

ISAAC-RAE STUDIO
430 Main Street
Second Floor
Greenport NY 11944

Village of Greenport
Re: 511 Carpenter Street
ZBA Public Hearing on June 16th

Good Afternoon:

Please find the updated area variance application in response to the recent Notice of Disapproval which we received on Thursday June 10th.

The homeowners and Clay are prepared to attend the scheduled ZBA meeting on June 15th at 6 p.m.

Thank you,

Clay and Margot
ISAAC-RAE

JUN 14 2021

BUILDING DEPARTMENT
FILE COPY



Village of Greenport Building Department
236 Third Street, Greenport, New York 11944
OFFICE: 631.477.0248 / FAX: 631.477.1877

NOTICE OF DISAPPROVAL

Date: June 10, 2021

To: Donald Williams



PLEASE TAKE NOTICE that your application dated December 24, 2020 – with required documents received on June 3, 2021 - to make alterations to a 2-story building and an accessory structure at 511 Carpenter Street - is returned herewith and disapproved on the following grounds:

1. Building Height Requirements.

150-12 District Regulations

One-Family dwelling: Max. Height: 35' OR 2 ½ Stories. (R-2)

The plans show a proposed third floor addition. This would require an area variance for a third story.

2. Lot Coverage Requirements.

150-12 District Regulations

One-Family dwelling: Max. lot coverage: 30% (R-2)

The specifications show the proposed lot coverage is 2,895 SF (60%). The allowable lot coverage is 1,437 SF (30%). This would require an area variance of 1,458 SF (30%) lot coverage increase.

3. Front Yard Setback Requirements.

150-12 District Regulations

One-Family dwelling: Front Yard Setback: 30-feet. (R-2)

The plans show the front yard of the 2-story building setback of 1-foot, 6-inches. This would require an area variance of 28-feet, 6-inches.

4. Side Yard Setback Requirements.

150-12 District Regulations

One-Family dwelling: Side Yard Setback: 10-feet. (R-2)

The plans show the front yard setback of 1-foot, 6-inches. This would require an area variance of 8-foot, 6-inches.

5. Combined Yard Setback Requirements.

150-12 District Regulations

One-Family dwelling: Combined Yard Setbacks: 25-feet. (R-2)

The plans show the front yard setback of 1-foot, 6-inches on the north side. And 3-foot, 4-inches on the south side. this would require an area variance of 20-foot, 4-inches.

6. Rear Yard Setback Requirements.

150-12 District Regulations

One-Family dwelling: Rear Yard Setback: 30-feet. (R-2)

The plans show the front yard setback of 5-foot, 6-inches. This would require an area variance of 24-foot, 6-inches.

This application is therefore denied, requiring the above-mentioned area variances.

Additionally, this project will have to obtain a Certificate of Appropriateness from the Historic Preservation Commission prior the issuance of Building Permit.

The premise to which this application applies to is located at:
511 Carpenter Street, Greenport, New York 11944.

This property is located in the R-2 District. This Property is located in the Historic District.

Map: 1001 Section: 4 Block: 3 Lot(s): 32

.....
Greg Morris - NYS Code Enforcement Official

6/10/2021

.....
Date



ZONING BOARD OF APPEALS APPLICATION

AREA VARIANCE

236 Third Street, Greenport, New York, 11944

(631) 477-0248

www.villageofgreenport.org

Date of Application _____

All information below is to be completed by the applicant. This completed application is to be accompanied by the Notice of Disapproval, Copies of Covenants and/or Restrictions, where applicable, Environmental Assessment Form, building plans showing elevations, setbacks, floor plans, room dimensions, details of footings and foundation, and species of lumber and quality of material, where applicable.

THE OWNER OF THE PROPERTY IS: (PLEASE PRINT CLEARLY)

Jenna and Donald Williams

First Name Last Name Business Name, if applicable

Mailing Address City/ Town/ Village State Zip

Phone # E-Mail Address

CONTACT PERSON (if different from owner)

The person to receive all correspondence:

Isaac Clay Coffey

Isaac-Rae Studio

First Name Last Name Business Name, if applicable

430 Main Street Greenport NY 11944

Mailing Address City/ Town/ Village State Zip

347-276-6093 clay@isaac-rae.com
Phone # E-Mail Address

IF ANYONE OTHER THAN THE OWNER COMPLETES THIS APPLICATION, WRITTEN CONSENT FROM THE OWNER MUST BE SUBMITTED WITH THIS APPLICATION.

Location:

Suffolk County Tax Map Number: 1001 Section: 4 Block: 3 Lot 32

Street Address: 511 Carpenter Street Greenport, New York, 11944

Zoning District: WC R1 R2 PD CR CG

Is property located within the Historic District? Yes No

BUILDING DEPARTMENT JUN 14 2021
FILE COPY



ZONING BOARD OF APPEALS APPLICATION AREA VARIANCE

236 Third Street, Greenport, New York, 11944

(631) 477-0248

www.villageofgreenport.org

The Code Official reviewed and denied an application dated June 3, 2021 for a Building Permit for the location specified on this application.

Provisions of the Zoning Code appealed:

(Indicate Article, Section and Subsection of Zoning Code by numbers)

Article: 2 Section: 150 - 12 Subsection: _____

Type of appeal made for:

A Variance to the Zoning Code or Zoning Map.

An interpretation of the Village Code Article: _____ Section: _____ Subsection: _____

Has a prior appeal been made at any time with respect to this property? Yes No I Don't Know

If yes, please provide the date appeal was made: March 31 1983

Project Description:

For Demolition of Existing Building Areas:

Please describe area being removed:

Construction will remove the deteriorating existing back deck and exterior stairs. A portion of an exterior wall between primary structure and accessory structure will be removed to create an opening to connect primary structure with accessory structure.

JUN 14 2021

New Construction Areas (New Dwelling or New Addition/Extensions)

Dimensions of First Floor (Addition/Extension): 20sqft ground floor extension to connect primary and accessory structure

Dimensions of Second Floor: proposed 175 sq ft second floor deck

Height (from finished grade to top of ridge): 38 - Feet, _____ - Inches please note: there is **NO** proposed change to existing building height

Is basement or lowest floor area being constructed? Yes No

If yes, please provide height (above ground) measured from natural existing grade to first floor:

_____ - Feet, _____ - Inches.

BUILDING DEPARTMENT
FILE COPY



ZONING BOARD OF APPEALS APPLICATION

AREA VARIANCE

236 Third Street, Greenport, New York, 11944

(631) 477-0248

www.villageofgreenport.org

Project Description: (CONTINUED)

Proposed Construction Description: (Alteration or Structural Changes)

Number of floors BEFORE alterations: 2

Describe General Characteristics BEFORE alterations:

A pre-existing non-conforming 2-story residential structure. Structure is comprised of the following: habitable 2nd floor area of 1985sqft with attached 2nd floor deck of 252sqft. Existing non habitable ground floor of 2042sqft, existing non habitable mezzanine of 1050sqft. There is also a pre-existing non-conforming 658sq ft accessory structure located in the front and side yards. P

Number of floors AFTER Alterations: 3

Describe General Characteristics AFTER alterations:

A 3 story 5,737sq ft residential structure that incorporates existing accessory structure and converts existing ground floor and mezzanine into a habitable floor area with egress stair and fire sprinkler system. Habitable living space to include (4) bedrooms and (1) bath on the existing ground floor and creates (1) bath and (1) bedroom on the proposed 3rd floor. Also reduces the existing 2nd story deck in size to 175sqft.

Calculations of Building Areas and Lot Coverage:

Existing Square Footage of Building(s) on this property: 2952 SF

Proposed Increase in Building Coverage: 0 SF

Square Footage of this Lot: 4791.6 SF

Percentage of Coverage of this Lot by Building Area: 60 %

2,952 sq ft or 62.3% existing roofed building coverage will be reducing to 2,895 or 60%

**BUILDING DEPARTMENT JUN 14 2021
FILE COPY**

Purpose of New Construction:

Please describe:

Renovation for a single family to convert existing non-conforming 2.5 story building and accessory structure into a contiguous single family residence consisting of a existing 2042sq habitable ground floor, with an existing 1985 sq habitable second floor and proposed conversion of existing 1050sq ft mezzanine into a legally habitable third floor without expanding existing footprint or changing the existing roof line of the building.

