



## Village of Greenport Building Department

236 Third Street, Greenport, New York 11944

OFFICE: 631.477.0248 / FAX: 631.477.1877

### NOTICE OF DISAPPROVAL

Date: January 12, 2021

To: Donald Williams  
511 Carpenter Street  
Greenport, New York 11944

PLEASE TAKE NOTICE that your application dated December 24, 2020 – with required documents received on January 7, 2021 - to make alterations to a 2-story building and an accessory structure at 511 Carpenter Street - is returned herewith and disapproved on the following grounds:

**1. 1<sup>st</sup> Floor utilized as habitable space.**

A Certificate of Occupancy issued on October 6, 1987 - by a resolution of the Zoning Board of Appeals dated March 31, 1983 - prohibits the 1<sup>st</sup> floor of the 2-story building from having habitable space.

The plans show habitable space on the 1<sup>st</sup> floor of the 2-story building. This would require a use variance to amend the Zoning Board of Appeals resolution dated March 31, 1983.

**2. Accessory Structure utilized as a dwelling.**

150-8A (1), 150-7A(1) Permitted Uses:

One-family detached dwellings, not to exceed one dwelling on each lot.

The plans show an accessory structure utilized as habitable space. There is only 1 dwelling permitted per lot. This would require a use variance to utilize the accessory structure (Listed as "Non-habitable studio space" on a Certificate of Occupancy issued on October 6, 1987) as habitable space.

**3. Building Height Requirements.**

150-12 District Regulations

One-Family dwelling: Max. Height: 35' OR 2 ½ Stories. (R-2)

The plans show a proposed third floor addition. This would require an area variance for a third story.

**4. Lot Coverage Requirements.**

150-12 District Regulations

One-Family dwelling: Max. lot coverage: 30% (R-2)

The plans show the lot coverage is 52%. This would require an area variance of 22% lot coverage increase.

**5. Front Yard Setback Requirements.**

150-12 District Regulations

One-Family dwelling: Front Yard Setback: 30-feet. (R-2)

The plans show the front yard of the 2-story building setback of 1-foot, 6-inches. This would require an area variance of 28-feet, 6-inches.

**6. Side Yard Setback Requirements.**

150-12 District Regulations

One-Family dwelling: Side Yard Setback: 10-feet. (R-2)

The plans show the front yard setback of 1-foot, 6-inches. This would require an area variance of 8-feet, 6-inches.

**7. Combined Yard Setback Requirements.**

150-12 District Regulations

One-Family dwelling: Combined Yard Setbacks: 25-feet. (R-2)

The plans show the front yard setback of 1-foot, 6-inches on the north side. And 3-feet, 4-inches on the south side. this would require an area variance of 20-feet, 4-inches.

**8. Rear Yard Setback Requirements.**

150-12 District Regulations

One-Family dwelling: Rear Yard Setback: 30-feet. (R-2)

The plans show the front yard setback of 5-feet, 6-inches. This would require an area variance of 24-feet, 6-inches.

**9. Accessory Building Height Requirements**

150-13 Residence district regulations.

A. Accessory buildings:

(1) An accessory building may be located in any required rear yard, provided that:

A. Such building shall not exceed 15 feet in height.

The plans show an accessory structure measuring 18-feet. The maximum height allowed is 15-feet. This would require an area variance of 3-feet.

**10. Accessory Building Setback Requirements**

150-13 Residence district regulations.

A. Accessory buildings:

(1) An accessory building may be located in any required rear yard, provided that:

The plans show an accessory building located in the side yard. This would require an area variance for the accessory structure location.

**11. Accessory Building Setback Requirements**

150-13 Residence district regulations.

A. Accessory buildings:

(1) An accessory building may be located in any required rear yard, provided that:

B. Such building shall be set back five feet from any lot line and shall not be located less than 10 feet from the principal building.

The plans show an accessory structure measuring 3-feet, 4" on the front yard. This would require an area variance of 1-foot, 8-inches.

**12. Accessory Building Setback Requirements**

150-13 Residence district regulations.

**A.** Accessory buildings:

- (1)** An accessory building may be located in any required rear yard, provided that:
- B.** Such building shall be set back five feet from any lot line and shall not be located less than 10 feet from the principal building.

The plans show an accessory structure measuring 3-feet, 2" on the side yard. This would require an area variance of 1-foot, 10-inches

**This application is therefore denied, requiring the above-mentioned use variances and area variances.**

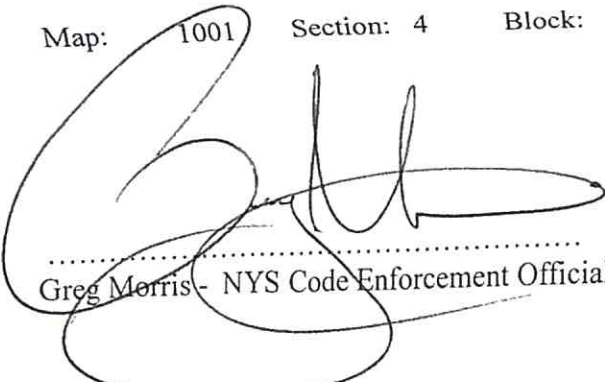
**Additionally, this project will have to obtain a Certificate of Appropriateness from the Historic Preservation Commission prior the issuance of Building Permit.**

**THIS PROPERTY IS CURRENTLY IN VIOLATION OF THE APPROVED CERTIFICATE OF OCCUPANCY AND ZBA RESOLUTION. ANY DENIAL OF THE ABOVE REQUIRED VARIANCE(S) WILL RESULT IN THE ISSUANCE NOTICES OF VIOLATION, REQUIRING THE PROPERTY TO BECOME COMPLIANT WITH CERTIFICATE OF OCCUPANCY DATED OCTOBER 6, 1987 AND ZBA RESOLUTION DATED MARCH 31, 1983.**

The premise to which this application applies to is located at:  
511 Carpenter Street, Greenport, New York 11944.

This property is located in the R-2 District. This Property is located in the Historic District.

Map: 1001      Section: 4      Block: 3      Lot(s): 32



.....  
Greg Morris - NYS Code Enforcement Official

1/12/2021  
.....  
Date

617.20  
Appendix B  
Short Environmental Assessment Form

**Instructions for Completing**

**Part I - Project Information.** The applicant or project sponsor is responsible for the completion of Part I. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part I based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part I. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part I - Project and Sponsor Information</b>			
Name of Action or Project: 511 Carpenter Street			
Project Location (describe, and attach a location map): 511 Carpenter Street, Greenport NY			
Brief Description of Proposed Action: Renovation for a single family to convert existing non-conforming 2.5 story building and accessory structure into habitable ground floor and 2.5 floor loft space with newly built 20 sq ft ground floor extension to connect the existing accessory structure. Ground floor renovation will include (4) bedrooms and (1) bath. Renovation will also update the lofted half floor/2.5 floor to be a code compliant habitable living space and create (1) bedroom and (1) bathroom. Construction will also include installing a code-compliant sprinkler system. Construction will also install an updated HVAC system. Construction will also rebuild and reduce the size of deteriorating existing back deck and exterior stairs. Proposed rebuilt deck will be 175SQFT.			
Name of Applicant or Sponsor: Isaac Clay Coffey, Margot Coffey		Telephone: 646-275-2447	
		E-Mail: margot@isaac-rae.com	
Address: 11575 Main Bayview Road			
City/PO: Southold		State: NY	Zip Code: 11971
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: Building Department Historical Review Board			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		.11 acres	
b. Total acreage to be physically disturbed?		NA acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		.11 acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			



18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor name: _____ Date: _____		
Signature: _____		

**Part 2 - Impact Assessment.** The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Part 3 - Determination of significance.** The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

**PRINT**





# ZONING BOARD OF APPEALS APPLICATION

## AREA VARIANCE

236 Third Street, Greenport, New York, 11944  
(631) 477-0248  
[www.villageofgreenport.org](http://www.villageofgreenport.org)

Date of Application \_\_\_\_\_

All information below is to be completed by the applicant. This completed application is to be accompanied by the Notice of Disapproval, Copies of Covenants and/or Restrictions, where applicable, Environmental Assessment Form, building plans showing elevations, setbacks, floor plans, room dimensions, details of footings and foundation, and species of lumber and quality of material, where applicable.

### THE OWNER OF THE PROPERTY IS: (PLEASE PRINT CLEARLY)

Jenna and Donald Williams

First Name	Last Name	Business Name, if applicable
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[REDACTED]	[REDACTED]	[REDACTED]
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Mailing Address	City/ Town/ Village	State	Zip
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[REDACTED]	[REDACTED]	[REDACTED]	[REDACTED]
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Phone #	E-Mail Address
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### CONTACT PERSON (if different from owner)

*The person to receive all correspondence:*

First Name	Last Name	Business Name, if applicable
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Isaac Clay	Coffey	Isaac-Rae Studio
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11575 Main Bayview Road	Southold NY	11971
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Mailing Address	City/ Town/ Village	State	Zip
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347-276-6093	clay@isaac-rae.com		
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Phone #	E-Mail Address
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**IF ANYONE OTHER THAN THE OWNER COMPLETES THIS APPLICATION, WRITTEN CONSENT FROM THE OWNER MUST BE SUBMITTED WITH THIS APPLICATION.**

### Location:

Suffolk County Tax Map Number: 1001 Section: 4 Block: 3 Lot 32

Street Address: 511 Carpenter Street Greenport, New York, 11944

Zoning District:  WC  R1  R2  PD  CR  CG

Is property located within the Historic District?  Yes  No



# ZONING BOARD OF APPEALS APPLICATION AREA VARIANCE

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The Code Official reviewed and denied an application dated January 12, 2021 for a Building Permit for the location specified on this application.

**Provisions of the Zoning Code appealed:**

*(Indicate Article, Section and Subsection of Zoning Code by numbers)*

Article: 2 Section: 150 - 12 Subsection: \_\_\_\_\_

**Type of appeal made for:**

A Variance to the Zoning Code or Zoning Map.

An interpretation of the Village Code Article: \_\_\_\_\_ Section: \_\_\_\_\_ Subsection: \_\_\_\_\_

**Has a prior appeal been made at any time with respect to this property?**  Yes  No  I Don't Know

*If yes, please provide the date appeal was made:* March 31, 1983.

**Project Description:**

**For Demolition of Existing Building Areas:**

Please describe area being removed:

Construction will remove the deteriorating existing back deck and exterior stairs. A portion of an exterior wall will be removed to connect primary structure with accessory structure.

**New Construction Areas (New Dwelling or New Addition/Extensions)**

Dimensions of First Floor (Addition/Extension): 20sqft ground floor extension to connect buildings

Dimensions of Second Floor Addition/Extension) : 175 sqft 2nd floor deck \_\_\_\_\_

Height (from finished grade to top of ridge): 38 - Feet, 0 - Inches

**Is basement or lowest floor area being constructed?**  Yes  No

*If yes, please provide height (above ground) measured from natural existing grade to first floor:*

\_\_\_\_\_ - Feet, \_\_\_\_\_ - Inches.



