT N.Y.S. RESIDENTIAL CODE.
  - AT OPENINGS AROUND VENTS, PIPES AND DUCTS AT CEILING AND FLOOR LEVEL, TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION.
  - RECOMMENDED FIRE BLOCKING PRODUCTS BOSS 814 OR APPROVED EQUAL TO MEET ASTM E-814 (UL 1479)
  - PROVIDE 5/8" TYPE-X SHEETROCK FIRE STOPPING AT 100' MAXIMUM DISTANCES FOR NON ACCESSIBLE AREAS.

- INSULATION**
- INSULATION TO MEET OR EXCEED NYS ECCC 2020 ENERGY CODE 2018 IBC AND 2020 SUPPLEMENTAL CODE
  - INSULATION TO FOLLOW SPECIFICATIONS AS OUTLINED IN RESCHECK
  - VAULTED CEILINGS INSULATED TO R45 OR GREATER
  - ABOVE GRADE WALLS TO BE INSULATED TO R-32 OR GREATER
  - FOUNDATION WALLS TO BE INSULATED TO R-10 OR GREATER
  - FRAMED FLOORS TO BE INSULATED TO R-32 OR GREATER
  - SLABS ON GRADE TO BE INSULATED TO R-10 UNDER SLAB.
- REQUIRED INSULATION AS FOLLOWS
- CEILINGS : 4" SPRAYED CLOSED CELL CONTINUOUS INSULATION R6.5 per inch. WITH ROCKWOOL R23 5-1/2" for total of R49
  - WALLS: 3" SPRAYED CLOSED CELL CONTINUOUS INSULATION R6.5 PER INCH. WITH ROCKWOOL R15 3-1/2" FOR TOTAL OF R34.5
  - FLOORS: 3" SPRAYED CLOSED CELL CONTINUOUS INSULATION R6.5 PER INCH. WITH ROCKWOOL R15 3-1/2" FOR TOTAL OF R34.5
  - SLABS 3" EXPANDED POLYSTYRENE INSULATION FOR R12

- PLUMBING NOTES**
- All water supply, drainage and venting to be installed as per IBC 2020/2020 SUPPLEMENT, and shall meet Suffolk County Health Department requirements as stated on septic permit
  - Verify septic system with the Engineer for Suffolk County Health Department approval.
  - If wall studs, plates or joists are cut out during installation for any plumbing related work, provide adequate bracing and plates to protect and secure the structure. Verify with the state code and manufacturer's recommendation for maximum hole size and spacing permitted

- HVAC SYSTEM NOTES**
- Mechanical subcontractor is responsible for adhering to all applicable codes and safety requirements
  - HVAC subcontractor is to fully coordinate all system data and requirements with the equipment supplier.
  - HVAC subcontractor to provide final system layout drawing / shop drawings and submit it to the General Contractor and owner for final review and approval.

- ELECTRICAL NOTES:**
- All electrical to be installed as per IBC 2018/2020 SUPPLEMENT
  - All electrical work shall be approved by a qualified Underwriter.
  - Install Smoke detectors and Carbon Monoxide detectors throughout as required by current N.Y.S. Residential Construction Code.

THESE NOTES ARE ONLY TO BE REFERRED TO IF MENTIONED IN SCHEDULE NOTES ONLY.

**NAILING SCHEDULE**

DESIGN CRITERIA 2020 INTERNATIONAL BUILDING CODE /2020 SUPPLEMENT

**ROOF FRAMING:**

JOINT DESCRIPTION	NAIL QTY.	NAIL SPACING	NOTES
RAFTER TO TOP PLATE	8" WALL: 3-8d COMMON 10" WALL: 4-8d COMMON	EACH RAFTER	TOE-NAIL
CEILING JOIST TO TOP PLATE	8" WALL: 3-8d COMMON 10" WALL: 4-8d COMMON	EACH JOIST	TOE-NAIL
CEILING JOIST TO PARALLEL RAFTER	AS PER TABLE 3.7 WFCM - SBC	EACH LAP	FACE NAIL
CEILING JOIST LAPS OVER PARTITION	AS PER TABLE 3.7 WFCM - SBC	EACH LAP	FACE NAIL
COLLAR TIE TO RAFTER	AS PER TABLE 3.4 WFCM - SBC	EACH END	FACE NAIL
BLOCKING TO RAFTER	2 - 8d COMMON	EACH END	TOE NAIL
RM BOARD TO RAFTER	2 - 16d COMMON	EACH END	END NAIL

**WALL FRAMING:**

JOINT DESCRIPTION	NAIL QTY.	NAIL SPACING	NOTES
TOP PLATE TO TOP PLATE	2 - 16d COMMON	PER FOOT	FACE NAIL SEE NOTE: 1
TOP PLATES AT INTERSECTIONS	4 - 16d COMMON	JOINTS EA. SIDE	FACE NAIL
STUD TO STUD	2 - 16d COMMON	24" O.C.	FACE NAIL
HEADER TO HEADER	16d COMMON	16" O.C. ALONG EDGES	FACE NAIL
TOP OR BOTTOM PLATE TO STUD	2 - 16d COMMON 3 - 16d COMMON	PER 2x4 STUD PER 2x6 STUD	END NAIL
BOTTOM PLATE TO: FLOOR JOIST, BAND JOIST, END JOIST OR BLOCKING	2 - 16d COMMON	PER FOOT	FACE NAIL SEE NOTE: 1,2

**FLOOR FRAMING:**

JOINT DESCRIPTION	NAIL QTY.	NAIL SPACING	NOTES
JOIST TO: SILL, TOP PLATE OR GIRDER	4 - 8d COMMON	PER JOIST	TOE NAIL
BRIDGING TO JOIST	2 - 8d COMMON	EACH END	TOE NAIL
BLOCKING TO JOIST	2 - 8d COMMON	EACH END	TOE NAIL
BLOCKING TO: SILL OR TOP PLATE	3 - 16d COMMON	EACH BLOCK	TOE NAIL
LEDGER STRIP TO BEAM	3 - 16d COMMON	EACH JOIST	FACE NAIL
JOIST ON LEDGER TO BEAM	3 - 8d COMMON	PER JOIST	TOE NAIL
BAND JOIST TO JOIST	3 - 16d COMMON	PER JOIST	END NAIL
BAND JOIST TO: SILL OR TOP PLATE	2 - 16d COMMON	PER FOOT	TOE NAIL SEE NOTE: 1

**ROOF SHEATHING:**

JOINT DESCRIPTION	NAIL QTY.	NAIL SPACING
STRUCTURAL PANEL	8d	AS PER TABLE 3.8 WFCM - SBC

**CEILING SHEATHING:**

JOINT DESCRIPTION	NAIL QTY.	NAIL SPACING
GYPSUM WALLBOARD	5d COOLERS	7" O.C. EDGE 10" O.C. FIELD

**WALL SHEATHING:**

JOINT DESCRIPTION	NAIL QTY.	NAIL SPACING
STRUCTURAL PANELS	8d COMMON	AS PER TABLE 3.9 WFCM - SBC
7/16" OSB PLYWOOD	6d COMMON	3" O.C. EDGE 6" O.C. FIELD
GYPSUM WALLBOARD	5d COOLERS	7" O.C. EDGE 10" O.C. FIELD