The renovation proposes a newly built 20 sq ft ground floor extension to connect the existing accessory structure with the existing ground floor. The extension is enclosed and part of the thermal envelope of the building. This will bring the ground floor habitable square footage to 2720 sq ft.

Ground floor renovation will include (4) new bedrooms and (1) new bath. Renovation will also update the mezzanine level to be a code compliant habitable living space consisting of (1) new bedroom and (1) new bathroom. Construction will also include installing a code-compliant sprinkler system. Construction will also rebuild and reduce the size of deteriorating existing back deck and exterior stairs. Proposed rebuilt deck will be 175 sq ft.

When accounting for proposed increase of ground floor (20 sq ft) and rebuild of smaller deck (175 sq ft) the total roofed building coverage reduces from the existing 2,952 (62.3%) to 2,895 sq ft (60%).



ZONING BOARD OF APPEALS APPLICATION

AREA VARIANCE

236 Third Street, Greenport, New York, 11944

(631) 477-0248

www.villageofgreenport.org

Area Variance Reasons for Appeal:

Please answer in detail. *Additional sheets may be submitted with preparers signature.*

Will an undesirable change occur in the characteristics of the neighborhood or will a detriment to nearby properties be created by the granting of this area variance?

The requested area variances regarding Section 150-12 will not impact the characteristics of the neighborhood nor will it be a detriment to neighboring properties. The area variances will address the pre-existing non-conforming site of the one-family dwelling. The area variances being requested regarding Section 150-12 pertain only to the 2 story single family dwelling and are as follows: (1) to address building height requirements that have been cited by stating that the mezzanine level will not in any way increase the building height or roofline. This project will only convert the existing footprint of the mezzanine level into legally habitable third floor; (2) to allow a 30% lot coverage increase; (3) to allow an additional 28 ft, 6in to the front yard setback; (4) allow an additional 8ft6in to the side yard setback; (5) allow an additional 20ft 4in combined yard setback; (6) allow an additional 24 ft, 6in to the rear yard setback.

Can the benefit sought by the Applicant be achieved by another method, feasible for the Applicant to pursue, other than an Area Variance?

No, there is no other way to achieve the benefit that is sought by the homeowners other than requesting area variances that recognize the pre-existing non-conforming aspects of this property.

Is the requested Area Variance substantial?

The requested area variances are as follows: (1) to address building height requirements that have been cited by stating that the mezzanine level will not in any way increase the building height or roofline. This project will only convert the existing footprint of the mezzanine level into legally habitable third floor; (2) to allow a 30% lot coverage increase; (3) to allow an additional 28 ft, 6in to the front yard setback; (4) allow an additional 8ft6in to the side yard setback; (5) allow an additional 20ft 4in combined yard setback; (6) allow an additional 24 ft, 6in to the rear yard setback.

Will the requested Area Variance have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district?

No, there will be no physical or environmental impact to the neighborhood or district by granting these area variances.

Was the alleged difficulty self-created, which consideration shall be relevant to the decision of the Zoning Board of Appeals, but shall not necessarily preclude the granting of the Area Variance?

No, the current homeowners inherited the pre-existing non-conforming aspects of this one-family dwelling and accessory structure and wish to bring this property up to village-compliant standards.

JUN 14 2021

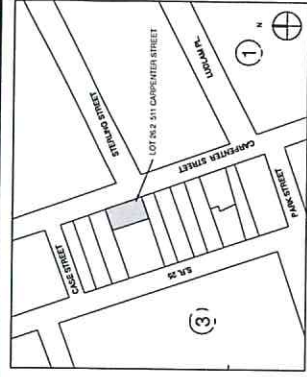
Are there Covenants or Restrictions concerning this land? Yes No

If yes, please furnish copies.

**BUILDING DEPARTMENT
FILE COPY**

NOTES

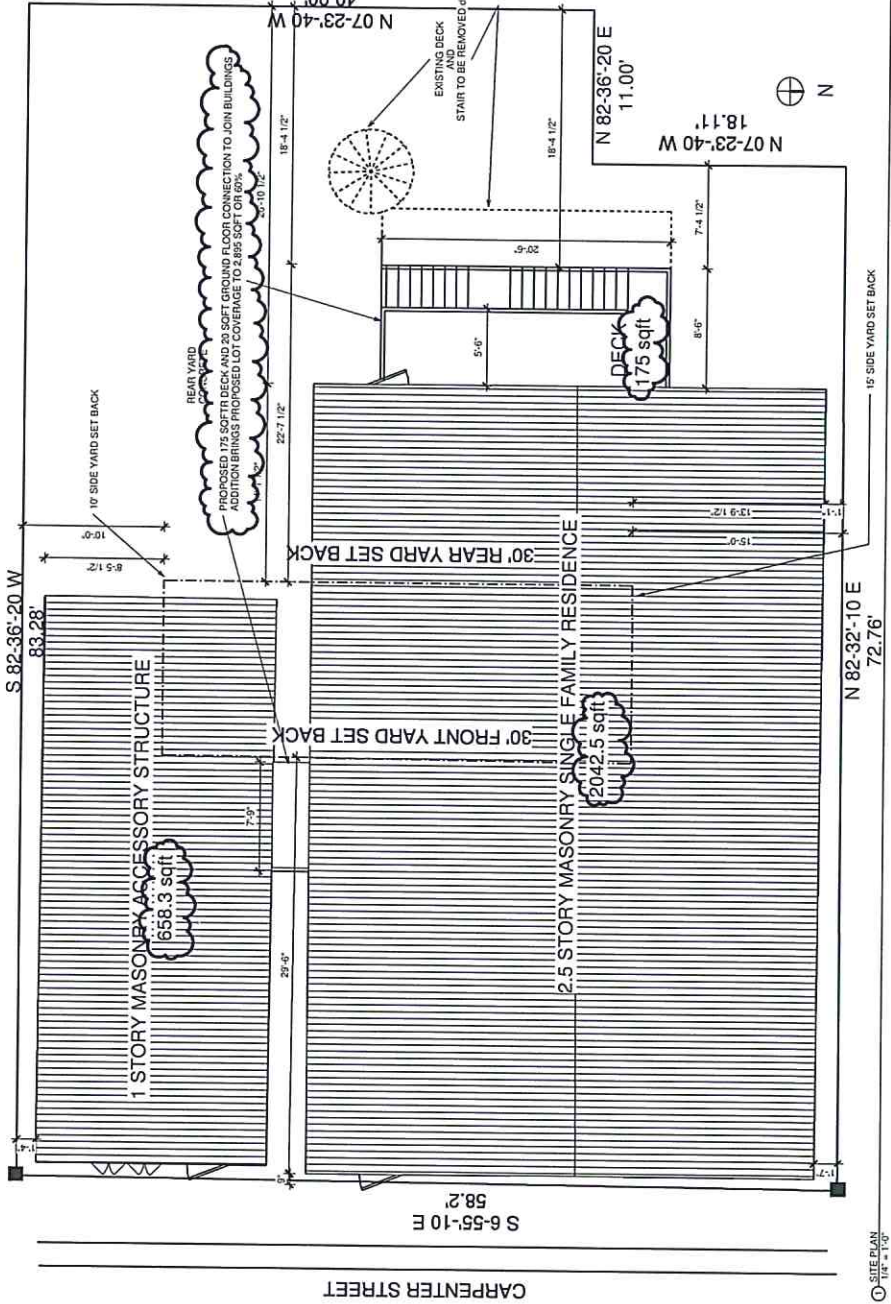
NO.	DATE	REVISION
1	10/15/2021	Initial Design
2	11/10/2021	Revised Design
3	12/15/2021	Final Design
4	01/10/2022	Final Design
5	02/10/2022	Final Design
6	03/10/2022	Final Design



SITE PLAN INFORMATION	
COUNTY	SUFFOLK
TAX MAP NUMBER	1001040332
VILLAGE	GREENWICH
BLOCK	3
LOT	93
NUMBER OF FLOORS	3
LOT AREA	.11 ACRE (OR 1018 SQFT)
ALLOWABLE BUILDING COVERAGE	100% (OR 1018 SQFT)
EXISTING BUILDING COVERAGE	83% (OR 845 SQFT)
PROPOSED BUILDING COVERAGE	28% (OR 285 SQFT)
ZONING MAP	GREENWICH VILLAGE
LANDMARK REGISTRATION	NONE
HISTORIC DISTRICT	YES
BUILDING HEIGHT	3BTT
CONSTRUCTION CLASSIFICATION	VI COMMERCIAL
OCCUPANCY USE GROUP	RESIDENTIAL R2
ACCESSORY OCCUPANCY USE GROUP	-
NOTES: SPRINKLER SYSTEM	ANNUALLY SPRINKLERED (PROPOSED)
ALL ROOMS TO HAVE SMOKE DETECTORS AND LEAK DETECTORS TO CONTINUE TO MONITOR WATER LEAKS	-