# ZONING BOARD OF APPEALS APPLICATION AREA VARIANCE

236 Third Street, Greenport, New York, 11944

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## **Project Description: (CONTINUED)**

### **Proposed Construction Description: (Alteration or Structural Changes)**

Number of floors BEFORE alterations: 2.5

Describe General Characteristics BEFORE alterations:

A pre-existing non-conforming 2.5-story 5,503sq ft building and a pre-existing non-conforming 4791.6 sq ft accessory structure located in the front and side yards.

Number of floors AFTER Alterations: 2.5

Describe General Characteristics AFTER alterations:

A 2.5 story 5,523 sq ft building that incorporates existing accessory structure and constructs habitable living space including (4) bedrooms and (1) bath on the existing ground floor and creates (1) bath and (1) bedroom as on the existing the 2.5 floor.

### **Calculations of Building Areas and Lot Coverage:**

Existing Square Footage of Building(s) on this property: 2,505 GROUND FLOOR SF

Proposed Increase in Building Coverage: 20 SF

Square Footage of this Lot: 4791.6 SF

Percentage of Coverage of this Lot by Building Area: 52 %

### **Purpose of New Construction:**

*Please describe:*

Renovation to convert existing non-conforming 2.5 story building and accessory structure into habitable ground floor and 2.5 floor loft space with newly built 20 sq ft ground floor extension to connect the existing accessory structure. Ground floor renovation will include (4) bedrooms and (1) bath. Renovation will also update the lofted half floor/2.5 floor to be a code compliant habitable living space and create (1) bedroom and (1) bathroom. Construction will also include installing a code-compliant sprinkler system. Construction will also install an updated HVAC system. Construction will also rebuild and reduce the size of deteriorating existing back deck and exterior stairs. Proposed rebuilt deck and stair will be 175sq ft.



# **ZONING BOARD OF APPEALS APPLICATION** **AREA VARIANCE**

236 Third Street, Greenport, New York, 11944

(631) 477-0248

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## **Area Variance Reasons for Appeal:**

Please answer in detail. *Additional sheets may be submitted with preparers signature.*

### **Will an undesirable change occur in the characteristics of the neighborhood or will a detriment to nearby properties be created by the granting of this area variance?**

The requested area variances regarding Section 150-12 will not impact the characteristics of the neighborhood nor will it be a detriment to neighboring properties. The area variances will remedy the pre-existing non-conforming site of the one-family dwelling. The area variances being requested regarding Section 150-12 pertain only to the 2.5 building/one-family dwelling and are as follows: (1) to allow a 22% lot coverage increase (2) to allow an additional 29ft 6in to the front yard setback (3) allow an additional 8ft6in to the side yard setback (4) allow an additional 13ft9.5in combined yard setback, please note that the single-family dwelling meets the southside side yard setback, but does not meet the northside side yard setback (5) allow an additional 22ft7.5in to the rear yard setback.

### **Can the benefit sought by the Applicant be achieved by another method, feasible for the Applicant to pursue, other than an Area Variance?**

No, there is no other way to achieve the benefit that is sought by the homeowners other than requesting area variances that recognize the pre-existing non-conforming aspects of this property.

### **Is the requested Area Variance substantial?**

The area variances requested pertaining to Section 150-12 of district regulations are as follows: (1) to allow a 22% lot coverage increase (2) to allow an additional 29ft 6in to the front yard setback (3) allow an additional 8ft6in to the side yard setback (4) allow an additional 13ft9.5in combined yard setback, please note that the single-family dwelling meets the southside side yard setback, but does not meet the northside side yard setback (5) allow an additional 22ft7.5in to the rear yard setback.

### **Will the requested Area Variance have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district?**

No, there will be no physical or environmental impact to the neighborhood or district by granting these area variances. They merely will recognize the pre-existing non-conforming site of this property.

### **Was the alleged difficulty self-created, which consideration shall be relevant to the decision of the Zoning Board of Appeals, but shall not necessarily preclude the granting of the Area Variance?**

No, the current homeowners inherited the pre-existing non-conforming aspects of this one-family dwelling/2.5 story building and accessory structure and wish to bring this property up to village compliant standards.

**Are there Covenants or Restrictions concerning this land?** [ ] Yes [X] No

*If yes, please furnish copies.*

# AFFIDAVIT


Village of Greenport )  
Town of Southold )  
County of Suffolk ) ss  
State of New York )

I swear that to the best of my knowledge and belief that the statements contained in this application, together with the plans and specifications submitted, are true and complete statements of proposed work to be done on the described premises and that all provisions of the Building Code, Zoning Code, and all other laws pertaining to the proposed work shall be complied with, whether specified or not, and that such work and inspections are authorized by the owner. The Village of Greenport is hereby granted permission to enter the property listed as the "Location" for the purposes of inspecting my property for a site visit. I understand that if approved, this Area Variance will be granted and accepted on condition that the provisions of Federal, State and Local rules and regulations, and any additional requirements of the Area Variance are complied with. Any violation of all applicable codes, or deviations from the approved plans may result in the immediate revocation of this Area Variance & legal action taken against me. No responsibility rests upon the Village of Greenport, Code Enforcement, the Fire Marshal or the Fire Department by reason of this application and permit.

Sworn to be before this 5 day  
of February 2021

Signature

  
Owner or Applicant

  
\_\_\_\_\_

Notary Public, Suffolk County, New York

**REBECCA A LUCAK**  
Notary Public - State of New York  
No. 01LU6386882  
Qualified in Suffolk County  
My Commission Expires Feb. 04, 2023



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Jenna and Donald Williams			
First Name	Last Name	Business Name, if applicable	
[REDACTED]	[REDACTED]	[REDACTED]	
Mailing Address	City/ Town/ Village	State	Zip
[REDACTED]	[REDACTED]	[REDACTED]	[REDACTED]
Phone #	E-Mail Address		
[REDACTED]	[REDACTED]		

### CONTACT PERSON (if different from owner)

*The person to receive all correspondence:*

Isaac Clay	Coffey	Isaac-Rae Studio	
First Name	Last Name	Business Name, if applicable	
11575 Main Bayview Road	Southold NY	11971	
Mailing Address	City/ Town/ Village	State	Zip
347-276-6093	clay@isaac-rae.com		
Phone #	E-Mail Address		

**IF ANYONE OTHER THAN THE OWNER COMPLETES THIS APPLICATION, WRITTEN CONSENT FROM THE OWNER MUST BE SUBMITTED WITH THIS APPLICATION.**

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Street Address: 511 Carpenter Street Greenport, New York, 11944

Zoning District:  WC  R1  R2  PD  CR  CG

Is property located within the Historic District?  Yes  No



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Article: \_\_\_\_\_ Section: 150 - 12 Subsection: \_\_\_\_\_

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An interpretation of the Village Code Article: \_\_\_\_\_ Section: \_\_\_\_\_ Subsection: \_\_\_\_\_

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### **Project Description:**

#### **For Demolition of Existing Building Areas:**

Please describe area being removed:

Construction will remove the deteriorating existing back deck and exterior stairs. A portion of an exterior wall will be removed to connect primary structure with accessory structure.

#### **New Construction Areas (New Dwelling or New Addition/Extensions)**

Dimensions of First Floor (Addition/Extension): 20sqft ground floor extension to connect buildings

Dimensions of Second Floor Addition/Extension) : 175 sqft 2nd floor deck \_\_\_\_\_

Height (from finished grade to top of ridge): 38 - Feet, 0 - Inches

**Is basement or lowest floor area being constructed?**  Yes  No

*If yes, please provide height (above ground) measured from natural existing grade to first floor:*

\_\_\_\_\_ - Feet, \_\_\_\_\_ - Inches.



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## **Project Description: (CONTINUED)**

### **Proposed Construction Description: (Alteration or Structural Changes)**

Number of floors BEFORE alterations: 2.5

Describe General Characteristics BEFORE alterations:

A pre-existing non-conforming 2.5-story 5,503sq ft building and a pre-existing non-conforming 4791.6 sq ft accessory structure located in the front and side yards.

Number of floors AFTER Alterations: 2.5

Describe General Characteristics AFTER alterations:

A 2.5 story 5,523 sq ft building that incorporates existing accessory structure and constructs habitable living space including (4) bedrooms and (1) bath on the existing ground floor and creates (1) bath and (1) bedroom as on the existing the 2.5 floor.

### **Calculations of Building Areas and Lot Coverage:**

Existing Square Footage of Building(s) on this property: 2,505 GROUND SFLOOR

Proposed Increase in Building Coverage: 20 SF

Square Footage of this Lot: 4791.6 SF

Percentage of Coverage of this Lot by Building Area: 52 %

### **Purpose of New Construction:**

*Please describe:*

Renovation to convert existing non-conforming 2.5 story building and accessory structure into habitable ground floor and 2.5 floor loft space with newly built 20 sq ft ground floor extension to connect the existing accessory structure. Ground floor renovation will include (4) bedrooms and (1) bath. Renovation will also update the lofted half floor/2.5 floor to be a code compliant habitable living space and create (1) bedroom and (1) bathroom. Construction will also include installing a code-compliant sprinkler system. Construction will also install an updated HVAC system. Construction will also rebuild and reduce the size of deteriorating existing back deck and exterior stairs. Proposed rebuilt deck and stair will be 175sq ft.





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Please answer in detail. *Additional sheets may be submitted with preparers signature.*

### **Will an undesirable change occur in the characteristics of the neighborhood or will a detriment to nearby properties be created by the granting of this area variance?**

The requested area variances regarding Section 150-13 will not impact the characteristics of the neighborhood nor will it be a detriment to neighboring properties. The area variances will remedy the pre-existing non-conforming site of the accessory structure. The area variances being requested regarding Section 150-13 pertain only to the accessory structure and are as follows: (1) A 3ft height allowance (2) to permit the accessory structure to remain in the side yard (3) a 4ft allowance to the front yard setback (4) a 1ft4inch allowance to the side yard setback as it violates the 5ft setback required from any lot line

### **Can the benefit sought by the Applicant be achieved by another method, feasible for the Applicant to pursue, other than an Area Variance?**

No, there is no other way to achieve the benefit that is sought by the homeowners other than requesting area variances that recognize the pre-existing non-conforming aspects of this accessory structure.

### **Is the requested Area Variance substantial?**

The area variances requested pertaining to Section 150-13 of district regulations are as follows:

(1) Requesting a 3ft height allowance (2) granting permission for the accessory structure to remain in the side yard (3) a 4ft allowance to the front yard setback (4) a 1ft4inch allowance to the side yard setback as it violates the 5ft setback required from any lot line.

### **Will the requested Area Variance have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district?**

No, there will be no physical or environmental impact to the neighborhood or district by granting these area variances. They merely will recognize the pre-existing non-conforming site of this property.