**FLOOR SHEATHING:**

JOINT DESCRIPTION	NAIL QTY.	NAIL SPACING
STRUCTURAL PANELS 1" OR LESS	8d COMMON	6" O.C. EDGE 12" O.C. FIELD

- Nailing requirements are based on wall sheathing nailed 6" on-center at the panel edge. If wall sheathing is nailed 3" on-center at the panel edge to obtain higher shear capacities, nailing requirements for structural members shall be doubled, or alternate connectors, such as shear plates, shall be used to maintain load path.
- When wall sheathing is continuous over connected members, the tabulated number of nails shall be permitted to be reduced to 1 - 16d nail per foot

**NOTES**

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Designer:

**ISAAC - RAE**  
430 Main Street, Greenport NY  
T. 347-276-6093 E. clay@isaac-rae.com

Applicant of Record:

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Project:

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Project No.:

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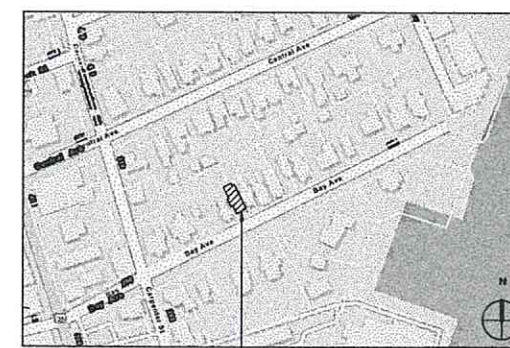
GENERAL NOTES

Drawing No.:

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PROPERTY SETBACKS		
	EXISTING	PROPOSED
SOUTH FRONT YARD	14.7'	14.7'
EAST SIDE	1.5'	1.5'
WEST SIDE	5.7'	5.7'
REAR FRONT YARD	56.0'	56.0'

COUNTY	SUFFOLK
TAX MAP NUMBER	1001-5-2-15
VILLAGE	GREENPORT
BLOCK	148
LOT	15
NUMBER OF FLOORS	3
LOT AREA	.08 ACRES OR 4,306.79 SQFT
ALLOWABLE BUILDING COVERAGE	1,292 OR 30%
EXISTING BUILDING COVERAGE	1,435 OR 33%
PROPOSED BUILDING COVERAGE	1,700 OR 39%
ZONING	R-2
ZONING MAP	GREENPORT VILLAGE
LANDMARK DESIGNATION	NONE
HISTORIC DISTRICT	YES
BUILDING HEIGHT	EXG 29 FT.
CONSTRUCTION CLASSIFICATION	VB- CONBUSTIBLE
OCCUPANCY USE GROUP	RESIDENTIAL R-2
ACCESSORY OCCUPANCY USE GROUP	-
SPRINKERS SYSTEM	PARTIALLY SPRINKLERED (PROPOSED)



2 PLOT PLAN 2  
1" = 80'-0"

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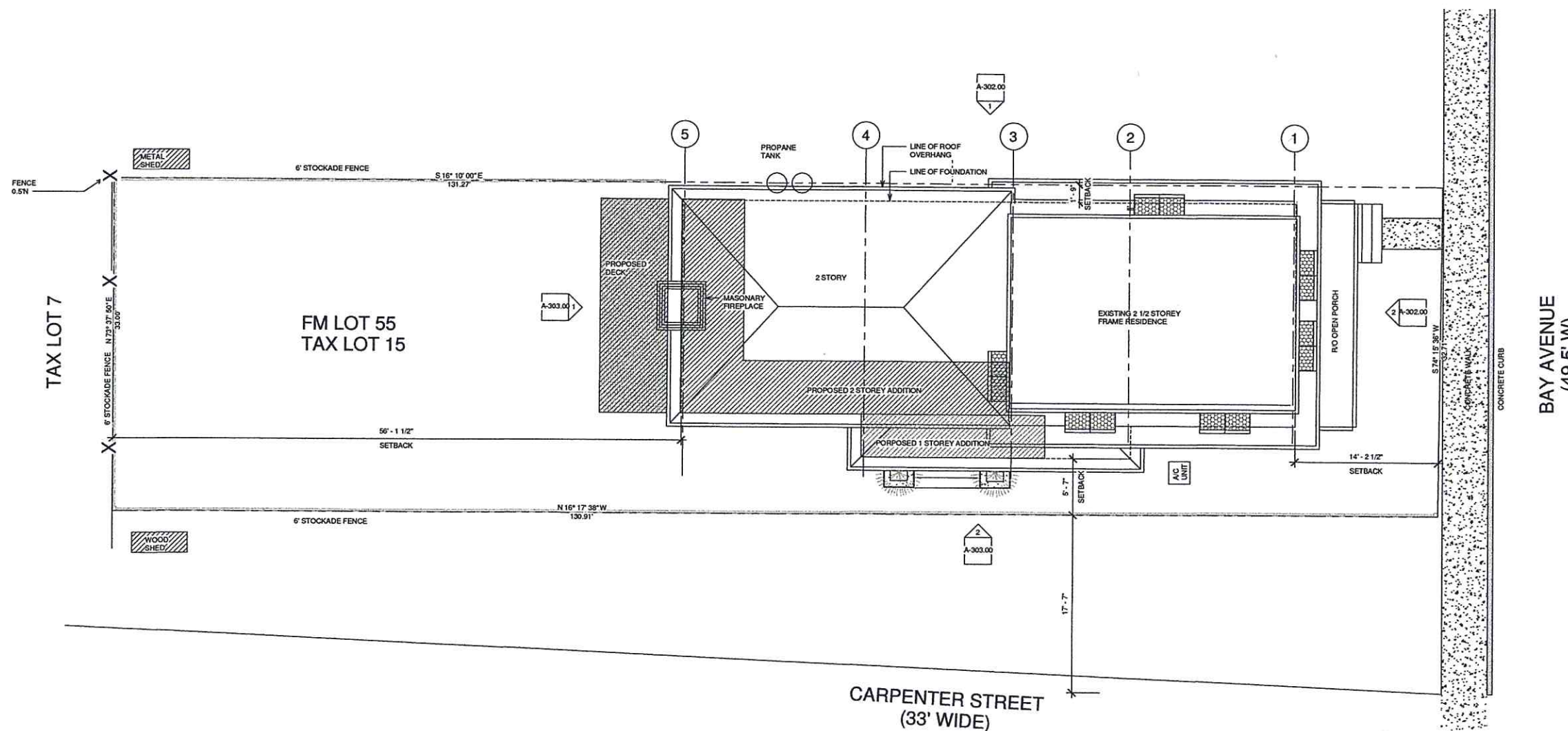
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PROPOSED SITE PLAN

Drawing No.:

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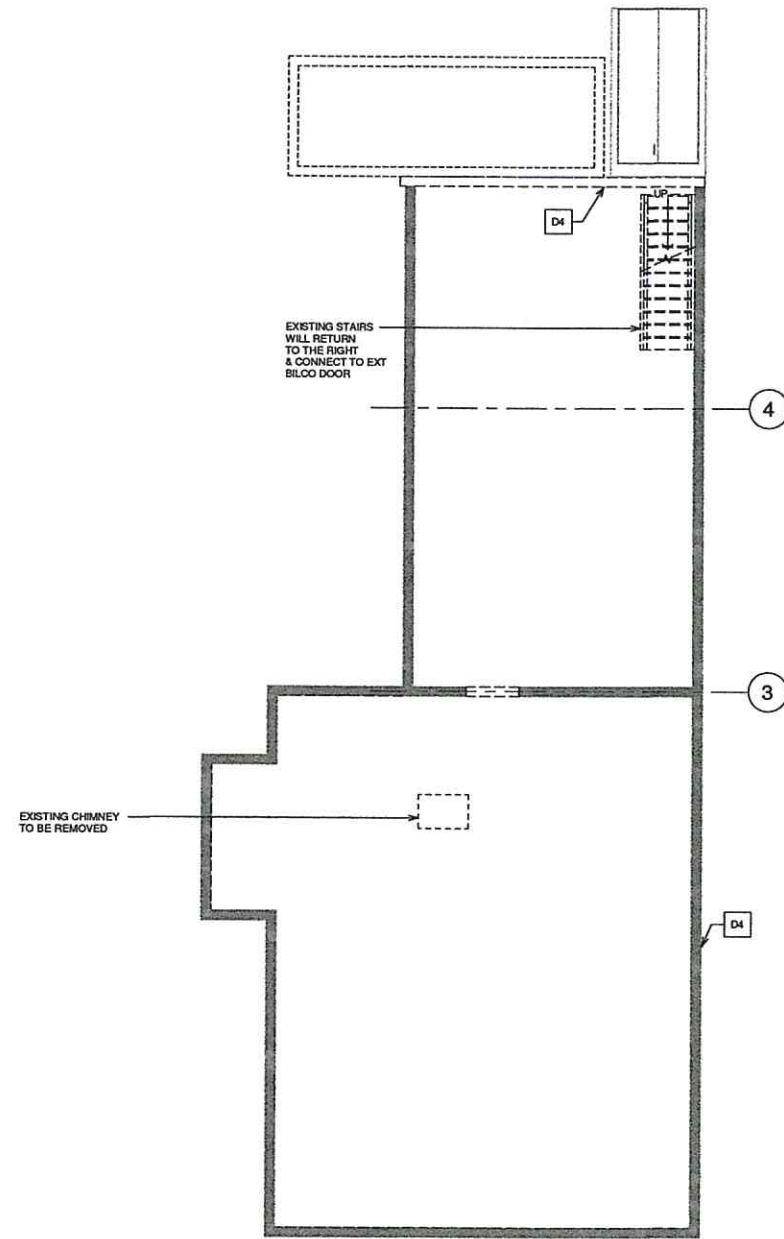


1 PROPOSED SITE PLAN  
3/16" = 1'-0"

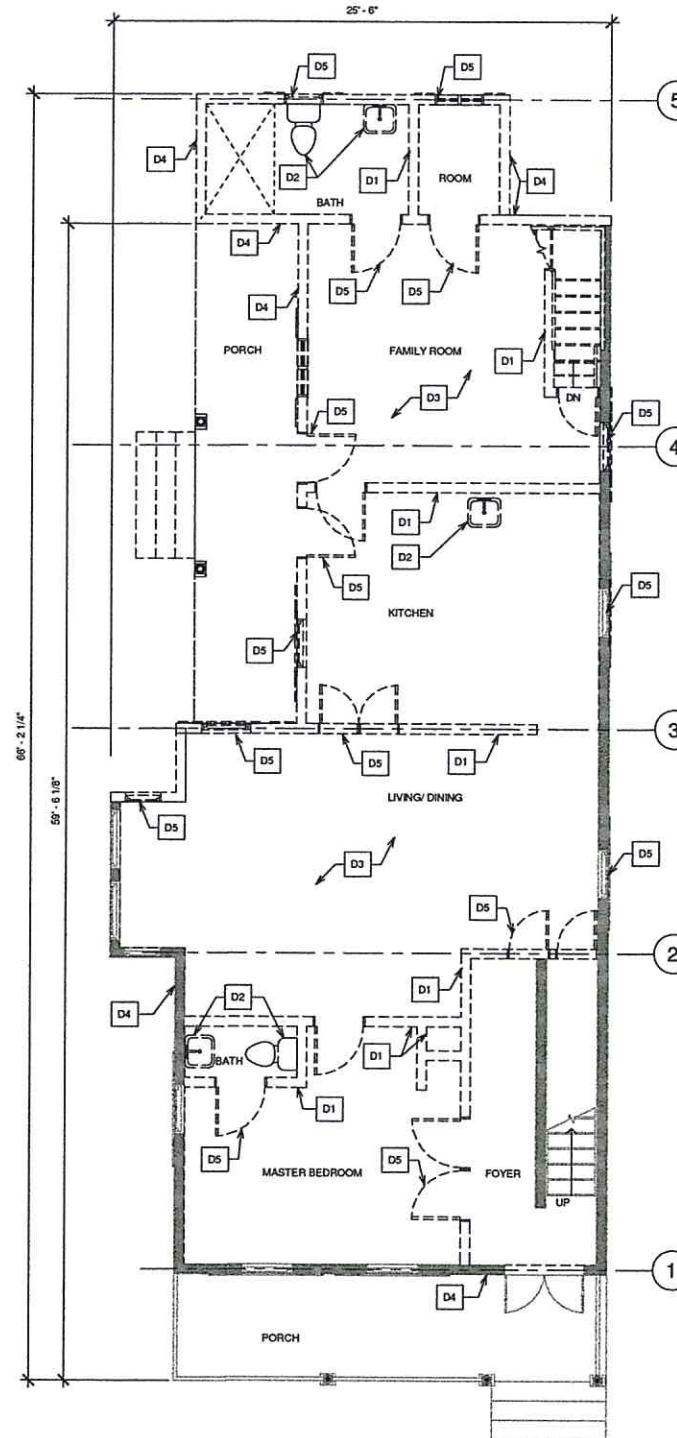
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**DEMOLITION NOTES:**

D1	REMOVE INTERIOR NON LOAD BEARING WALL
D2	REMOVE ALL EXISTING PLUMBING FIXTURES AND BRANCH LINES
D3	REMOVE ALL INTERIOR FINISHES
D4	REMOVE ALL EXTERIOR WALL AND ALL FINISHES
D5	REMOVE EXISTING DOORS AND WINDOWS IN THESE LOCATIONS
D6	REMOVE ROOF AND ROOF FRAMING FROM THIS LOCATION