91' TO PARK STREET

2' Blue Clay 1
1" = 80'0"



15' SIDE YARD SET BACK

A-100.00

Architect of Record:
ISAAC - RAE
1979 Main Bayview Road
Spartanburg, SC 29583
Contact: Isaac Clay Colby
P.O. Box 83707
T: 347-276-6900 E: clay@isaac-rae.com

Project:
511 CARPENTER ST.
GREENSBORO, NC 27407

Project No.:
1002

Scale:
As Shown

Drawn by:
S. J. [Name]

NOTES

DEMOLITION NOTES

- D1. Remove existing non load bearing interior walls.
- D2. Existing stair to 2nd floor to be retained.
- D3. Remove existing powder room. Plumbing fixtures to be relocated.
- D4. Remove existing flooring in this area to prepare for proposed bathroom.
- D5. Remove existing non compliant deck, stair and other associated structure.
- D6. Remove existing doors and replace with fixed Marvin picture window material in proposed plan.
- D7. Remove existing handrail to be replaced with proposed code compliant material in proposed plan.
- D8. Remove ceiling in this location for fire proposed fire sprinkler system.
- D9. Existing fire alarm pull station to be retained during construction.
- D10. Remove portion of exterior wall.

DRAWING ISSUE	
NO.	DATE
1	01/18/2021
2	02/02/2021
3	02/02/2021
4	02/02/2021
5	02/02/2021

THIS APPLICATION APPROVED ONLY FOR USE AS SHOWN ON THE APPLICATION SPECIFICATION SHEET. ALL WORK SHALL BE COMPLETED AS SHOWN AND APPROVED ON THIS ACCORDANCE WITH APPLICABLE CODES.

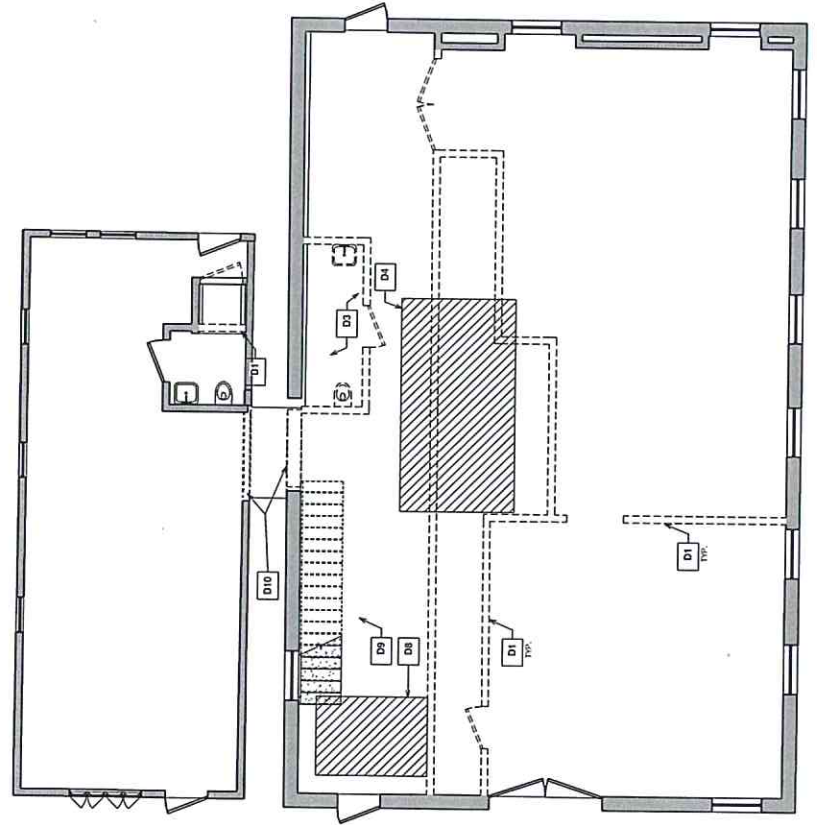
Contractor:
 SENTRY ENGINEERS
 SENTRY AUTOMATIC FIRE
 PROTECTION INC.
 725 Flinders road
 Parsippany, New York 11901

Architect of Record:
ISAAC - RAE
 11879 Main Bayview Road
 Secaucus, NJ 11971
 Contact: Isaac Clay Colley
 NY5 LCR639767
 T. 347-276-6999 E. clay@isaac-rae.com

Project:
511 CARPENTER ST.
 GREENPORT NY 11944
 Project No.:
 IR-02
 Seal Signature:

Date:
Scale:
Drawing Title:
REMOVAL PLAN

Drawing No.:
A-101.00



WALL TYPE LEGEND
 --- Demolish / Remove
 - - - Existing Construction

1 GROUND FLOOR DEMOLITION PLAN
 1/4" = 1'-0"

NOTES

DEMOLITION NOTES

- D1. Remove existing non load bearing interior walls
- D2. Existing stairs to 2nd floor to be retained
- D3. Remove existing powder room. Plumbing fixtures to be relocated
- D4. Remove existing flooring in this area to prepare for proposed bathroom.
- D5. Remove existing non compliant deck, stair and other associated structure
- D6. Remove existing doors and replace with fixed Marvin picture window
- D7. Remove existing handrail to be replaced with proposed code compliant handrail in proposed plan
- D8. Existing stairs to be replaced for fire proposed fire sprinkler system
- D9. Existing stairs to be replaced during construction.
- D10. Remove portion of exterior wall

NO.	DATE	REVISION
1	11.14.2021	ISSUED FOR PERMIT
2	11.14.2021	ISSUED FOR PERMIT
3	11.14.2021	ISSUED FOR PERMIT
4	11.14.2021	ISSUED FOR PERMIT
5	11.14.2021	ISSUED FOR PERMIT
6	11.14.2021	ISSUED FOR PERMIT
7	11.14.2021	ISSUED FOR PERMIT
8	11.14.2021	ISSUED FOR PERMIT
9	11.14.2021	ISSUED FOR PERMIT

THIS APPLICATION IS PREPARED ONLY FOR THE PROJECT INDICATED ON THE APPLICATION INFORMATION SHEET. ALL INFORMATION CONTAINED HEREIN IS TO BE CONSIDERED AS EITHER FALSE OR MISLEADING UNLESS INDICATED OTHERWISE.

Contractor:
 SENIOR ENGINEER
 SENTRY AUTOMATIC FIRE
 PROTECTION INC.
 25 Franciscan road
 Fairport, New York 11731

Architect of Record:
ISAAC - RAE
 11679 Main Bayview Road
 Scarsdale, NY 11971
 Contact: Isaac Clay Coffey
 NYS LIC#030397
 T. 347-276-6993 E. clay@isaac-rae.com