### **Was the alleged difficulty self-created, which consideration shall be relevant to the decision of the Zoning Board of Appeals, but shall not necessarily preclude the granting of the Area Variance?**

No, the current homeowners inherited the pre-existing non-conforming aspects of this accessory structure and wish to bring this property up to village compliant standards.

**Are there Covenants or Restrictions concerning this land?** [ ] Yes [X] No

*If yes, please furnish copies.*

# AFFIDAVIT

Village of Greenport )  
Town of Southold )  
County of Suffolk ) ss  
State of New York )

I swear that to the best of my knowledge and belief that the statements contained in this application, together with the plans and specifications submitted, are true and complete statements of proposed work to be done on the described premises and that all provisions of the Building Code, Zoning Code, and all other laws pertaining to the proposed work shall be complied with, whether specified or not, and that such work and inspections are authorized by the owner. The Village of Greenport is hereby granted permission to enter the property listed as the "Location" for the purposes of inspecting my property for a site visit. I understand that if approved, this Area Variance will be granted and accepted on condition that the provisions of Federal, State and Local rules and regulations, and any additional requirements of the Area Variance are complied with. Any violation of all applicable codes, or deviations from the approved plans may result in the immediate revocation of this Area Variance & legal action taken against me. No responsibility rests upon the Village of Greenport, Code Enforcement, the Fire Marshal or the Fire Department by reason of this application and permit.

Sworn to be before this 5 day  
of February 2021

Signature



Owner or Applicant

Rebecca A Lucak

Notary Public, Suffolk County, New York

REBECCA A LUCAK  
Notary Public - State of New York  
No. 01LU6386882  
Qualified in Suffolk County  
My Commission Expires Feb. 04, 2023



# ZONING BOARD OF APPEALS APPLICATION

## USE VARIANCE

236 Third Street, Greenport, New York, 11944  
(631) 477-0248  
[www.villageofgreenport.org](http://www.villageofgreenport.org)

Date of Application \_\_\_\_\_

All information below is to be completed by the applicant. This completed application is to be accompanied by the Notice of Disapproval, Copies of Covenants and/or Restrictions, where applicable, Environmental Assessment Form, building plans showing elevations, setbacks, floor plans, room dimensions, details of footings and foundation, Survey/Site Plan and species of lumber and quality of material, where applicable.

### THE OWNER OF THE PROPERTY IS: (PLEASE PRINT CLEARLY)

Jenna and Donald Williams

First Name	Last Name	Business Name, if applicable	
[REDACTED]	[REDACTED]	[REDACTED]	[REDACTED]
Mailing Address	City/ Town/ Village	State	Zip
[REDACTED]	[REDACTED]	[REDACTED]	[REDACTED]
Phone #	E-Mail Address		
[REDACTED]	[REDACTED]		

### CONTACT PERSON (if different from owner)

*The person to receive all correspondence:*

Isaac Clay Coffey / Margot Rae Coffey

First Name	Last Name	Business Name, if applicable	
Isaac	Rae	Isaac-Rae Studio	
11575 Main Bayview Road	Southold	NY	11971
Mailing Address	City/ Town/ Village	State	Zip
646-275-2447	clay@isaac-rae.com	margot@isaac-rae.com	
Phone #	E-Mail Address		

**IF ANYONE OTHER THAN THE OWNER COMPLETES THIS APPLICATION, WRITTEN CONSENT FROM THE OWNER MUST BE SUBMITTED WITH THIS APPLICATION.**

### Location:

Suffolk County Tax Map Number: 1001 Section: 4 Block: 3 Lot 32  
Street Address: 511 Carpenter Street Greenport, New York, 11944

Zoning District:  WC  R1  R2  PD  CR  CG

Is property located within the Historic District?  Yes  No



# ZONING BOARD OF APPEALS APPLICATION

## USE VARIANCE

236 Third Street, Greenport, New York, 11944

(631) 477-0248

[www.villageofgreenport.org](http://www.villageofgreenport.org)

The Code Official reviewed and denied an application dated January 12, 2021 for a Building Permit for the location specified on this application.

**Provisions of the Zoning Code appealed:**

*(Indicate Article, Section and Subsection of Zoning Code by numbers)*

Article: \_\_\_\_\_ Section: 150 - \_\_\_\_\_ Subsection: \_\_\_\_\_

**Type of appeal made for:**

A Variance to the Zoning Code or Zoning Map.

An interpretation of the Village Code Article: \_\_\_\_\_ Section: \_\_\_\_\_ Subsection: \_\_\_\_\_

**Has a prior appeal been made at any time with respect to this property?**  Yes  No  I Don't Know

*If yes, please provide the date appeal was made:* March 31, 1983.

**Project Description:**

**For Demolition of Existing Building Areas:**

Please describe area being removed:

Construction will remove the deteriorating existing back deck and exterior stairs. A portion of an exterior wall will be removed to connect primary structure with accessory structure.

**New Construction Areas (New Dwelling or New Addition/Extensions)**

Dimensions of First Floor (Addition/Extension): 20sqft ground floor extension to connect buildings

Dimensions of Second Floor Addition/Extension) : 175 sqft 2nd floor deck

Height (from finished grade to top of ridge): 38 - Feet, 0 - Inches

**Is basement or lowest floor area being constructed?**  Yes  No

*If yes, please provide height (above ground) measured from natural existing grade to first floor:*

\_\_\_\_\_ - Feet, \_\_\_\_\_ - Inches.



# **ZONING BOARD OF APPEALS APPLICATION**

## **USE VARIANCE**

236 Third Street, Greenport, New York, 11944

(631) 477-0248

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### **Project Description: (CONTINUED)**

#### **Proposed Construction Description: (Alteration or Structural Changes)**

Number of floors BEFORE alterations: 2.5

Describe General Characteristics BEFORE alterations:

A pre-existing non-conforming 2.5-story 5,503sq ft building and a pre-existing non-conforming 4791.6 sq ft accessory structure located in the front and side yards.

Number of floors AFTER Alterations: 2.5

Describe General Characteristics AFTER alterations:

A 2.5 story 5,523 sq ft building that connects and incorporates existing accessory structure and constructs habitable living space including (4) bedrooms and (1) bath on the existing ground floor and creates (1) bath and (1) bedroom as on the existing the 2.5 floor.

#### **Calculations of Building Areas and Lot Coverage:**

Existing Square Footage of Building(s) on this property: 2,505 GROUND FLOOR SF

Proposed Increase in Building Coverage: 20 SF

Square Footage of this Lot: 4791.6 SF

Percentage of Coverage of this Lot by Building Area: 52 %

#### **Purpose of New Construction:**

*Please describe:*

Renovation to convert existing non-conforming 2.5 story building and accessory structure into habitable ground floor and 2.5 floor loft space with newly built 20 sq ft ground floor extension to connect the existing accessory structure. Ground floor renovation will include (4) bedrooms and (1) bath. Renovation will also update the lofted half floor/2.5 floor to be a code compliant habitable living space and create (1) bedroom and (1) bathroom. Construction will also include installing a code-compliant sprinkler system. Construction will also install an updated HVAC system. Construction will also rebuild and reduce the size of deteriorating existing back deck and exterior stairs. Proposed rebuilt deck and stair will be 175sq ft..



## **ZONING BOARD OF APPEALS APPLICATION**

### **USE VARIANCE**

236 Third Street, Greenport, New York, 11944

(631) 477-0248

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**An Applicant for a Use Variance must demonstrate unnecessary hardship by completing the following.**  
*Please consult with your attorney before completing.*

#### **Use Variance Reasons for Appeal:**

Please answer in detail & submit related documents as required. You may attach additional sheets as needed.

**The applicant cannot realize a reasonable return, for each permitted use under the Zoning Regulations for Zoning District  R-2 , as demonstrated by substantial and competent financial evidence because:**

(1) Regarding the Certificate of Occupancy issued on October 6 1987 that prohibits habitable space on the ground floor: The homeowners require the construction of habitable space on the ground floor for their family of seven.

(2) Regarding zoning regulations 150-8A(1) , 150-7A(1)

The homeowners purchased this home based on a factor of square footage that included the accessory structure and they seek to make this structure accepted habitable space as part of the one family dwelling by constructing a 20 sq ft connector between the 2.5 story building and the accessory structure.

**The alleged hardship relating to the property is unique and does not apply to most of the parcels in the same Zoning District or neighborhood because:**

(1) A Certificate of Occupancy that prohibits habitable space on the ground floor in an R-2 zone district is unusual and a significant disadvantage compared to neighboring residential dwellings.

(2) The existing accessory structure is in violation to town code. By connecting this structure to the single-family dwelling the homeowners aim to make it compatible with town code and they are addressing both use and area violations on this property in order to do so properly.

**The requested Use Variance, if granted, will not alter the essential character of the neighborhood because:**

The Use Variance will not alter the essential character of the neighborhood because this variance aims only to utilize the existing square footage already provided within the 2.5 story building and accessory structure with minimal construction to the exterior in order to connect the buildings.

**The alleged hardship has not been self-created because:**

The current homeowners inherited the pre-existing non-conforming aspects of this property and wish to bring this property up to village compliant standards while renovating to accommodate their family. There is no other way to achieve the benefit that is sought by the homeowners other than requesting these use variances that recognize the pre-existing non-conforming aspects of this property and help to remedy them.

**Are there Covenants or Restrictions concerning this land?** [ ] Yes [  ] No

*If yes, please furnish copies.*

# AFFIDAVIT

Village of Greenport )  
Town of Southold )  
County of Suffolk ) ss  
State of New York )

I swear that to the best of my knowledge and belief that the statements contained in this application, together with the plans and specifications submitted, are true and complete statements of proposed work to be done on the described premises and that all provisions of the Building Code, Zoning Code, and all other laws pertaining to the proposed work shall be complied with, whether specified or not, and that such work and inspections are authorized by the owner. The Village of Greenport is hereby granted permission to enter the property listed as the "Location" for the purposes of inspecting my property for a site visit. I understand that if approved, this Use Variance will be granted and accepted on condition that the provisions of Federal, State and Local rules and regulations, and any additional requirements of the Use Variance are complied with. Any violation of all applicable codes, or deviations from the approved plans may result in the immediate revocation of this Use Variance & legal action taken against me. No responsibility rests upon the Village of Greenport, Code Enforcement, the Fire Marshal or the Fire Department by reason of this application and permit.