2 EXISTING BASEMENT  
1/4" = 1'-0"



1 EXISTING FIRST FLOOR PLAN  
1/4" = 1'-0"

**NOTES**

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DEMOLITION PLANS

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DEMOLITION NOTES:	
D1	REMOVE INTERIOR NON LOAD BEARING WALL
D2	REMOVE ALL EXISTING PLUMBING FIXTURES AND BRANCH LINES
D3	REMOVE ALL INTERIOR FINISHES
D4	REMOVE ALL EXTERIOR WALL AND ALL FINISHES
D5	REMOVE EXISTING DOORS AND WINDOWS IN THESE LOCATIONS
D6	REMOVE ROOF AND ROOF FRAMING FROM THIS LOCATION
D7	REMOVE EXISTING STAIRS

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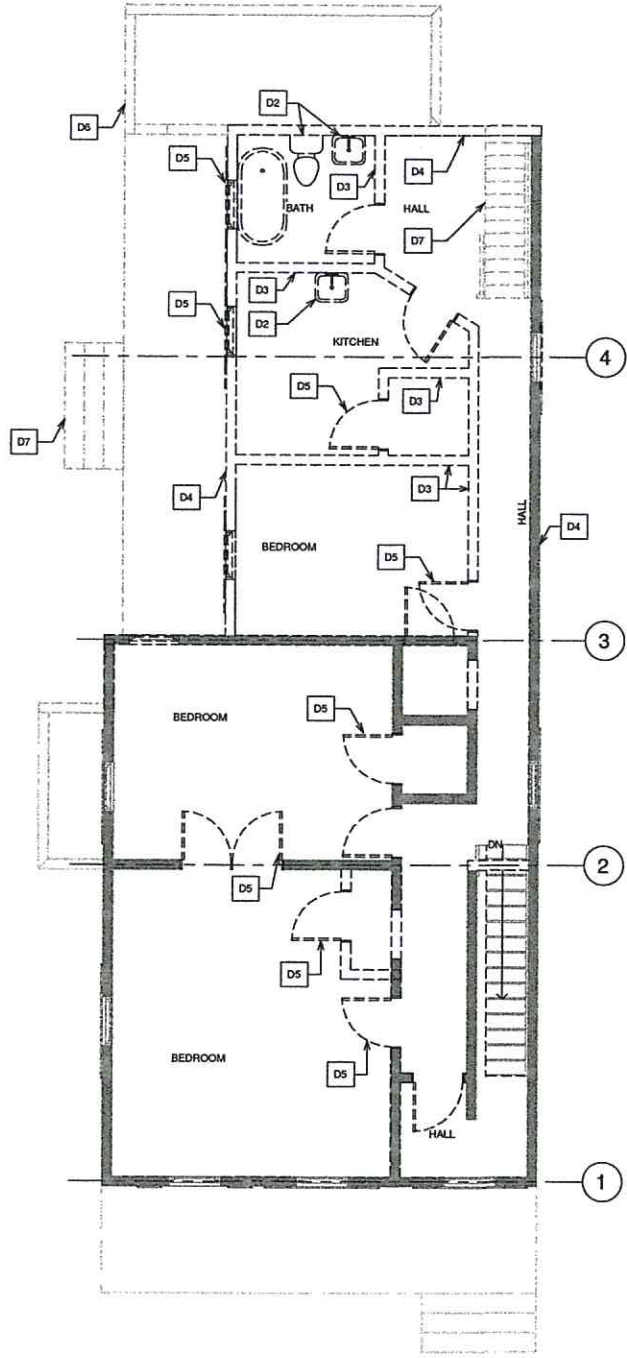
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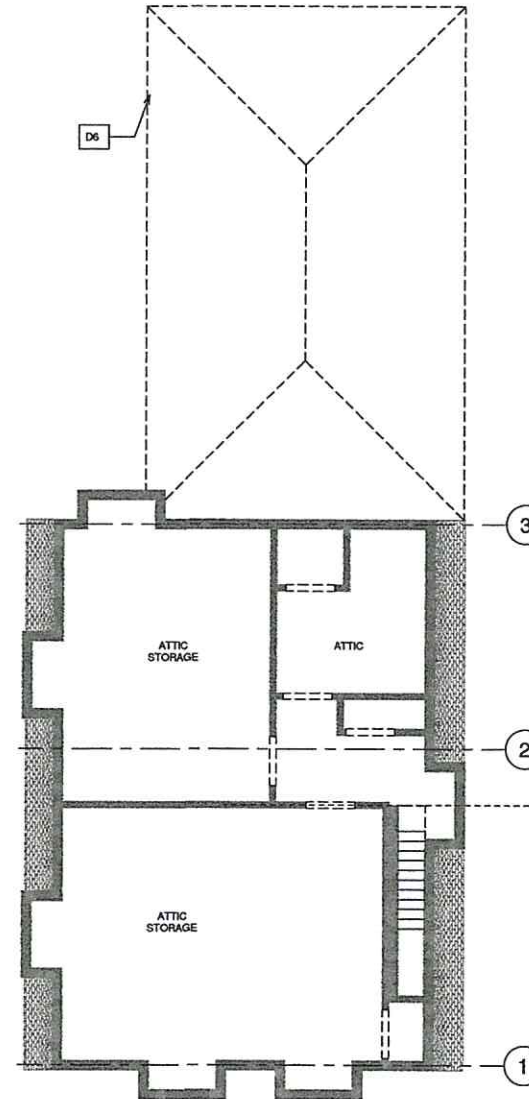
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Drawing No.:

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① EXISTING SECOND FLOOR PLAN  
 1/4" = 1'-0"



② EXISTING THIRD FLOOR  
 1/4" = 1'-0"

**CONSTRUCTION NOTES:**

C1	PROPOSED INTERIOR WALLS
C2	HARDWOOD FLOORING THROUGHOUT
C3	PROPOSED WINDOWS SEE SCHEDULE
C4	PROPOSED DOOR SEE SCHEDULE
C5	PROPOSED PLUMBING FIXTURES SEE SCHEDULE
C6	PROPOSED FIREPLACE SEE SCHEDULE
C7	PROPOSED ROOF SEE STRUCTURAL PLANS
C8	PROPOSED STAIRS