Project:
511 CARPENTER ST.
 GREENPORT NY 11944

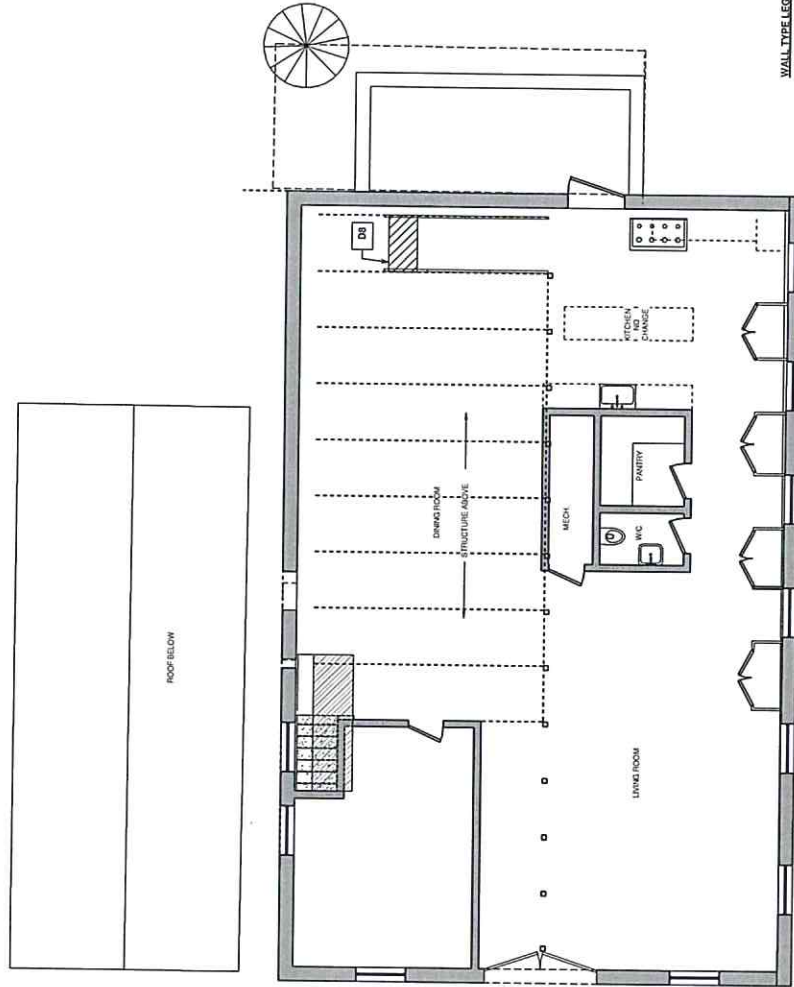
Project No.:
 (R) 02

Scale:

DATE: _____
 DRAWN BY: _____
 CHECKED BY: _____
 REMOVAL PLAN

Drawing No.:

A-102.00



WALL TYPE LEGEND
 --- Demolition / Removal
 - - - Existing Construction

2ND FLOOR DEMOLITION PLAN
 1/4" = 1'-0"

NOTES

DEMOLITION NOTES

- D1. Remove existing non load bearing interior walls.
- D2. Existing stair to 2nd floor to be retained.
- D3. Remove existing powder room. Plumbing fixtures to be relocated.
- D4. Remove existing flooring in this area to prepare for proposed bathroom structure.
- D5. Remove existing non compliant cook, stair and color associated structure.
- D6. Remove existing doors and replace with fixed Marvin picture window.
- D7. Demo existing handrail to be replaced with proposed code compliant handrail.
- D8. Remove ceiling in this location for fire proposed fire sprinkler system.
- D9. Existing stair to remain protected during construction.
- D10. Remove portion of exterior wall.

DRAWING ISSUE	
NO.	DATE
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	
11	
12	

DRAWING REVISIONS		
NO.	DATE	REVISION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		

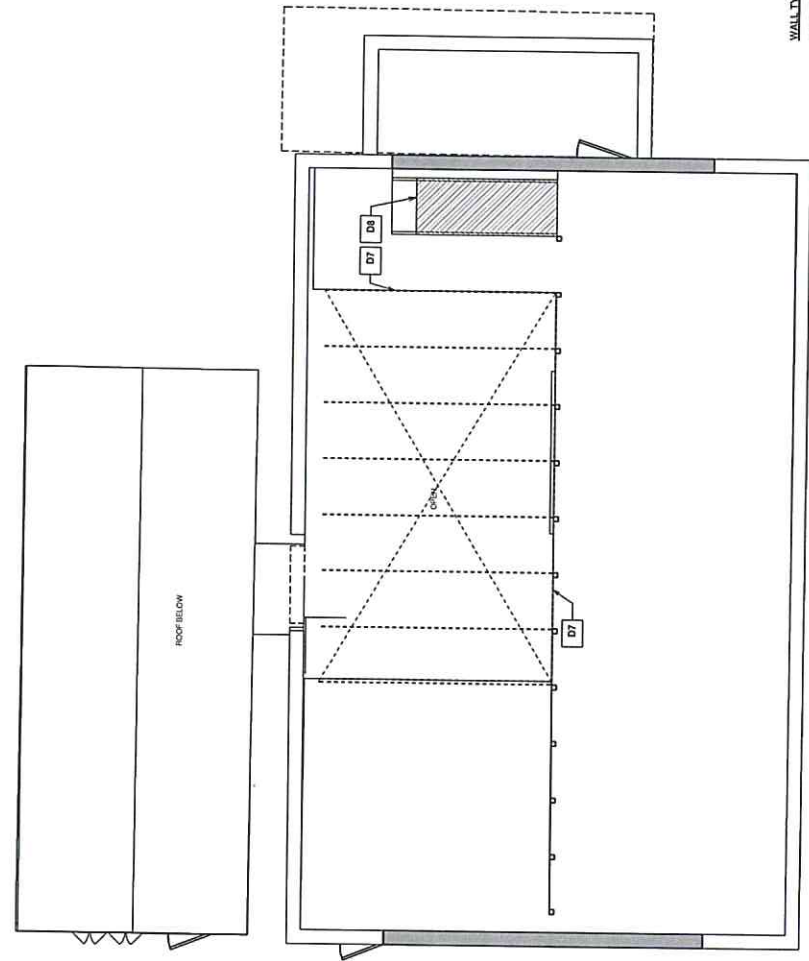
THIS APPLICATION IS APPROVED ONLY FOR WORK SHOWN ON THESE SHEETS. ALL OTHER MATTERS SHOWN ARE NOT TO BE FIELD WORK, OR CONSIDERED AS PART OF THIS APPLICATION, UNLESS APPROVED BY THE AUTHOR IN WRITING.

Architect
ISAAC - RAE
 37 Noble Street
 Boston, MA 02112
 Contract: Peter Storey
 T. 617-824-0810 E. peter@isac-rae.com

Project:
511 CARPENTER ST.
 GREENPORTRY 11844
 Project No.:
 11102
 Date:
 08/11/2011

Date:
 08/11/2011
 Scale:
 AS SHOWN
REMOVAL PLAN

Drawing No.:
A-103.00
 Author:



WALL TYPE LEGEND
 --- Demolition / Removal
 - - - Existing Construction

1-100 FLOOR DEMOLITION PLAN
 1/4" = 1'-0"

NOTES

CONSTRUCTION NOTES

KEY	NOTE
C-01	PROPOSED INTERIOR WALL
C-02	PROPOSED PLUMBING FIXTURES
C-03	PROPOSED INTERIOR DOORS
C-04	EXISTING EGRESS DOOR TO REMAIN
C-05	PROPOSED CONCRETE TOPPING THROUGHOUT
C-06	DOOR HARDWARE TO BE COORDINATED WITH CLIENT
C-07	EGRESS PATH TO BE PROTECTED VIA AUTOMATIC FIRE SPRINKLERS FIRE SPRINKLERS TO BE FILED IN SEPARATE FILING

DRAWING ISSUE	
NO.	DATE
1	ISSUED
2	REVISED
3	REVISED
4	REVISED
5	REVISED
6	REVISED
7	REVISED
8	REVISED

THIS APPLICATION IS APPROVED ONLY FOR THE WORK SHOWN ON THE APPLICATION INFORMATION SHEET. ALL OTHERS ARE UNAPPROVED. THIS APPLICATION IS TO BE CONSIDERED AS VOID UNLESS APPROVED ON IN ACCORDANCE WITH APPLICABLE CODES.