Sworn to be before this 5 day  
of February 2021

Signature



Owner or Applicant

Rebecca A Lucak

Notary Public, Suffolk County, New York

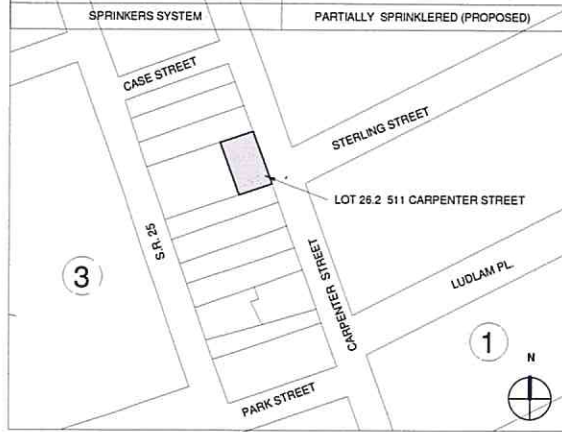
REBECCA A LUCAK  
Notary Public - State of New York  
No. 01LU6386882  
Qualified in Suffolk County  
My Commission Expires Feb. 04, 2023

# Williams Residence

511 CARPENTER STREET  
GREENPORT NY 11939  
NY 11944, SCTM#: 1001-04-03-32

### ZONING INFORMATION

COUNTY	SUFFOLK
TAX MAP NUMBER	1001-04-03-32
VILLAGE	GREENPORT
BLOCK	3
LOT	26.3
NUMBER OF FLOORS	3
LOT AREA	.11 ACRES OR 4791.6 SQFT
ALLOWABLE BUILDING COVERAGE	1,437 OR 30%
EXISTING ROOFED BUILDING COVERAGE	2,505 OR 52%
ZONING	R-2
ZONING MAP	GREENPORT VILLAGE
LANDMARK DESIGNATION	NONE
HISTORIC DISTRICT	YES
BUILDING HEIGHT	38 FT
CONSTRUCTION CLASSIFICATION	VB- CONBUSTIBLE
OCCUPANCY USE GROUP	RESIDENTIAL R-2
ACCESSORY OCCUPANCY USE GROUP	



LOCATION MAP NOT TO SCALE

### SCOPE OF WORK PROPOSED IN THIS FILING:

INTERIOR ALTERATIONS TO INCLUDE THE REMOVAL OF THE FOLLOWING:

- REMOVAL OF EXISTING NON LOAD BEARING INTERIOR WALLS
- REMOVAL OF EXISTING PLUMBING FIXTURES
- REMOVAL OF PORTION OF STORAGE LOFT FLOOR

INTERIOR ALTERATIONS TO INCLUDE THE FOLLOWING:

- NEW PROPOSED INTERIOR NON LOAD BEARING WALLS
- NEW PROPOSED PLUMBING FIXTURES AND IN EXISTING AND NEW LOCATIONS
- NEW PROPOSED ELECTRICAL FIXTURES AND LOCATIONS
- NEW PROPOSED FIXED PANED WINDOW TO REPLACE EXISTING SLIDING DOORS ON 2ND FLOOR
- CONVERSION OF EXISTING ATTIC LOFT INTO HABITABLE 3RD FLOOR
- PROPOSED EGRESS STAIR TO PROPOSED 3RD FLOOR
- PROPOSED CONCRETE TOPPING SLAB ON GROUND FLOOR
- PROPOSED LEGALIZATION OF EXISTING NON CODE COMPLIANT 2ND FLOOR EXTERIOR DECK AND STAIR TO GRADE.

### SCOPE OF WORK NOT PROPOSED IN THIS FILING:

- CHANGE IN USE, NO CHANTE IN OCCUPANCY, BUILDING CLASSIFICATIONS OR TYPE
- NO PROPOSED EXTERIOR CHANGES VISIBLE FROM STREET
- NO PROPOSED CHANGE TO EXTERIOR WALLS SIDING OR THERMAL ENVELOPE OF EXISTING BUILDING.

### ASSOCIATED FILINGS

AUTOMATIC FIRE SPRINKLER SYSTEM TO BE FILED UNDER SEPARATE FILING BY SENTRY AUTOMATIC FIRE SPRINKLERS

### FEMA NOTE

THE PROPERTY IS NOT IN THE SPECIAL FLOOD HAZARD AREA. NO CHANGES ARE BEING MADE TO THE FLOOD ELEVATIONS.

### ENERGY CODE STATEMENT OF COMPLIANCE

TO THE BEST OF MY KNOWLEDGE, BELIEVE AND PROFESSIONAL JUDGMENT THE PROPOSED BUILDING IS IN COMPLIANCE WITH NYS 2020 ENERGY CODE. RESCHECK ENERGY ANALYSIS IS ALSO PROVIDED IN THIS SUBMISSION

### GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION

- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE 2018 INTERNATIONAL BUILDING CODE AND WILL COMPLY WITH 2017 SUPPLEMENTAL REQUIREMENTS, AND THE BEST TRADE PRACTICES.
- CONTRACTOR SHALL BE HELD TO HAVE VISITED AND EXAMINED THE PROJECT SITE BEFORE SUBMITTING HIS PROPOSAL SO AS TO FULLY UNDERSTAND ALL EXISTING CONDITIONS RELATING TO THIS WORK, THE NATURE AND SCOPE THEREOF AND THE FEATURES AND DIFFICULTIES THAT WILL AFFECT ITS EXECUTION. NO ALLOWANCE SHALL BE MADE FOR ANY EXTRA AND/OR MATERIALS REQUIRED OR FOR DIFFICULTIES WHICH WOULD HAVE BEEN FORESEEN HAD THE REQUIRED INSPECTIONS BEEN MADE. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASUREMENTS FOR HIS WORK AT THE SITE. VERIFY ALL CONDITIONS AND REPORT ANY DISCREPANCY IN DIMENSIONS OR EXISTING CONDITIONS TO THE ARCHITECT.
- THE CONTRACTOR SHALL NOT COMMENCE WORK UNTIL A KICK OFF MEETING HAS BEEN HELD AT THE PROJECT SITE WITH THE OWNER AND ARCHITECT. THE PURPOSE OF THIS MEETING IS TO REVIEW THE PLANNED WORK AND TO ENSURE THAT THE WORK IS DONE IN ACCORDANCE WITH THE APPROVED PLANS.
- BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDINGS, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY GOVERNING NEW YORK CITY AGENCIES.
- THE CONTRACTOR SHALL NOT DEVIATE FROM THE APPROVED CONSTRUCTION DOCUMENTS. THE CONTRACTOR IS ADVISED THAT HIS WORK WILL BE STOPPED IF AT ANY POINT IT HAS BEEN DETERMINED THAT THE WORK HAS ALTERED WITHOUT PRIOR WRITTEN APPROVAL FROM THE ARCHITECT.
- THE CONTRACTOR SHALL PROVIDE ALL EQUIPMENT, OBTAIN PERMITS AND ERECT TEMPORARY CONSTRUCTION AS NECESSARY TO SAFEGUARD PERSONS AND PROPERTY. ALL MACHINERY, TOOLS, SERVICE LINES AND CONDUITS SHALL BE GUARDED, SHIELDED OR BARRICADED TO PROVIDE SAFETY AND TO PREVENT CONTACT WITH PUBLIC.
- THE CONTRACTOR SHALL MAINTAIN STRUCTURAL INTEGRITY OF ADJOINING WALLS, GROUNDS AND PROPERTY AND PROTECT THE SAME FROM INJURY.
- CONTRACTOR SHALL DETERMINE LOCATION, PROTECT AND SAFEGUARD ALL UTILITIES ON AND ADJACENT TO SITE.
- THE CONTRACTOR SHALL REPAIR AT HIS OWN COST ALL EXISTING MATERIAL OR EQUIPMENT DAMAGED AS A RESULT OF CONSTRUCTION FOR THIS WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE JOB SITE CLEAR OF TRASH AND DEBRIS AT ALL TIMES AND FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS FROM THE SITE PRIOR TO FINAL COMPLETION.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.
- THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF LOCAL AUTHORITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.
- THE CONTRACTOR SHALL LAY OUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES (SPRINKLER, MECHANICAL, PLUMBING, ELECTRICAL, ETC.).
- SPRINKLER, MECHANICAL, PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGN-OFFS.
- THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING, REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.
- ALL PIPING AND WIRING SHALL BE REMOVED TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CAPPED OR PLUGGED.
- THE CONTRACTOR SHALL GUARANTEE THE WORK FOR A MINIMUM OF ONE (1) YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER AGAINST ALL DEFECTS IN MATERIAL AND/OR WORKMANSHIP. THE IS GUARANTEE SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR TO THE OWNER.
- THE CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMANCE WITH THE HIGHEST DEGREE OF SKILL, QUALITY AND COMPLETENESS.
- THE CONTRACTOR, UPON COMPLETION OF THE WORK, SHALL ARRANGE FOR DEPARTMENT OF BUILDINGS INSPECTIONS AND SIGNOFFS AS REQUIRED.
- NO WORK SHALL BE DONE, EXCEPT BETWEEN THE HOURS OF 9:00 A.M. AND 5:00 P.M. MONDAY THROUGH FRIDAYS. EXCEPT AS OTHERWISE AGREED TO, NO WORK SHALL BE DONE ON SATURDAYS, SUNDAYS AND HOLIDAYS. AND NO WORK THAT CAN PRODUCE UNUSUAL NOISES THAT MIGHT BE DISTURBING TO BUILDING OCCUPANTS SHALL BE DONE BEFORE 10:00 A.M.
- THE CONTRACTOR AND ALL SUB-CONTRACTORS AGREE TO ABIDE BY ALL REGULATIONS AS OUTLINED IN THE ALTERATION AGREEMENT.
- THE USE OF POWER TOOLS SUCH AS PNEUMATIC JACKHAMMERS SHALL BE PROHIBITED.
- PROPOSED WORK SHALL NOT ALTER OR RELOCATE THE MAIN PLUMBING, HEATING AND INTERCOM LINES.