**NOTES**

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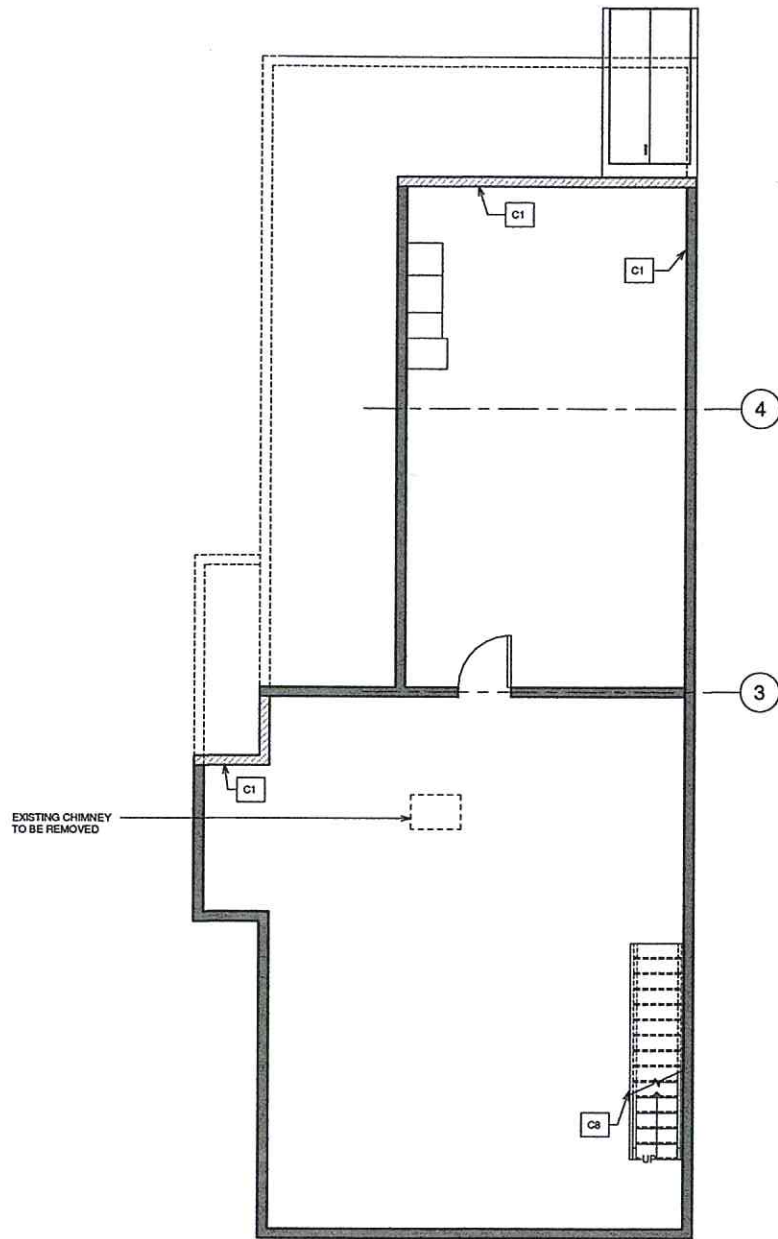
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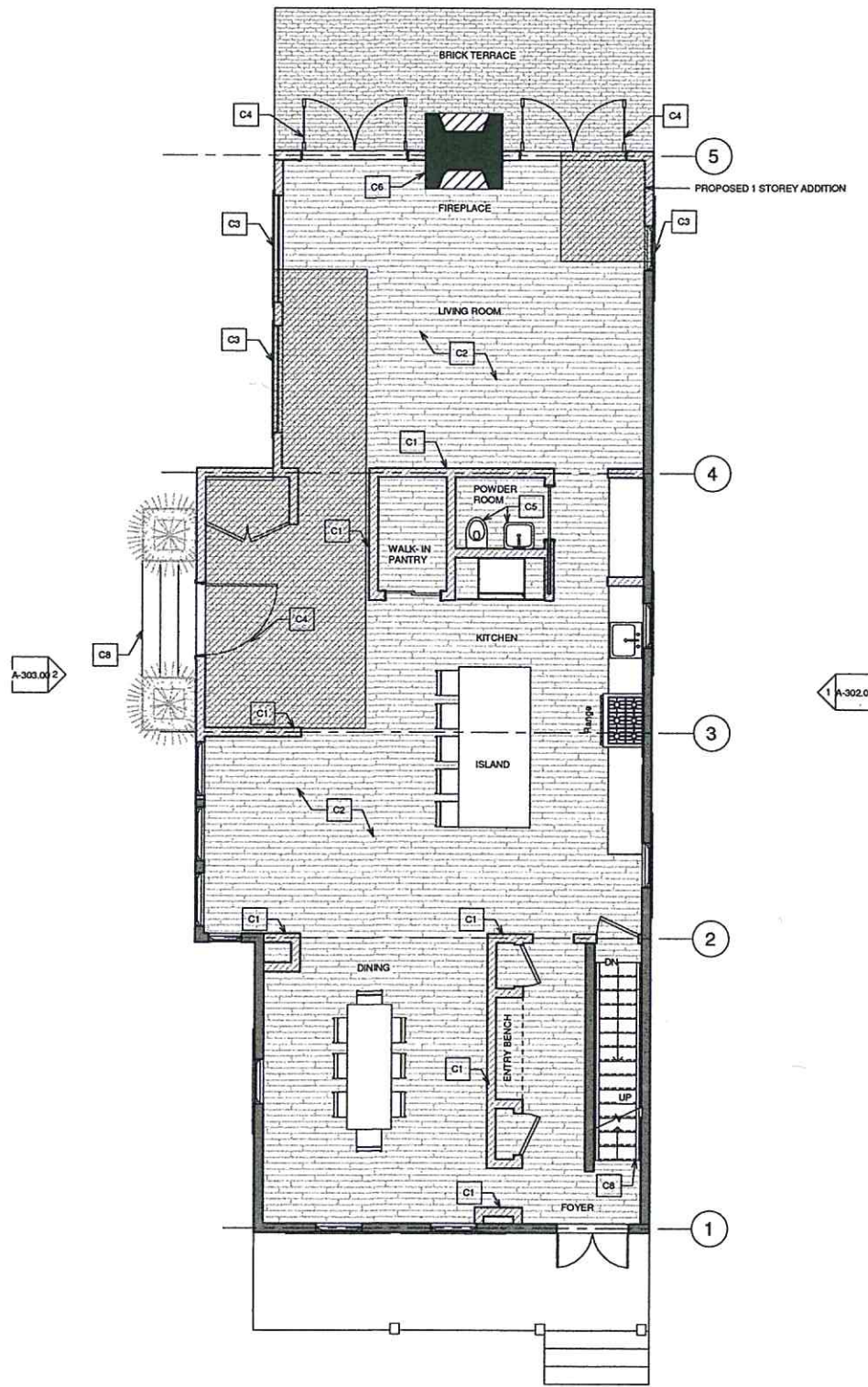
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**PROPOSED PLANS**

Drawing No.:

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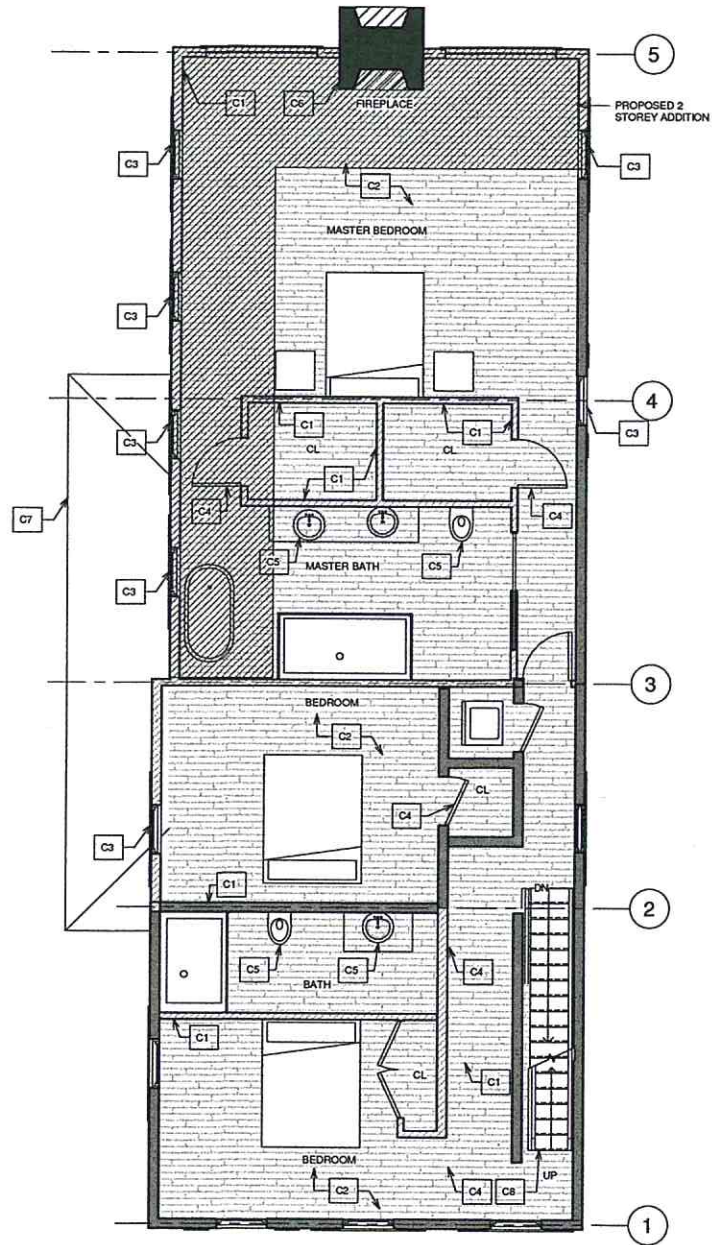
1 PROPOSED BASEMENT PLAN  
 1/4" = 1'-0"



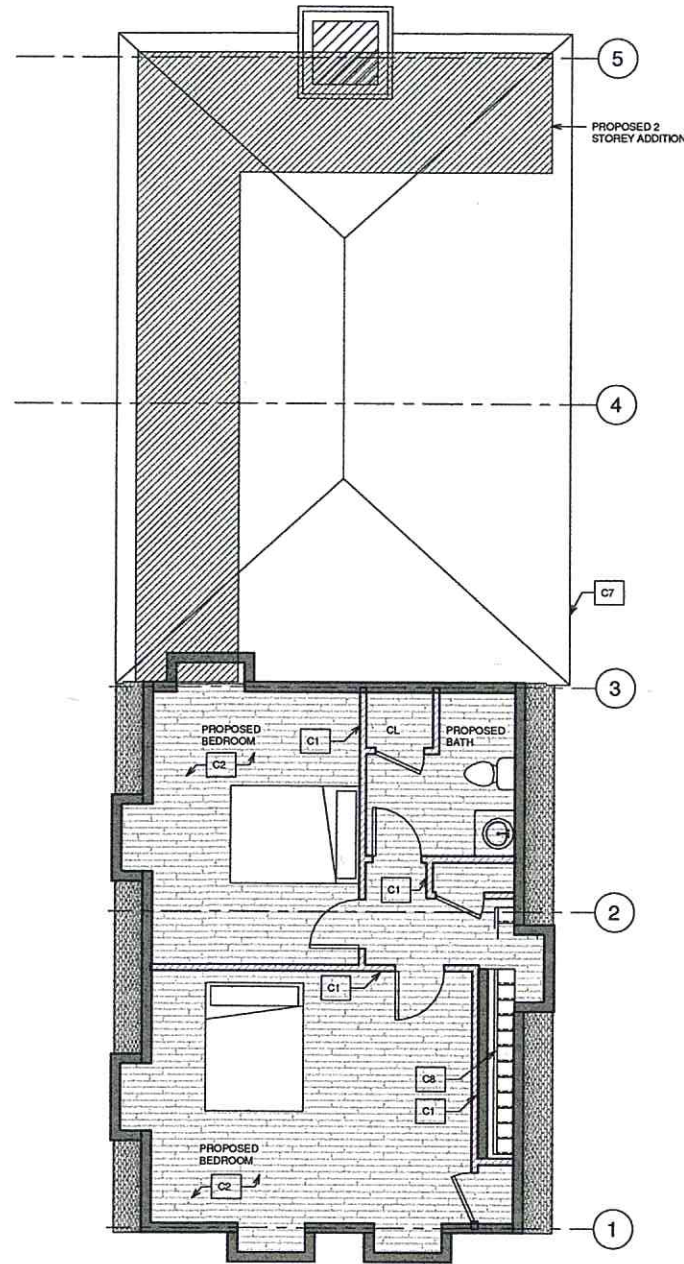
2 PROPOSED GROUND FLOOR PLAN  
 1/4" = 1'-0"

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CONSTRUCTION NOTES:	
C1	PROPOSED INTERIOR WALLS
C2	HARDWOOD FLOORING THROUGHOUT
C3	PROPOSED WINDOWS SEE SCHEDULE
C4	PROPOSED DOOR SEE SCHEDULE
C5	PROPOSED PLUMBING FIXTURES SEE SCHEDULE
C6	PROPOSED FIREPLACE SEE SCHEDULE
C7	PROPOSED ROOF SEE STRUCTURAL PLANS
C8	PROPOSED STAIRS



1 PROPOSED SECOND FLOOR PLAN  
1/4" = 1'-0"



2 PROPOSED THIRD FLOOR PLAN  
1/4" = 1'-0"

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Designer:

**ISAAC - RAE**  
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Applicant of Record:

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Project No.:

IR-02

Seal/Signature:

Date:

Scale:

AS NOTED

Drawing Title:

PROPOSED PLANS

Drawing No.:

**A-104.00**

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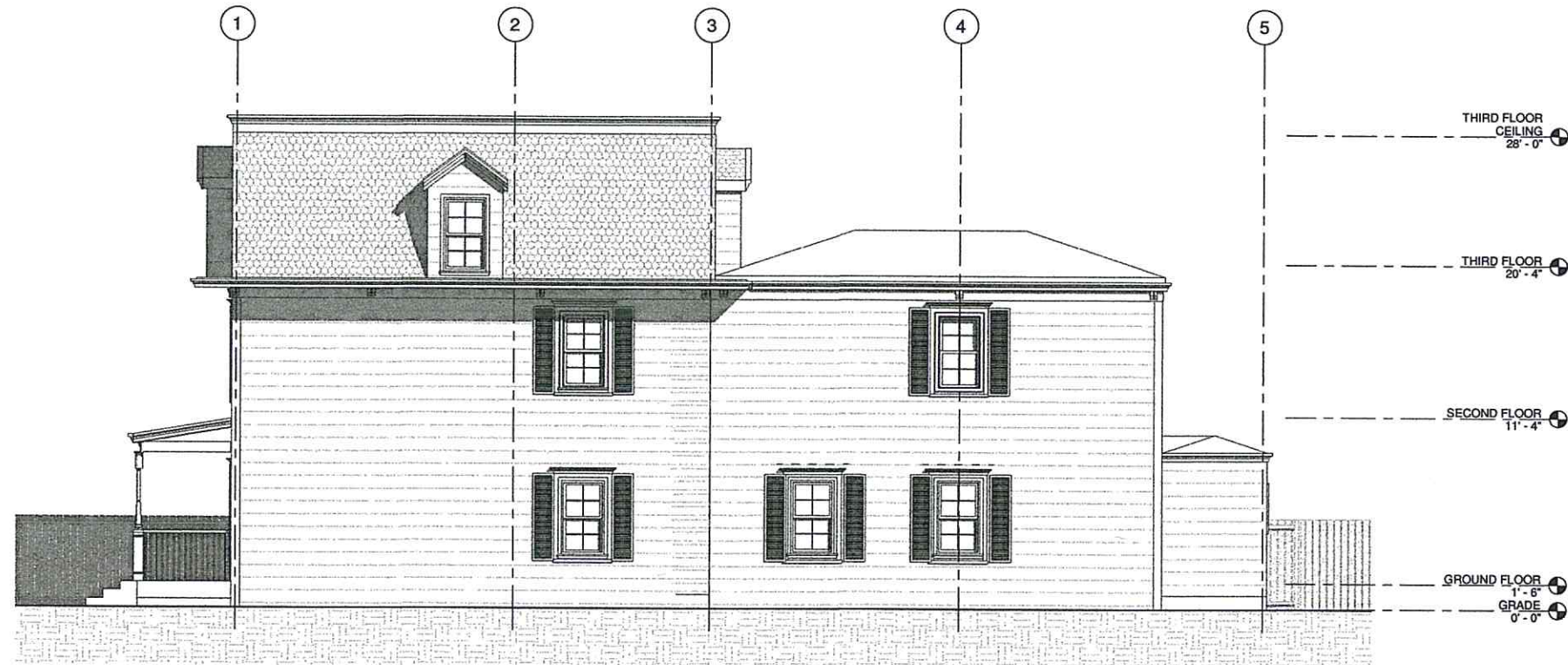
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Drawing Title:

EXISTING ELEVATIONS

Drawing No.:

**A-300.00**



① EXISTING EAST ELEVATION  
1/4" = 1'-0"



② EXISTING NORTH ELEVATION  
1/4" = 1'-0"



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Project No.:

IR-02

Seal Signature:

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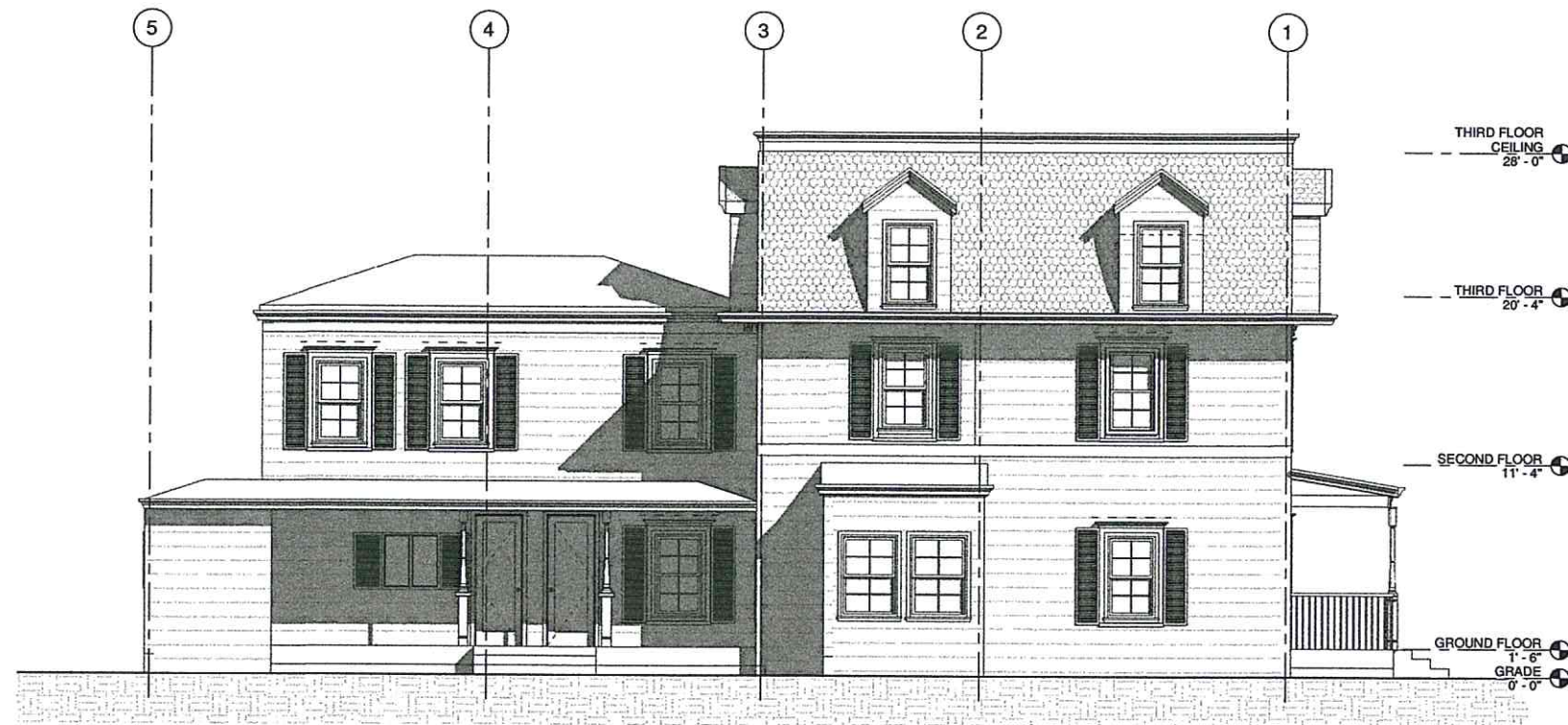
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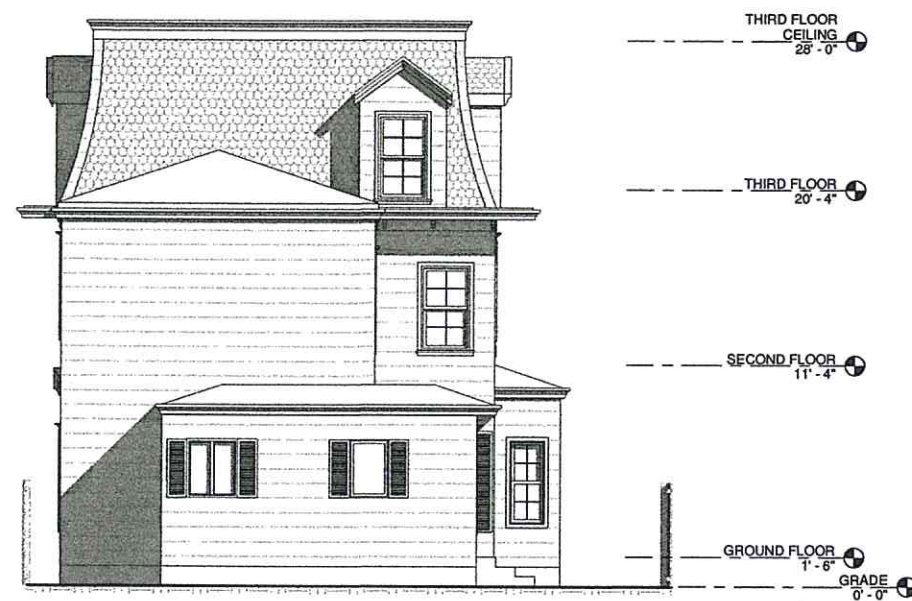
EXISTING ELEVATIONS