Address:
Manhattan Plaza East (607) 692-6690
magnatecusa@aol.com

Architect of Record:
ISAAC - RAE
1575 Main Bayview Road
Saratoga, NY 11951
Contact: Isaac Clay Coffey
NY License 0493707
T: 347-276-6993 E: clay@isaac-rae.com

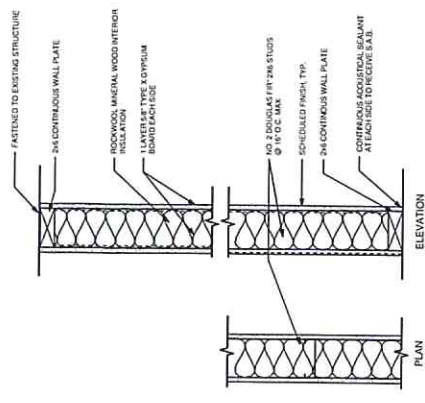
Project No:
511 CARPENTER ST.
GREENPORT NY 11944

Project No:
JH02
Scale: original

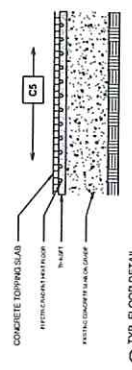


Date: 01/20/2021
Scale: AS SHOWN
Drawing: GROUND FLOOR PLAN

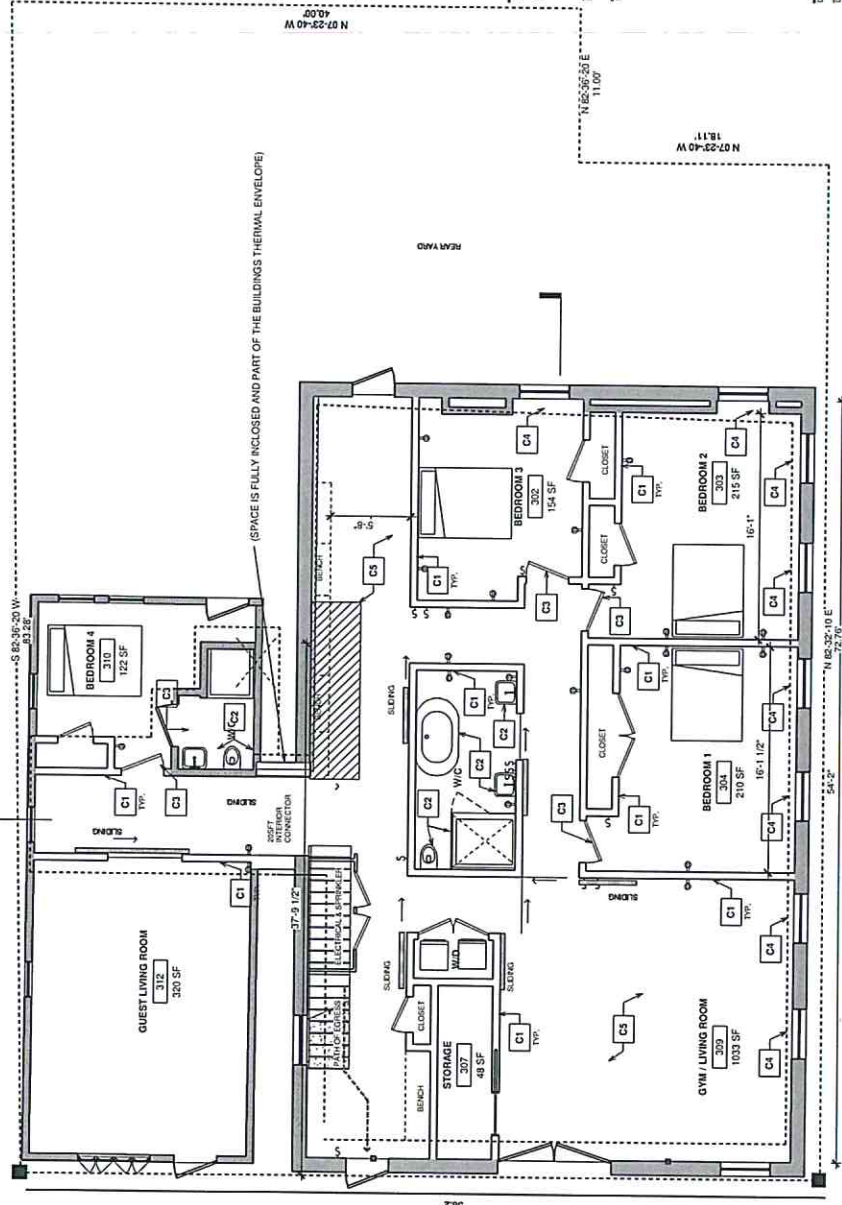
Drawing No.:
A-104.00



3. TYP. INTERIOR WALL DETAIL
1 1/2" = 1'-0"



4. TYP. FLOOR DETAIL
1 1/2" = 1'-0"



PLAN LEGEND

- EXISTING CONSTRUCTION
- NEW CONSTRUCTION
- EXTENTS OF WORK
- PATH OF EGRESS TRAVEL

5. GROUND FLOOR PLAN PROPOSED
1/4" = 1'-0"

NOTES

CONSTRUCTION NOTES

KEY	NOTE
C-01	PROPOSED EGRESS STAIR
C-02	PROPOSED HANDRAIL
C-03	PROPOSED FIXED PICTURE WINDOW TO REPLACE EXISTING DOOR
C-04	PROPOSED STEEL STRINGER WOOD STAIR
C-05	EGRESS PATH TO BE FULLY SPRINKLERED, SPRINKLER TO BE FILED SEPARATELY

DRAWING ISSUE

NO.	DATE	DESCRIPTION
1	11/15/2021	ISSUED FOR PERMIT
2	11/15/2021	ISSUED FOR PERMIT
3	11/15/2021	ISSUED FOR PERMIT
4	11/15/2021	ISSUED FOR PERMIT
5	11/15/2021	ISSUED FOR PERMIT
6	11/15/2021	ISSUED FOR PERMIT
7	11/15/2021	ISSUED FOR PERMIT

THESE DRAWINGS REPRESENT THE DESIGN OF THE PROJECT AS APPROVED BY THE CITY OF SEAFORD, DE. ALL INFORMATION IS TO BE USED AS A GUIDE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SEAFORD, DE.

ISAAC - RAE
 SPRINKLER ENGINEER
 PROTECTION INC. FIRE
 PROTECTION INC.
 735 Flanders Road
 Flanders, New York 11951

ISAAC - RAE
 11975 Main Bayview Road
 Seaford, NY 11971
 Contact: Isaac Clay Colby
 NYS LIC#037967
 T. 347-276-6993 E. clay@isaac-rae.com

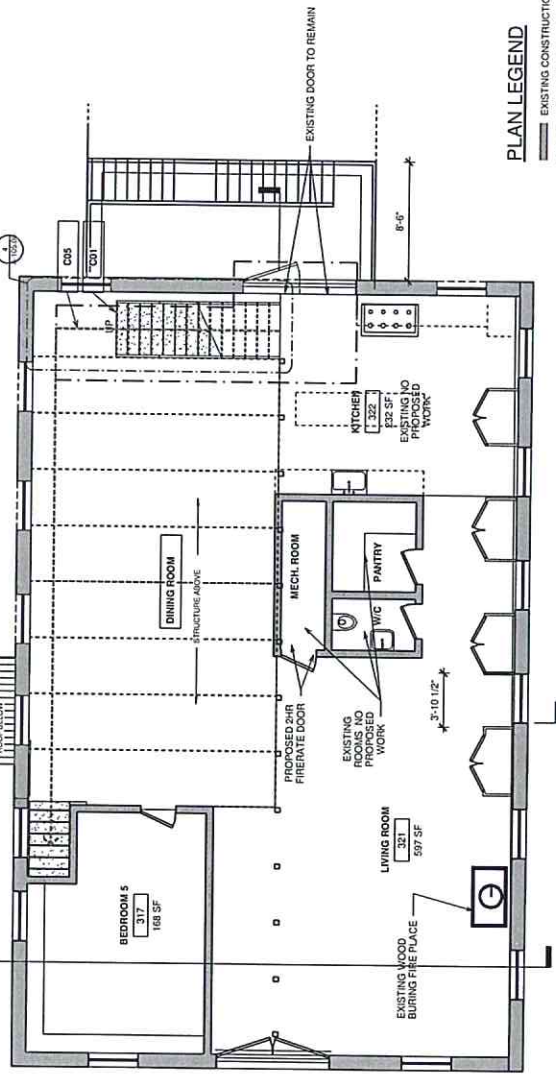
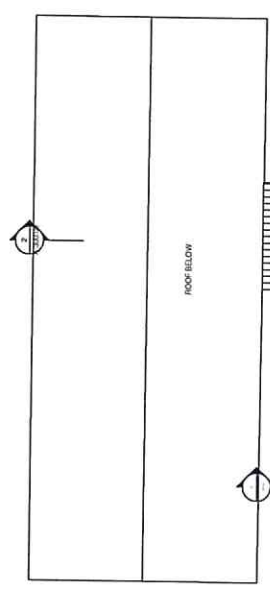
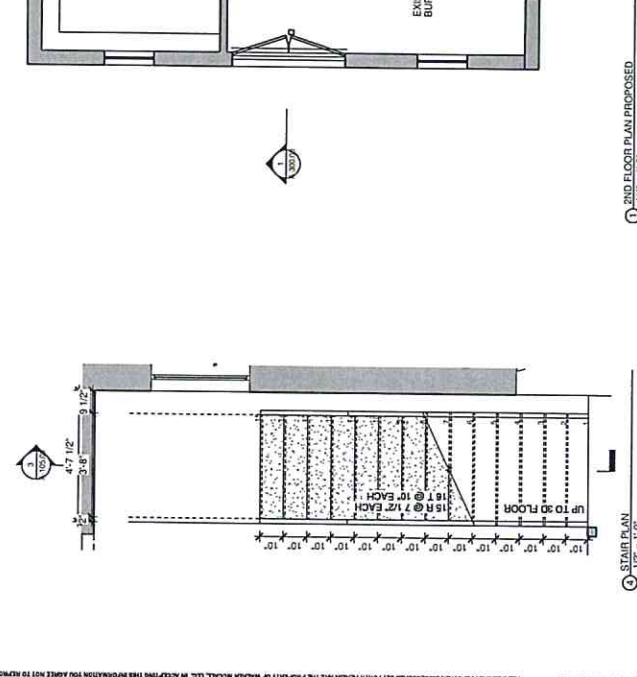
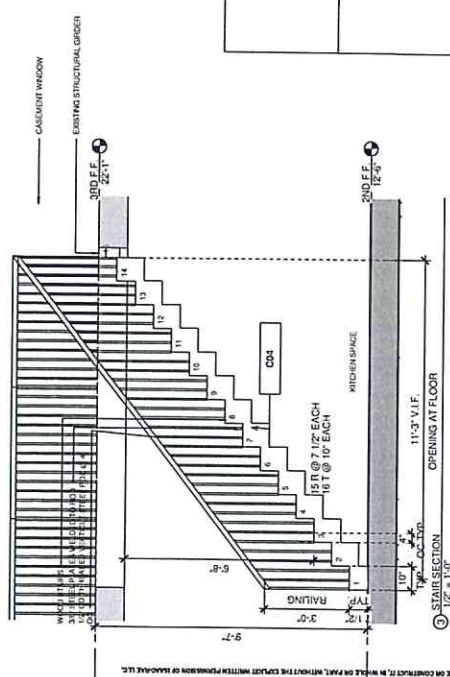
511 CARPENTER ST.
 GREENPORT NY 11944
 Project No.: PR-02
 Date: 11/15/2021