### SITE PROTECTION PLAN:

- EGRESS AT ALL TIMES IN THE COURSE OF CONSTRUCTION PROVISION SHALL BE MADE FOR ADEQUATE EGRESS AS REQUIRED BY NEW YORK STATE, SOUTHOLD TOWN AND SUFFOLK COUNTY.
- FIRE SAFETY. ALL NECESSARY LAWS AND CONTROLS, INCLUDING THOSE WITH RESPECT TO OCCUPIED DWELLINGS, AS WELL AS ADDITIONAL SAFETY MEASURES NECESSITATED BY THE CONSTRUCTION SHALL BE STRICTLY OBSERVED.
- HEALTH REQUIREMENTS. SPECIFICATION OF MEANS AND METHODS TO BE USED FOR CONTROL OF DUST, DISPOSAL OF CONSTRUCTION DEBRIS, PEST CONTROL AND MAINTENANCE OF SANITARY FACILITIES, AND LIMITATION OF NOISE TO ACCEPTABLE LEVELS SHALL BE INCLUDED.
- THERE SHALL BE INCLUDED A STATEMENT OF COMPLIANCE WITH APPLICABLE PROVISIONS OF LAW RELATING TO LEAD AND ASBESTOS, AND SUCH STATEMENT SHALL DESCRIBE WITH PARTICULARITY WHAT MEANS AND METHODS ARE BEING UNDERTAKEN TO MEET SUCH COMPLIANCE.
- COMPLIANCE WITH HOUSING STANDARDS. THE REQUIREMENTS OF THE NEW YORK CITY HOUSING MAINTENANCE CODE, AND, WHERE APPLICABLE, THE NEW YORK STATE MULTIPLE DWELLING LAW SHALL BE STRICTLY OBSERVED.
- STRUCTURAL SAFETY. NO STRUCTURAL WORK SHALL BE DONE THAT MAY ENDANGER THE SITE OR CONTRACTED WORKERS.
- NOISE RESTRICTIONS. WHERE HOURS OF THE DAY OR THE DAYS OF THE WEEK IN WHICH CONSTRUCTION WORK MAY BE UNDERTAKEN ARE LIMITED MONDAY-FRIDAY 7 AM TO 5PM EXCEPT FEDERAL HOLIDAYS.
- MAINTAINING ESSENTIAL SERVICES. WHERE HEAT, HOT WATER, COLD WATER, GAS, ELECTRICITY, OR OTHER UTILITY SERVICES ARE PROVIDED IN SUCH BUILDING OR IN ANY DWELLING UNIT LOCATED THEREIN, THE SITE AND CONSTRUCTION PROTECTION PLAN SHALL SPECIFY THE MEANS AND METHODS TO BE USED FOR MAINTAINING SUCH SERVICES DURING SUCH WORK IN ACCORDANCE WITH THE REQUIREMENTS OF SOUTHOLD TOWN & SUFFOLK COUNTY. IF A DISRUPTION OF ANY SUCH SERVICE IS ANTICIPATED DURING THE WORK, THEN SUCH PLAN SHALL SPECIFY THE ANTICIPATED DURATION OF SUCH DISRUPTION AND THE MEANS AND METHODS TO BE EMPLOYED TO MINIMIZE SUCH DISRUPTION, INCLUDING THE PROVISION OF SUFFICIENT ALTERNATIVES FOR SUCH SERVICE DURING SUCH DISRUPTION.

### ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR	CL	CLOSET	EL	ELEVATION	B.O.	BY OTHERS/OWNER	LAM.	LAMINATE	N.I.C.	NOT IN CONTRACT	R.A.	RETURN AIR	TEL.	TELEPHONE
A.P.	ACCESS PANEL	COL.	COLUMN	EMER.	EMERGENCY	GL.	GLASS	L.V.	LOW VOLTAGE	NO.	NUMBER	REV.	REVISE/REVISION	T.B.O.	TO BE DETERMINED
ACOUS.	ACOUSTICAL	CONC.	CONCRETE	EQR.	EQUAL	GR.	GRILLE	MATL.	MATERIAL	O.C.	ON CENTER	R.O.	ROUGH OPENING	TYP.	TYPICAL
ADJ.	ADJACENT	CONSTR.	CONSTRUCTION	EQUIP.	EQUIPMENT	GFL	GROUND FAULT INTER.	MAX.	MAXIMUM	OPNG	OPENING	SCHED.	SCHEDULE	U.O.M.	UNLESS OTHERWISE NOTED
A/C	AIR CONDITIONING	CONT.	CONTINUOUS	EXIST.	EXISTING	GWB	GYPSUM WALLBOARD	MECH.	MECHANICAL	OPP./OPH	OPPOSITE/OPPOSITE HAND	SECT.	SECTION	NOTED	
AL	ALUMINUM	DTL	DETAIL	EXT.	EXTERIOR	HTDR.	HANDRAIL	MTL	METAL	PTD.	PAINTED	SHT.	SHEET	V.T.F.	VERIFY IN FIELD
APPROX.	APPROXIMATE	DM.	DIMENSION	FIN.	FINISH	HWOD.	HARDWOOD	MN.	MINIMUM	PARTN.	PARTITION	SM.	SHILAR	V.J.F.	VERIFY IN FIELD
ARCH.	ARCHITECTURAL	DR.	DOOR	FIN. FL.	FINISH FLOOR	HVAC	HEATING, VENT. & A/C	MISC.	MISCELLANEOUS	PL.	PLASTER	PL	SOLID CORE	V.J.F./VCT	
BLKG.	BLOCKING	DR.	DOUBLE	FR.	FIREPROOF	H.M.	HOLLOW METAL	MLDG.	MOLDING	PLYWD.	PLYWOOD	SQ.FT.	SQUARE FOOT	VINYL	VINYL COMPOSITION TILE
CLG.	CEILING	DN.	DOWN	F.F.C.	SELF-CLOSING	HORIZ.	HORIZONTAL	MTO.	MOUNTED	POS.	POINT OF SERVICE	STD.	STANDARD	W/	WITH
CH.	CEILING HEIGHT	DWG.	DRAWING	FL.	FLOOR	IN.	INCHES	M.L.	MELTDON	QTY.	QUANTITY	STD.	STANDARD	W/O	WITHOUT
CL	CENTER LINE	EA.	EACH	FLUOR.	FLUORESCENT	INSUL.	INSULATION	N.M.	NONMETAL	RECD.	RECESSED	STL	STEEL	WD.	WOOD
C.T.	CERAMIC TILE	ELEC.	ELECTRIC/ELECTICAL	FT.	FOOT/FEET	J.B.	JUNCTION BOX	N.A.	NOT APPLICABLE	REQD.	REQUIRED	STOR.	STORAGE		

LOCATION	CEILING SOFFIT	WALLS				BASE				FLOORS	COMMENTS
		N	E	S	W	N	E	S	W		
HALL	C-2	W-2	W-2	W-2	W-2	BB-1	BB-1	BB-1	BB-1	F-2	
GUEST BATHROOM	C-2	W-3	W-2	W-2	W-2	BB-1	BB-1	BB-1	BB-1	F-2	
GUEST BATHROOM	C-2	W-3	W-2	W-2	W-2	BB-1	BB-1	BB-1	BB-1	F-2	
BEDROOM 1, 2,3,4	C-1	W-2	W-3	W-3	W-3	--	--	--	--	F-2	
MECHANICAL ROOM	C-2	W-3	W-2	W-2	W-2	BB-1	BB-1	BB-1	BB-1	F-2	
LIVING ROOM	C-1	W-2	W-2	W-2	W-2	BB-1	BB-1	BB-1	BB-1	F-2	
STAR	C-1	W-1	W-1	W-1	W-1	BB-1	BB-1	BB-1	BB-1	F-1	
BATHROOM	C-2	W-2	W-2	W-2	W-2	BB-1	BB-1	BB-1	BB-1	F-1	
CLOSET	C-1	W-1	W-1	W-1	W-1	BB-1	BB-1	BB-1	BB-1	F-1	
OFFICE	C-1	W-1	W-1	W-1	W-1	--	--	--	--	F-1	
BEDROOM	C-1	W-1	W-1	W-1	W-1	--	--	--	--	F-1	

### FINISH SCHEDULE

1 1/2" = 1'-0"

ITEM	DESCRIPTION
W-1	5/8" GYPSUM BOARD FINISH W/1 COAT BENJAMIN MOORE REGAL FIRST COAT LATEX PRIMER (216) & 2 COATS BENJAMIN MOORE ALPRA MATTE FINISH LATEX PAINT (520). COLOR: T80
W-2	5/8" MOISTURE RESISTANT GYPSUM BOARD FINISH W/1 COAT ZNSSER BULLS EYE ZERO WATER BASED PRIMER & 2 COATS ZNSSER PERMA-WHITE MOLD & MILDEW PROOF INTERIOR PAINT, COLOR: T80
W-3	1/2" DUROCK CEMENT BOARD READY TO ACCEPT TILE
W-5	
W-6	
BB-1	6" WOOD BASE FINISH W/1 COAT BENJAMIN MOORE REGAL FIRST COAT LATEX PRIMER (216) & 2 COATS BENJAMIN MOORE ALPRA MATTE FINISH LATEX PAINT (520). COLOR: WHITE DOVE #00-17
C-1	5/8" GYPSUM BOARD FINISH W/1 COAT BENJAMIN MOORE REGAL FIRST COAT LATEX PRIMER (216) & 2 COATS BENJAMIN MOORE ALPRA MATTE FINISH LATEX PAINT (520). COLOR: WHITE DOVE #00-17
C-2	5/8" MOISTURE RESISTANT GYPSUM BOARD FINISH W/1 COAT ZNSSER BULLS EYE ZERO WATER BASED PRIMER & 2 COATS ZNSSER PERMA-WHITE MOLD & MILDEW PROOF INTERIOR PAINT, COLOR: WHITE DOVE #00-17
F-1	3/4" X 1/2" T&G RPT SAWN WHITE OAK W/WHITE OIL FINISH. STAGGERED JOINTS W/ RANDOM LENGTHS MIN. LENGTH TO BE 5 FT
F-2	SELF LEVELING CONCRETE TOPPING SLAB OVER EXISTING CONCRETE FLOORING.
S-1	MATTE BLACK W/BLACK OXIDE FINISH STEEL STRINGERS WOOD TREADS

Generated by REScheck-Web Software  
**Compliance Certificate**

Project: 511 Carpenter Street  
Location: Greenport, New York  
Construction Type: Single-Family  
Project Type: Alteration  
Climate Zone: 4 (5572 HDD)  
Permit Date: PENDING  
Permit Number: PENDING

Construction Site: 511 CARPENTER STREET GREENPORT, NY 11944  
Owner/Agent: Donald Williams 511 Carpenter St Greenport, NY 11944  
Designer/Contractor: Isaac Coffey Isaac-Rae 11575 Main Bayview Road Southold, NY 11971 clay@isaac-rae.com

Compliance: Passes using prescriptive requirements for alteration projects

### Envelope Assemblies

Assembly	Gross Area of Perimeter	Cavity R-Value	Cont. R-Value	U-Factor	UA
Existing Wood Frame Ceiling. Other Exemption: Framing cavity not exposed.					
West Wall: Wood Frame, 16" o.c. Exemption: Framing cavity not exposed.					
Window 5: Wood Frame SHGC: 0.60 Exemption: Window film on single-pane existing glazing exemption.					
Window 6: Wood Frame SHGC: 0.60 Exemption: Window film on single-pane existing glazing exemption.					
Window 13: Wood Frame SHGC: 0.39	32			0.230	7
Window 14: Wood Frame SHGC: 0.60 Exemption: Window film on single-pane existing glazing exemption.					
Window 15: Wood Frame SHGC: 0.60 Exemption: Window film on single-pane existing glazing exemption.					
South Wall: Wood Frame, 16" o.c. Exemption: Framing cavity not exposed.					
Window 2: Wood Frame SHGC: 0.23 Exemption: Window film on single-pane existing glazing exemption.					
Window 3: Wood Frame SHGC: 0.60 Exemption: Window film on single-pane existing glazing exemption.					