Drawing No.:

**A-301.00**



② EXISTING WEST ELEVATION  
1/4" = 1'-0"



① EXISTING SOUTH ELEVATION  
1/4" = 1'-0"

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Project No.:

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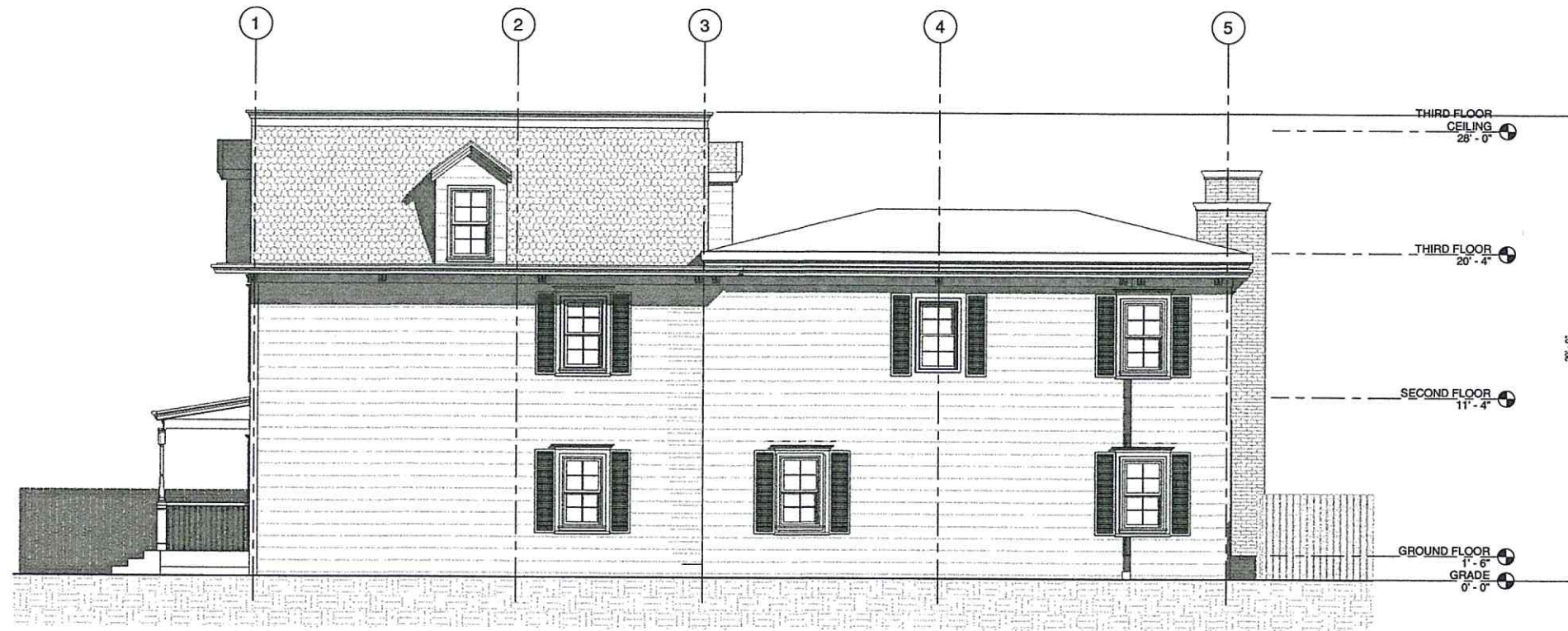
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Drawing Title:

PROPOSED ELEVATIONS

Drawing No.:

**A-302.00**



① PROPOSED EAST ELEVATION  
1/4" = 1'-0"



② PROPOSED NORTH ELEVATION  
1/4" = 1'-0"

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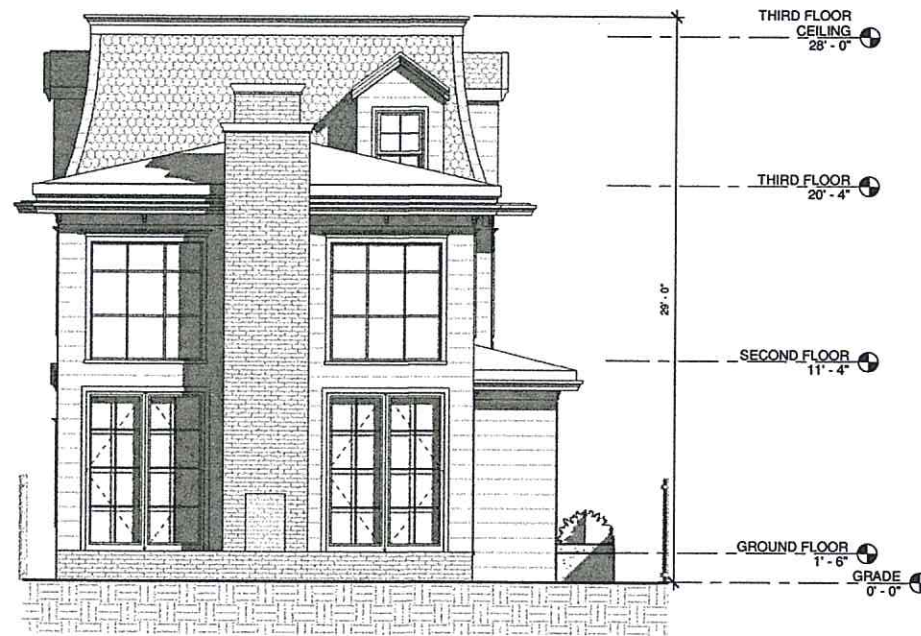
PROPOSED ELEVATIONS

Drawing No.:

**A-303.00**



② PROPOSED WEST ELEVATION  
1/4" = 1'-0"



① PROPOSED SOUTH ELEVATION  
1/4" = 1'-0"