PLAN LEGEND

- EXISTING CONSTRUCTION
- NEW CONSTRUCTION
- EXTENTS OF WORK
- PATH OF EGRESS TRAVEL

NOTE:
 ALL DIMENSIONS ON THIS DRAWING ARE TO FACE UNLESS OTHERWISE NOTED.

A-105.00



1. 2ND FLOOR PLAN PROPOSED
 1/4" = 1'-0"

2. STAIR PLAN
 1/2" = 1'-0"

NOTES

DRAWING ISSUE

NO.	DATE	REVISION FOR
1	01/15/21	ISSUED FOR PERMITS
2	01/20/21	REVISED PER COMMENTS
3	01/25/21	REVISED PER COMMENTS
4	02/01/21	REVISED PER COMMENTS
5	02/05/21	REVISED PER COMMENTS
6	02/10/21	REVISED PER COMMENTS
7	02/15/21	REVISED PER COMMENTS
8	02/20/21	REVISED PER COMMENTS
9	02/25/21	REVISED PER COMMENTS
10	03/01/21	REVISED PER COMMENTS

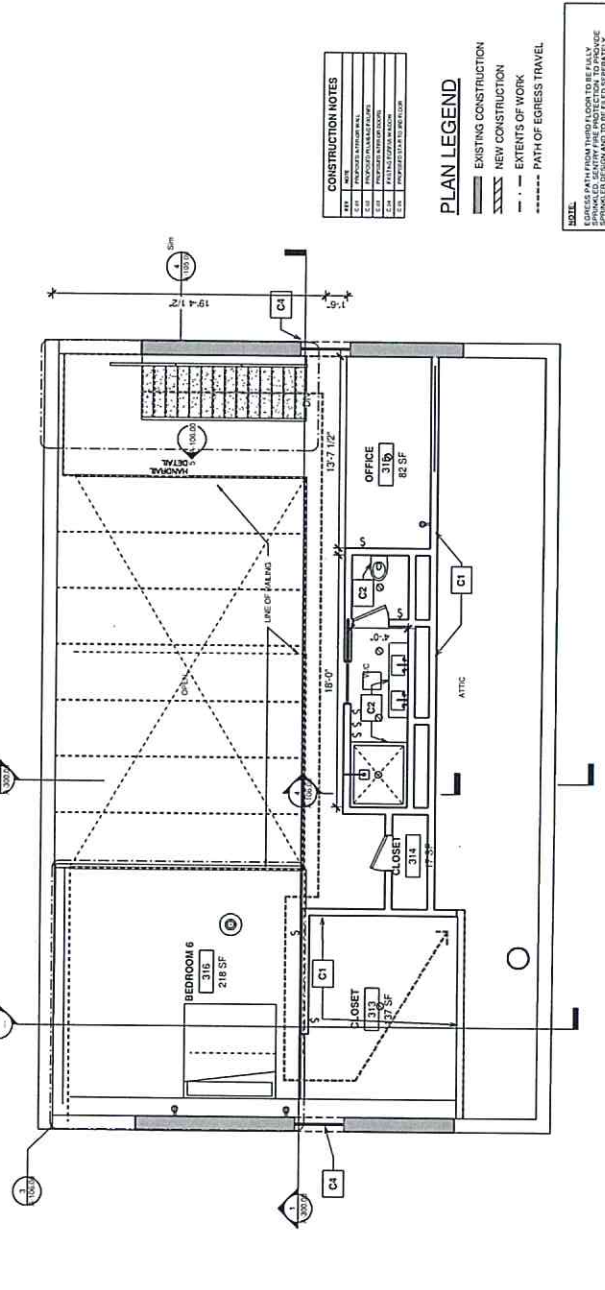
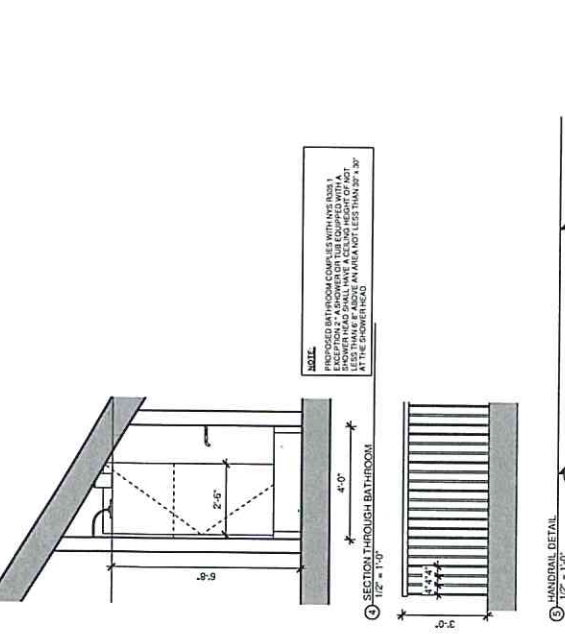
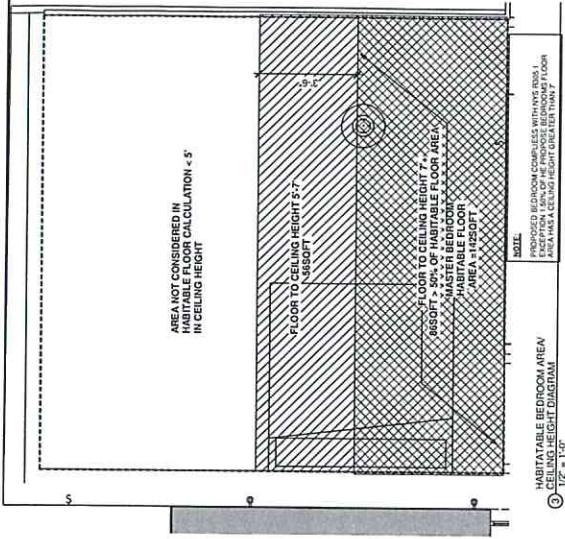
PERMITS AND REGULATIONS:
 ALL PERMITS AND REGULATIONS SHALL BE OBTAINED BY THE APPLICANT PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS.