Project Title: 511 Carpenter Street  
Data filename: Report date: 12/23/20  
Page 1 of 11

SHEET #	SHEET NAME	ISSUE DATE
T-001.00	TITLE SHEET	12/24/2020
T-002.00	GENERAL NOTES	12/24/2020
A-100.00	SITE PLAN	12/24/2020
A-101.00	REMOVAL PLAN	12/24/2020
A-102.00	REMOVAL PLAN	12/24/2020
A-103.00	REMOVAL PLAN	12/24/2020
A-104.00	GROUND FLOOR PLAN	12/24/2020
A-105.00	2ND FLOOR	12/24/2020
A-106.00	3RD FLOOR	12/24/2020
A-107.00	RCP AND ELECTRICAL PLANS	12/24/2020
A-108.00	RCP AND ELECTRICAL PLANS	12/24/2020
A-300.00	BUILDING SECTION	12/24/2020
P-100.00	PLUMBING RISER DIAGRAM	12/24/2020

### NOTES

### DRAWING ISSUE

NO.	DATE	ISSUED FOR
1	12/24/2020	Greenport Village Review
2	2/05/2021	Greenport ZSA Submittal
3		
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Consultants:  
SPINKLER ENGINEER  
SENTRY AUTOMATIC FIRE PROTECTION INC.  
735 Flanders road  
Flanders, New York 11901

Architect of Record:  
**ISAAC - RAE**  
11575 Main Bayview Road  
Southold, NY 11971  
Contact: Isaac Clay Coffey  
NYS LIC#039767  
T. 347-276-6093 E. clay@isaac-rae.com

Project:  
**511 CARPENTER ST.**  
GREENPORT NY 11944

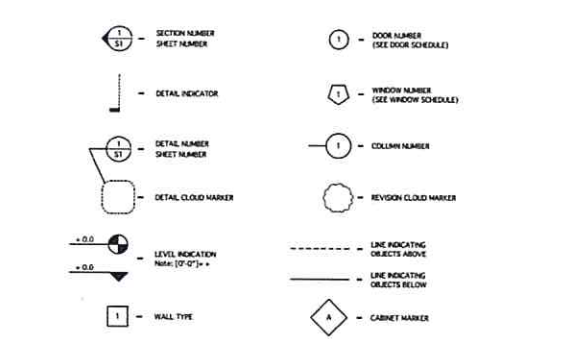
Project No.:  
IR-02



Date: \_\_\_\_\_ Scale: AS NOTED  
Drawing Title:  
TITLE SHEET

Drawing No.:

# T-001.00



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Project:

511 CARPENTER ST.  
GREENPORT NY 11944

Project No.:

IR-02

Scale:

AS NOTED

Seal/Signature:



Date:

AS NOTED

Drawing Title:

GENERAL NOTES

Drawing No.:

T-002.00

GENERAL NOTES :

CONSTRUCTION NOTES:

1. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL WORK AND CONSTRUCTION MEET THE REQUIREMENTS OF THE 2018 INTERNATIONAL RESIDENTIAL BUILDING CODE AND NEW YORK DEPARTMENT OF STATE 2017 UNIFORM CODE SUPPLEMENT.
2. DIMENSIONS SHALL TAKE PRECEDENT OVER SCALED DRAWINGS (DO NOT SCALE DRAWINGS).
3. REFER TO THE WINDOW AND DOOR SCHEDULE FOR EXTERIOR OPENINGS.
4. REFER TO CIVIL ENGINEERING DRAWINGS FOR GRADING PLANS
5. REFER ARCHITECTURAL DRAWINGS FOR BUILDING ELEVATIONS INCLUDING SLAB AND FINISH FLOOR ELEVATIONS
6. 130 MPH WIND LOAD REQUIREMENTS SHALL BE TAKEN INTO ACCOUNT DURING CONSTRUCTION.

FOUNDATION NOTES:

1. THE GENERAL CONTRACTOR AND MASON TO REVIEW PLANS, ELEVATIONS, DETAILS AND NOTES TO DETERMINE INTENDED HEIGHTS OF FINISHED FLOORS ABOVE GRADE.
2. GENERAL CONTRACTOR TO RETAIN SURVEYOR TO SET OR VERIFY DATUMS AND FINISHED FLOOR ELEVATIONS
3. DRAINAGE AS REQUIRED BY HALL MEET THE REQUIREMENTS OF THE 2015 INTERNATIONAL RESIDENTIAL BUILDING CODE AND NEW YORK DEPARTMENT OF STATE 2017 UNIFORM CODE SUPPLEMENT.
4. ALL FOOTINGS MUST REST ON APPROPRIATE BEARING MATERIAL SEE STRUCTURAL ENGINEERS DRAWINGS FOR ADDITIONAL DETAILS
5. ANY NEW CONCRETE WALLS BEING ATTACHED TO EXISTING CONCRETE STRUCTURE TO BE INSTALLED WITH #5 RE-BAR, MIN 18" LONG AT 12" O.C. MIN EMBED TO BE 9" USE APPROVED EPOXY FOR ANCHORING UNLESS OTHERWISE NOTED. ALL SLABS ON GRADE TO BE 4000 P.S.I. CONCRETE TO BE POURED AT MIN 4" THICK SAND OR GRAVEL FILL WITH 6X6 WIRE MESH REINFORCING. SLAB THICKNESS TO BE MIN 5" THICK.
7. ALL FILL TO BE COMPACTED TO 95% RELATIVE DENSITY AT 6" MAX LIFTS CRAWL SPACES TO BE PROVIDED WITH MIN. 24"X24" ACCESS OPENING.
9. UNCONDITIONED CRAWL SPACES TO HAVE 8X16" CAST IRON FOUNDATION VENTS FOR EVERY 150 SQFT OF AREA
10. DAMPPROOF EXTERIOR OF FOUNDATION WITH BITUMINOUS COATING AS REQUIRED BY 2015 INTERNATIONAL BUILDING CODE AND NEW YORK DEPARTMENT OF STATE 2017 SUPPLEMENTAL CODE. A 6 MIL POLYETHYLENE FILM SHALL BE APPLIED TO THE BELOW GRADE PORTION OF EXTERIOR WALLS PRIOR TO BACKFILLING

FRAMING NOTES

1. ALL FRAMING TECHNIQUES SHALL MEET THE REQUIREMENTS OF THE 2015 INTERNATIONAL BUILDING CODE AND NEW YORK DEPARTMENT OF STATE 2017 UNIFORM CODE SUPPLEMENT.
2. STRUCTURAL LUMBER SHALL BE GREEN DOUGLAS FIR LARCH NO. 2, OR BETTER, UNLESS OTHERWISE NOTED ON THE PLANS
3. INTERIOR METAL FRAMING SHALL BE 18 GAUGE OR BETTER UNLESS OTHERWISE NOTED ON THE PLANS
4. FLOORS, WALLS, CEILINGS AND RAFTERS TO BE SPACED AT 16 INCHES O.C. UNLESS NOTED
5. UNLESS OTHERWISE NOTED, ALL BEARING WALL HEADERS TO BE (2) 2X10 #2 + BTR. DOUG. FIR BEARING WALL HEADERS TO HAVE (2) JACK STUDS AND (2) FULL LENGTH STUDS ON EACH SIDE OF ALL OPENINGS. LVL HEADERS TO HAVE (3) JACK STUDS AND (2) FULL LENGTH STUDS ON EACH SIDE OF OPENINGS. BEARING WALL WINDOW SILLS SHALL ALSO HAVE (2) WINDOW SILL PLATES FOR 2X4 WALL OPENINGS BETWEEN 4"1 AND 6"0 AND 2X6 WALL OPENINGS BETWEEN 5"11 AND 8"9. PROVIDE FIRE AND BLOCKING WHERE APPLICABLE.
6. ALL FLUSH BEAMS/HEADERS TO BE INSTALLED WITH HEAVY DUTY GALVANIZED HANGERS AND ANCHORS WHERE APPLICABLE TO ALL CONNECTING JOISTS.
7. DOUBLE UP FLOOR JOISTS UNDER WALLS THAT RUN PARALLEL TO THE FLOOR JOIST AND UNDER BATHTUBS. FLOORS TO HAVE CERAMIC TILE INSTALLED SHALL BE VERIFIED FOR PROPER LOAD CAPACITY UNLESS NOTED ON PLANS.
8. PROVIDE 2 - 1-3/4" THICK MICROLAMS (HEIGHT TO MATCH FLOOR JOISTS) AROUND STAIRWELL AND/OR OTHER ACCESS OPENINGS UNLESS OTHERWISE NOTED (TYPICAL).
9. PROVIDE BLOCKING/BRIDGING IN FLOOR JOISTS AT 8'0 O.C.. USE SOLID BLOCKING IN FLOOR JOISTS UNDER ALL BEARING WALLS.
10. PROVIDE INSULATION BAFFLES AT EAVE VENTS BETWEEN RAFTERS. INSTALL DRAFT BLOCKING AS NEEDED.
11. UNLESS OTHERWISE NOTED, ALL ROOFS AND WALLS TO HAVE A MINIMUM 1/2" THICK, 4-PLY FIR CDX EXTERIOR SHEATHING GRADE PLYWOOD, PLYWOOD TO COVER OVER PLATES AND HEADERS.
12. UNLESS OTHERWISE NOTED USE 3/4" THICK T&G PTS FIR OR ADVANTECH PLYWOOD SUBFLOOR ADHERED WITH PL400 ADHESIVE AND SCREWED TO FLOOR JOISTS. FINISHED FLOOR TO BE INSTALLED OVER SUBFLOOR AS PER MANUFACTURER'S INSTRUCTIONS.
13. ALL BATHROOM WALLS TO HAVE 5/8" THICK MOISTURE-RESISTANT SHEETROCK.
14. 1 HR FIRE RATED ASSEMBLYS TO HAVE ONE LAYER OF 5/8" TYPE X SHEET ROCK AND TO MEET ANSUIUL 263 AND UL DESIGN NO. U419
15. 2 HR FIRE RATED ASSEMBLYS TO HAVE TWO LAYERS OF 5/8" TYPE X SHEET ROCK AND TO MEET ANSUIUL 263 AND UL DESIGN NO. U419
16. ALL ROOFS AND SHEATHING TO BE INSTALLED WITH ICE AND WATER SHIELD, HENRY BLUE SKIN OR APPROVED EQUAL.
17. ALL FLAT ROOFS TO BE APPLIED WITH AN EPDM 6MILL MATERIALS
18. ALL SILL PLATES AND WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED. SILL PLATES TO BE INSTALLED WITH FOAM SILL GASKETS AND COP-R-TEX TERMITE SHIELD OR APPROVED EQUAL.

FIREBLOCKING NOTES

AS REQUIRED BY CURRENT 2018 IBC/2017 SUPPLEMENT - FIREBLOCKING REQUIRED. FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE.

FIREBLOCKING SHALL BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:

1. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS. CONCEALED HORIZONTAL FURRED SPACES SHALL ALSO BE FIREBLOCKED AT INTERVALS NOT EXCEEDING 10 FEET. BATTS OR BLANKETS OF MINERAL OR GLASS FIBER SHALL BE ALLOWED AS FIREBLOCKING IN WALLS CONSTRUCTED USING PARALLEL ROWS OF STUDS OR STAGGERED STUDS.
2. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT JOISTS, DROP CEILINGS AND COVE CEILINGS.
3. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH CURRENT N.Y.S. RESIDENTIAL CODE.
4. AT OPENINGS AROUND VENTS, PIPES AND DUCTS AT CEILING AND FLOOR LEVEL, TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION.
5. RECOMMENDED FIRE BLOCKING PRODUCTS BOSS 814 OR APPROVED EQUAL TO MEET ASTM E-814 (UL 1479)
6. PROVIDE 5/8" TYPE-X SHEETROCK FIRE STOPPING AT 10"0 MAXIMUM DISTANCES FOR NON ACCESSIBLE AREAS.