SPINLER ENGINEER
 SPINLER ENGINEERING INC.
 235 Flinders Road
 Flinders, New York 11991

ISAAC - RAE
 11979 Main Bayview Road
 Southold, NY 11971
 Contact: Isaac Chay Colfey
 NYS LIC#093797
 T. 347-276-6093 E. iclay@isaacrae.com

511 CARPENTER ST.
 GREENPORT NY 11944

Project No.: IR-02
 Date: 01/15/21



CONSTRUCTION NOTES

NO.	DATE	REVISION
1	01/15/21	ISSUED FOR PERMITS
2	01/20/21	REVISED PER COMMENTS
3	01/25/21	REVISED PER COMMENTS
4	02/01/21	REVISED PER COMMENTS
5	02/05/21	REVISED PER COMMENTS
6	02/10/21	REVISED PER COMMENTS
7	02/15/21	REVISED PER COMMENTS
8	02/20/21	REVISED PER COMMENTS
9	02/25/21	REVISED PER COMMENTS
10	03/01/21	REVISED PER COMMENTS

PLAN LEGEND

- EXISTING CONSTRUCTION
- NEW CONSTRUCTION
- EXTENTS OF WORK
- PATH OF EGRESS TRAVEL

SOIL:
 40% 1.5% ON GRADE OF PERMANENT FEATURES TO HAVE TO HIGH EFFICIENCY LAMP.

SOIL:
 40% 1.5% ON GRADE OF PERMANENT FEATURES TO HAVE TO HIGH EFFICIENCY LAMP.

Drawing No.: **A-106.00**

NOTES

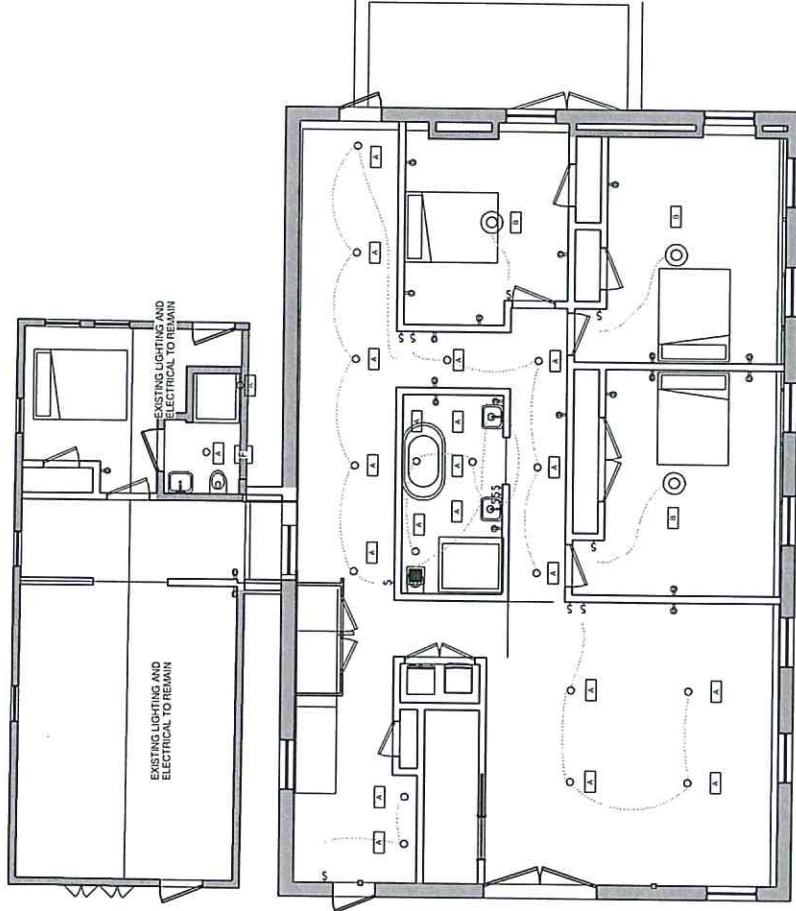
DRAWING ISSUE	
NO.	DATE
1	11/14/2021
2	11/14/2021
3	11/14/2021
4	11/14/2021
5	11/14/2021
6	11/14/2021
7	11/14/2021
8	11/14/2021

REFLECTED CEILING PLAN LEGEND

- RECESSED DOWNLIGHT
- PENDANT LIGHTING
- BATH FAN
- ⌋ LIGHT SWITCH
- OS COORNSWITCH

REFLECTED CEILING PLAN NOTES

1. FIRE RATED CEILING BOXES TO BE PROVIDED AT ALL PENETRATION IN FIRE RATED CEILING.
2. ALL RECESSED DOWNLIGHTS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S FINISH AND LABELED TO INDICATE 52.0 CFM LEAKAGE AT 75 PA.
3. ALL RECESSED DOWNLIGHTS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S HEATING AND COOLING SYSTEMS AND INITIALLY SET BY MANUFACTURER TO CODE REQUIREMENTS.
4. ALL MECHANICAL VENTILATION SYSTEM FANS NOT PART OF TESTED AND LISTED HVAC EQUIPMENT MEET EFFICIENCY AND AIR FLOW LIMITS PER TABLE R403.6.1.



GROUND FLOOR RCP AND ELECTRICAL PLAN
1/4" = 1'-0"

THIS APPLICATION IS APPROVED FOR THE WORK INDICATED ON THE APPLICATION NOTIFICATION SHEET. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPROVED PERMITS AND SHALL BE CONSIDERED AS SUCH BY THE CITY OF GREENPORT. ANY CHANGES TO THIS APPLICATION SHALL BE APPROVED BY THE CITY OF GREENPORT.

Contractor:
SENIOR ENGINEER
SENTRY AUTOMATIC FIRE
PROTECTION INC.
159 S. Plattsburgh Road
Plattsburgh, New York 11901

Architect of Record:

ISAAC - RAE
11575 Main Bayview Road
Southold, NY 11971
Contact: Isaac Clay Coffey
NY 3 LIC6839167
T. 347-278-0093 E. clay@isaac-rae.com

Project:

511 CARPENTER ST.
GREENPORT NY 11944

Project No.:

11402

Scale:

As per signature.

Date:

Scale:

Project No.:

RCP AND ELECTRICAL PLANS

Drawing No.:

A-107.00

NOTES

DRAWING ISSUE

NO.	DATE	ISSUED FOR
1	11/14/2020	FOR PERMIT
2	01/20/2021	FOR PERMIT
3	03/01/2021	FOR PERMIT
4	03/01/2021	FOR PERMIT
5	03/01/2021	FOR PERMIT
6	03/01/2021	FOR PERMIT

THIS APPLICATION IS APPROVED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ALL INFORMATION ON THIS APPLICATION IS FOR INFORMATION ONLY AND IS NOT TO BE CONSIDERED AS OTHER THAN APPROVED OR AS A CONTRACT WITH ANY LOCAL AGENCY.

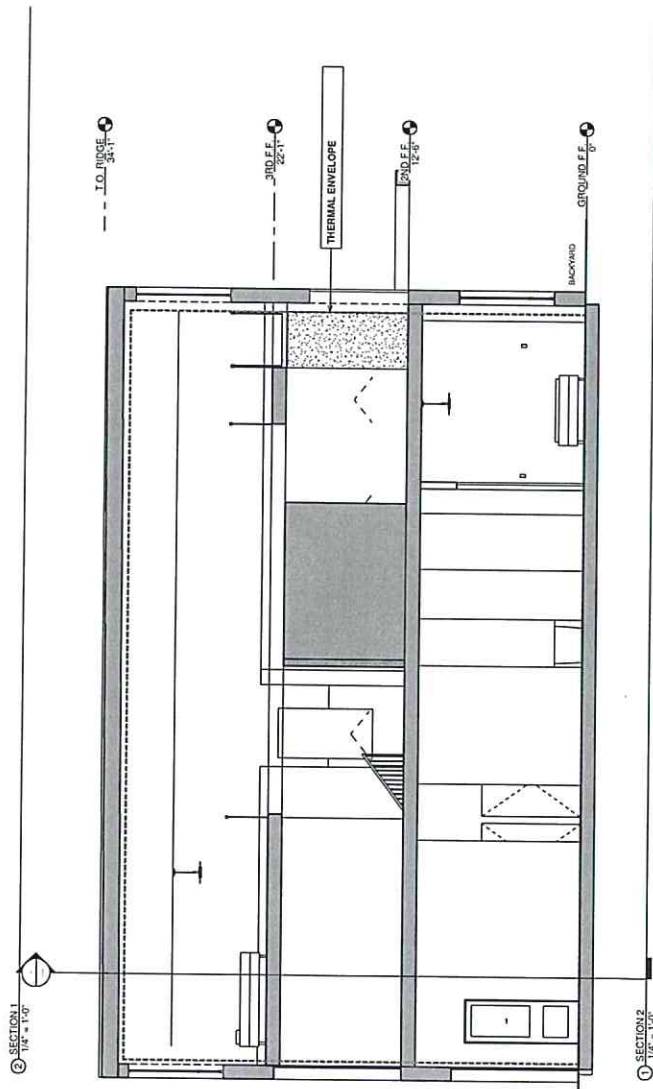
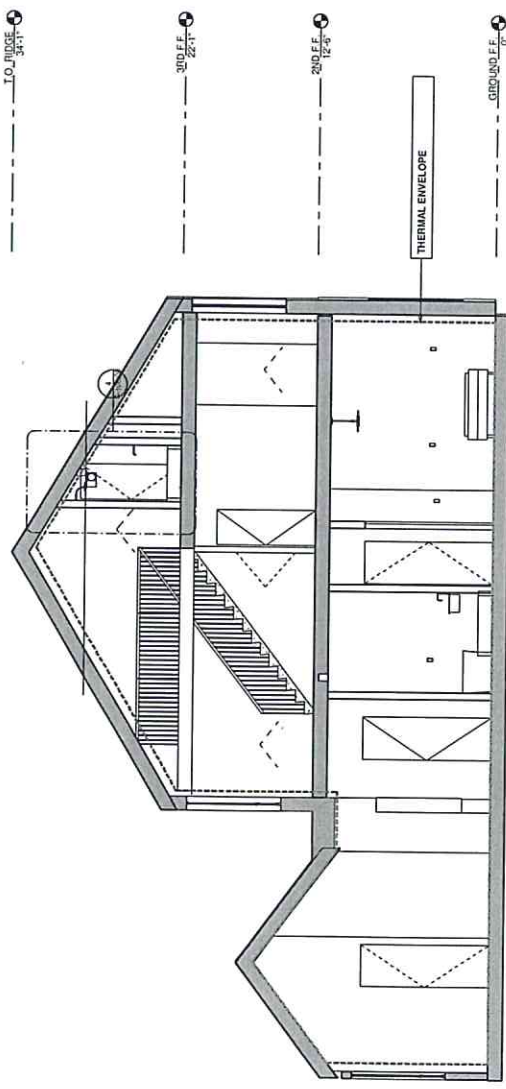
Contractor:
 SPRINKLER ENGINEER
 SENTRY AUTOMATIC FIRE
 PROTECTION INC.
 255 West 10th Street
 Fairport, New York 11731

Architect of Record:
ISAAC - RAE
 11975 Main Bayview Road
 Scotch Plains, NJ 11971
 Contact: Isaac Coby Corliss
 NYS LIC#0339169
 T. 347-276-6093 | E. coby@isaac-rae.com

Project:
511 CARPENTER ST.
 GREENPORT NY 11944
 Project No:
 IR02
 Stamp Signature

Title:
 Scale:
 Drawing Date:
 BUILDING SECTION

Drawing No:
A-300.00



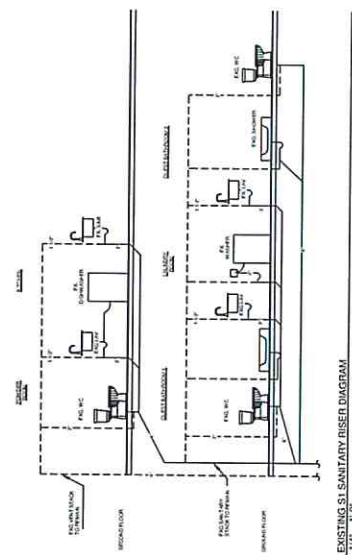
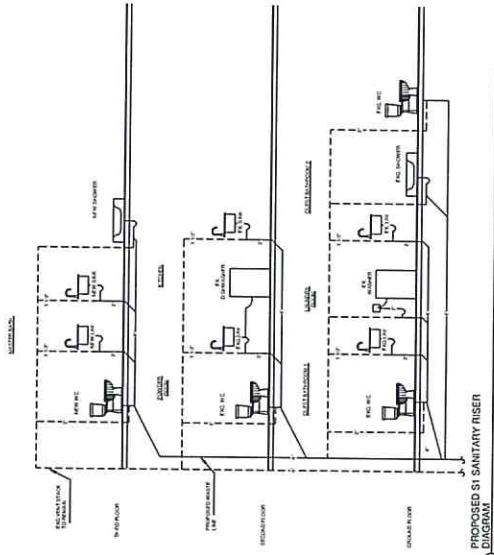
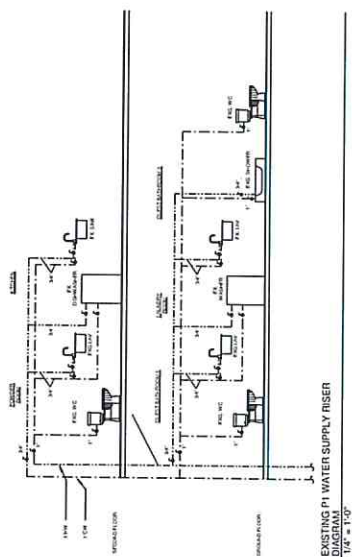
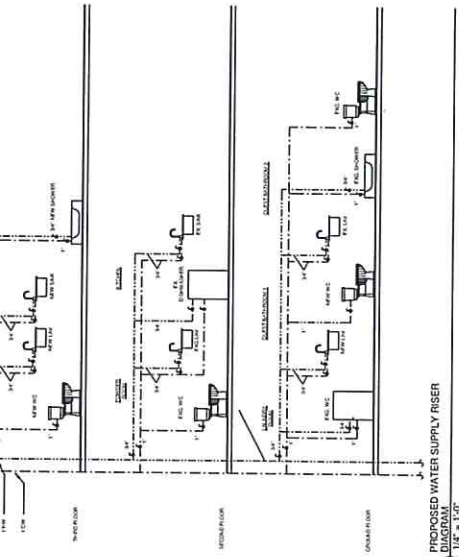
SECTIONAL LEGEND
 THERMAL ENVELOPE

NOTES

NOTES:

- 1) 1/2" (3/4") HVAC piping conveying fluids above 105 °F or chilled fluids below 55 °F are insulated to IR-2.
- 2) 1/2" (3/4") Hot water pipes are insulated to 2R-3.

DRAWING ISSUE		
NO.	DATE	ISSUED FOR
1	11/11/2021	ISSUED FOR PERMIT
2	11/11/2021	ISSUED FOR PERMIT
3	11/11/2021	ISSUED FOR PERMIT
4	11/11/2021	ISSUED FOR PERMIT
5	11/11/2021	ISSUED FOR PERMIT
6	11/11/2021	ISSUED FOR PERMIT
7	11/11/2021	ISSUED FOR PERMIT



FOR APPLICATION APPROVED BY THE ENGINEER, THE APPLICANT AGREES TO HOLD THE ENGINEER HARMLESS FROM AND TO BE COMPENSATED BY THE ENGINEER FOR ANY AND ALL REASONABLE AND NECESSARY COSTS INCURRED BY THE ENGINEER.

CONTRACTOR:
SENYA ENGINEERS
SENTRY AUTOMATIC FIRE
PROTECTION INC
150 Park Avenue
New York, NY 10022

Architect of Record:
ISAAC - RAE
11875 Main Bayview Road
Sochoduck, NY 11971
Contact: Isaac Clay Colby
NY 9 LCR039767
T. 347-276-0999 E. clay@isaac-rae.com

Project:
511 CARPENTER ST.
GREENPORT NY 11944

Project No.:
IR-02

DATE:
SCALE:
DRAWING NO.:
PLUMBING RISER DIAGRAM

Drawing No.:

P-100.00