INSULATION

1. INSULATION TO MEET OR EXCEED NYS ECCC 2020 ENERGY CODE 2018 IBC AND 2017 SUPPLEMENTAL CODE
2. INSULATION TO FOLLOW SPECIFICATIONS AS OUTLINED IN RESCHECK
3. VAULTED CEILINGS INSULATED TO R45 OR GREATER
4. ABOVE GRADE WALLS TO BE INSULATED TO R-32 OR GREATER
5. FOUNDATION WALLS TO BE INSULATED TO R-10 OR GREATER
6. FRAMED FLOORS TO BE INSULATED TO R-32 OR GREATER
7. SLABS ON GRADE TO BE INSULATED TO R-10 UNDER SLAB.

REQUIRED INSULATION AS FOLLOWS

- CEILINGS : 4" SPRAYED CLOSED CELL CONTINUOUS INSULATION R6.5 per inch. WITH ROCKWOOL R23 5-1/2" for total of R49
- WALLS: 3" SPRAED CLOSED CELL CONTINUOUS INSULATION R6.5 PER INCH. WITH ROCKWOOL R15 3-1/2" FOR TOTAL OF R34.5
- FLOORS: 3" SPRAYED CLOSED CELL CONTINUOUS INSULATION R6.5 PER INCH. WITH ROCKWOOL R15 3-1/2" FOR TOTAL OF R34.5
- SLABS 3" EXPANED POLYSTYRENE INSULATION FOR R12

PLUMBING NOTES

1. All water supply, drainage and venting to be installed as per IBC 2015/2017 SUPPLEMENT, and shall meet Suffolk County Health Department requirements as stated on septic permit
2. Verify septic system with the Engineer for Suffolk County Health Department approval.
3. If wall studs, plates or joists are cut out during installation for any plumbing related work, provide adequate bracing and plates to protect and secure the structure. Verify with the state code and manufacturer's recommendation for maximum hole size and spacing permitted

HVAC SYSTEM NOTES

- 1). Mechanical subcontractor is responsible for adhering to all applicable codes and safety requirements
- 2). HVAC subcontractor is to fully coordinate all system data and requirements with the equipment supplier.
- 3). HVAC subcontractor to provide final system layout drawing / shop drawings and submit it to the General Contractor and owner for final review and approval.

ELECTRICAL NOTES:

- 1). All electrical to be installed as per IBC 2018/2017 SUPPLEMENT
- 2). All electrical work shall be approved by a qualified Underwriter.
- 3). Install Smoke detectors and Carbon Monoxide detectors throughout as required by current N.Y.S. Residential Construction Code.

THESE NOTES ARE ONLY TO BE REFERRED TO IF MENTIONED IN SCHEDULE NOTES ONLY.

NAILING SCHEDULE

DESIGN CRITERIA 2015 INTERNATIONAL BUILDING CODE /2017 SUPPLEMENT

JOINT DESCRIPTION	NAIL QTY.	NAIL SPACING	NOTES
RAFTER TO TOP PLATE	8" WALL: 3-8d 10" WALL: 4-8d	EACH RAFTER	TOE-NAIL
CEILING JOIST TO TOP PLATE	8" WALL: 3-8d 10" WALL: 4-8d	EACH JOIST	TOE-NAIL
CEILING JOIST TO PARALLEL RAFTER	AS PER TABLE 3.7 WFCM -	EACH LAP	FACE NAIL
CEILING JOIST LAPS OVER PARTITION	AS PER TABLE 3.7 WFCM -	EACH LAP	FACE NAIL
COLLAR TIE TO RAFTER	AS PER TABLE 3.4 WFCM -	EACH END	FACE NAIL
BLOCKING TO RAFTER	2 - 8d	EACH END	TOE NAIL
RIM TO RAFTER	2 - 16d	EACH END	END NAIL

JOINT DESCRIPTION	NAIL QTY.	NAIL SPACING	NOTES
TOP PLATE TO TOP PLATE	2 - 16d	PER FOO	FACE NAIL SEE NOTE: 1
TOP PLATES AT INTERSECTIONS	4 - 16d	JOINTS EA. SIDE	FACE NAIL
STUD TO STUD	2 - 16d	24" O.C.	FACE NAIL
HEADER HEADER	16d	16" O.C. ALONG	FACE NAIL
TOP OR PLATE TO STUD	2 - 16d 3 - 16d	PER 2x4 PER 2x6	END NAIL
BOTTOM PLATE FLOOR JOIST, BAND END JOIST OR	2 - 16d	PER FOO	FACE NAIL SEE NOTE: 1,2

JOINT DESCRIPTION	NAIL QTY.	NAIL SPACING	NOTES
JOIST TO: SILL, TOP PLATE OR GIRDER	4 - 8d	PER JOIST	TOE NAIL
BRIDGING TO JOIST	2 - 8d	EACH END	TOE NAIL
BLOCKING TO JOIST	2 - 8d	EACH END	TOE NAIL
BLOCKING SILL OR TOP PLATE	3 - 16d	EACH BLOCK	TOE NAIL
LEDGER STRIP TO	3 - 16d	EACH JOIST	FACE NAIL
JOIST ON TO	3 - 8d	PER JOIST	TOE NAIL
BAND JOIST TO JOIST	3 - 16d	PER JOIST	END NAIL
BAND JOIST TO: SILL OR TOP PLATE	2 - 16d	PER FOO	TOE NAIL SEE NOTE: 1

JOINT DESCRIPTION	NAIL QTY.	NAIL SPACING
STRUCTURAL	8d	AS PER TABLE 3.8 WFCM -

JOINT DESCRIPTION	NAIL QTY.	NAIL SPACING
GYPSU WALLBOAR	5d	7" O.C. 10" O.C. FIELD

JOINT DESCRIPTION	NAIL QTY.	NAIL SPACING
STRUCTURAL PANELS	8d	AS PER TABLE 3.9 WFCM -
7/16" OSB PLYWOOD	6d	3" O.C. 6" O.C. FIELD
GYPSU WALLBOAR	5d	7" O.C. 10" O.C. FIELD

JOINT DESCRIPTION	NAIL QTY.	NAIL SPACING
STRUCTURAL 1" OR LESS	8d	6" O.C. 12" O.C. FIELD

1). Nailing requirements are based on wall sheathing nailed 6" on-center at the panel edge. If wall sheathing is nailed 3" on-center at the panel edge to obtain higher shear capacities, nailing requirements for structural members shall be doubled, or alternate connectors, such as shear plates, shall be used to maintain load path.

2). When wall sheathing is continuous over connected members, the tabulated number of nails shall be permitted to be reduced to 1 - 16d nail per foot

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2/5/2021 12:50:34 PM

**SITE PLAN INFORMATION**

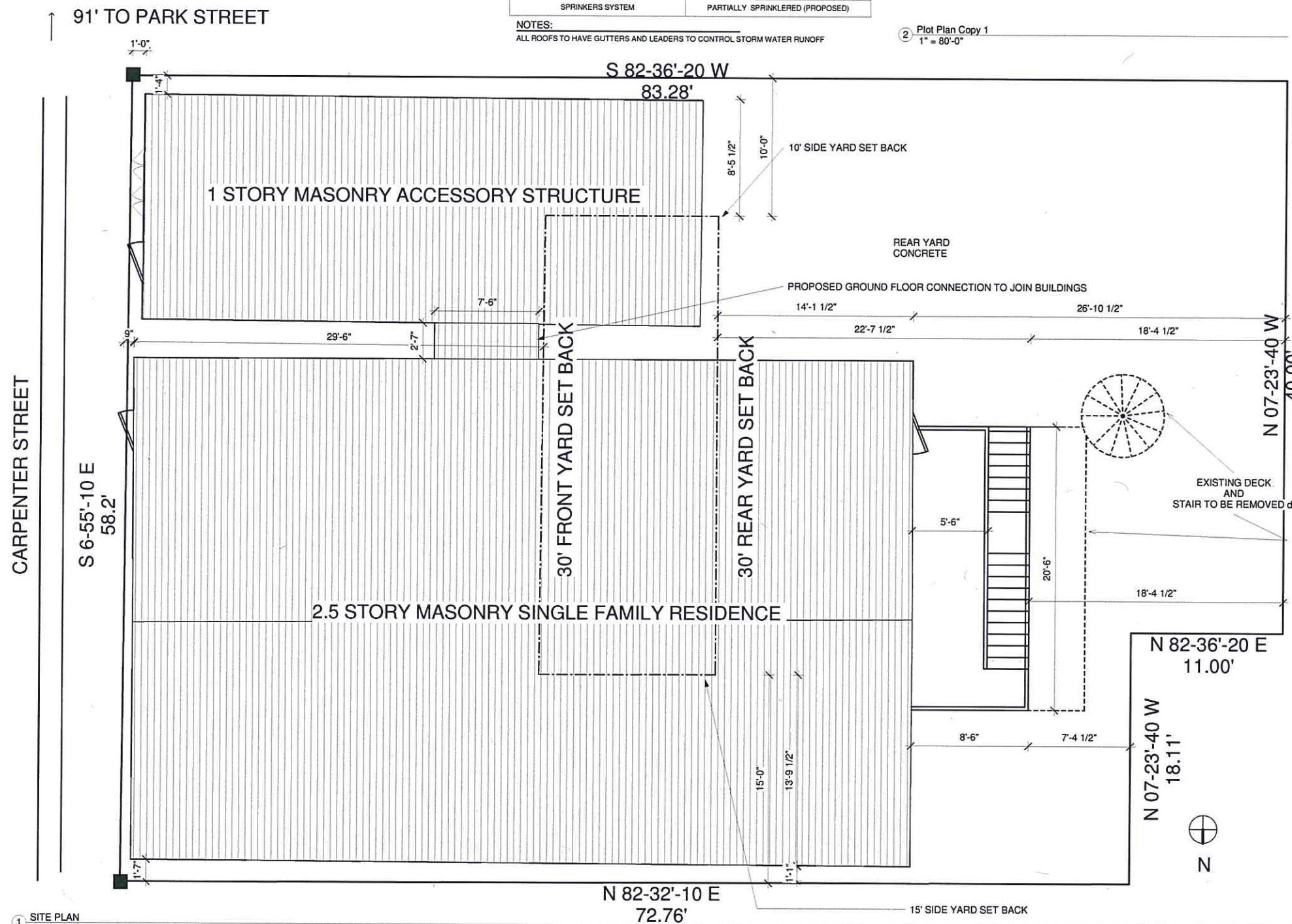
COUNTY	SUFFOLK
TAX MAP NUMBER	1001-04-03-32
VILLAGE	GREENPORT
BLOCK	3
LOT	26.3
NUMBER OF FLOORS	3
LOT AREA	.11 ACRES OR 4791.6 SQFT
ALLOWABLE BUILDING COVERAGE	1,437 OR 30%
EXISTING ROOFED BUILDING COVERAGE	2,505 OR 52%
ZONING	R-2
ZONING MAP	GREENPORT VILLAGE
LANDMARK DESIGNATION	NONE
HISTORIC DISTRICT	YES
BUILDING HEIGHT	38 FT
CONSTRUCTION CLASSIFICATION	VB- CONBUSTIBLE
OCCUPANCY USE GROUP	RESIDENTIAL R-2
ACCESSORY OCCUPANCY USE GROUP	-
SPRINKLERS SYSTEM	PARTIALLY SPRINKLERED (PROPOSED)

**NOTES:**

ALL ROOFS TO HAVE GUTTERS AND LEADERS TO CONTROL STORM WATER RUNOFF



2 Plot Plan Copy 1  
1" = 80'-0"



1 SITE PLAN  
1/4" = 1'-0"

**NOTES**

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**Consultants:**

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Flanders, New York 11901

**Architect of Record:**

**ISAAC - RAE**

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Contact: Isaac Clay Coffey  
NYS LIC#039767

T. 347-276-6093 E. clay@isaac-rae.com

**Project:**

**511 CARPENTER ST.**  
GREENPORT NY 11944

**Project No.:**

IR-02

**Seal/Signature:**



**Date:**

AS NOTED

**Drawing Title:**

SITE PLAN

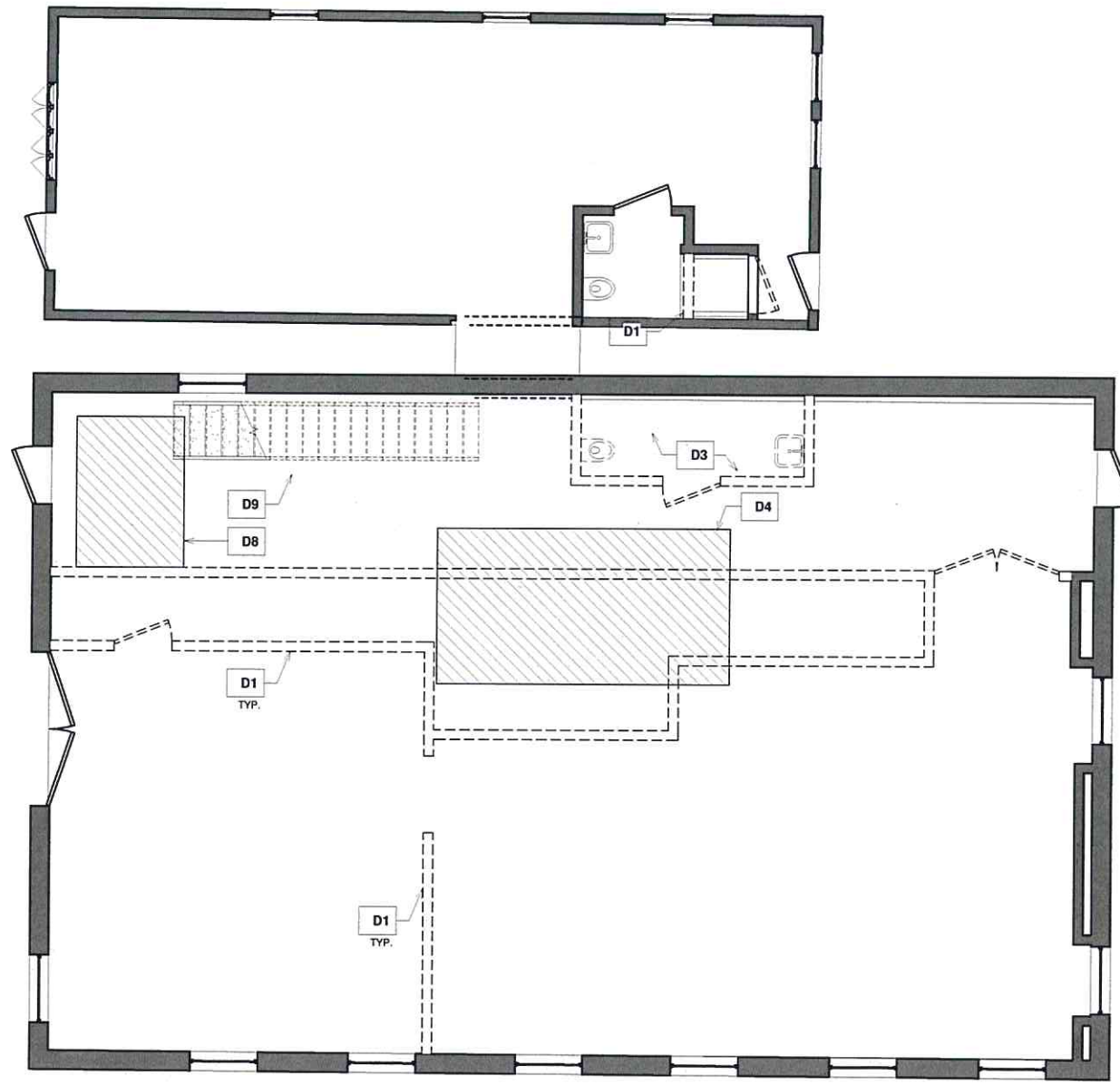
**Drawing No.:**

**A-100.00**

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CARPENTER STREET



**WALL TYPE LEGEND**

- Demolition / Removals
- Existing Construction

1 GROUND FLOOR DEMOLITION PLAN  
1/4" = 1'-0"

**DEMOLITION NOTES**

- D1. Remove existing non load bearing interior walls
- D2. Existing stair to 2nd floor to be retained
- D3. Remove existing powder room. Plumbing fixtures to be relocated
- D4. Remove existing flooring in this area to prepare for proposed bathroom.
- D5. Remove existing non complaint deck, stair and other associated structure
- D6. Remove existing doors and replace with fixed Marvin picture window
- D7. Demo existing handrail to be replaced with proposed code compliant handrail in proposed plan
- D8. Remove ceiling in this location for fire proposed fire sprinkler system
- D9. Existing stair to remain protected during construction.

**NOTES**

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IR-02

**Seal/ Signature:**



**Date:**

AS NOTED

**Drawing Title:**

REMOVAL PLAN

**Drawing No.:**

**A-101.00**

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2/5/2021 12:50:34 PM

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DEMOLITION NOTES

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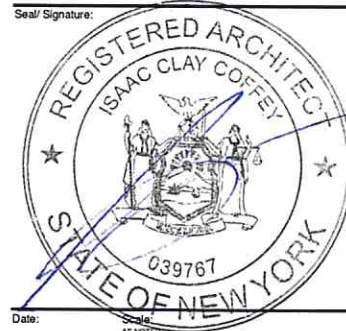
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Date:

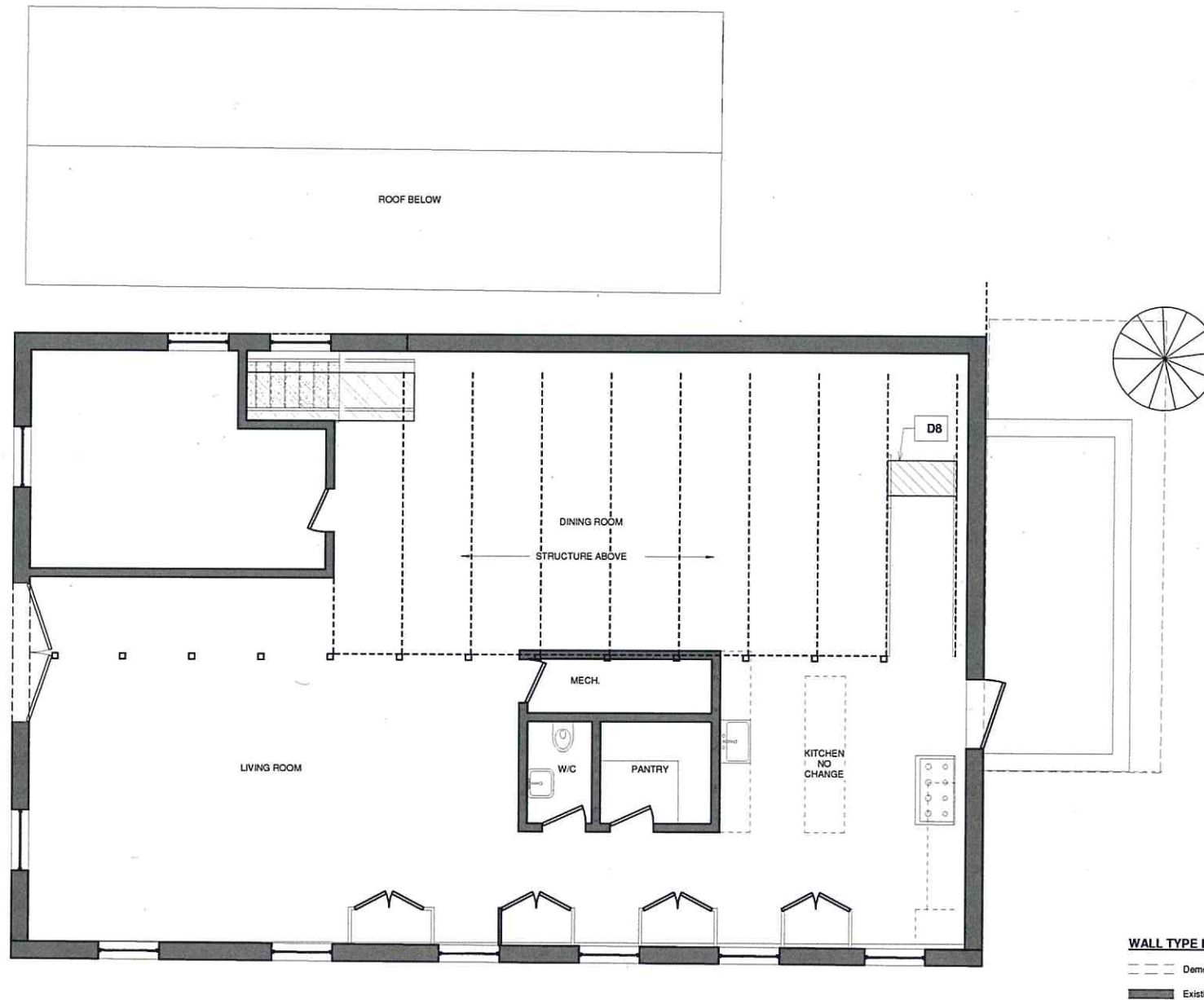
AS NOTED

Drawing Title:

REMOVAL PLAN

Drawing No.:

**A-102.00**



1 2ND FLOOR DEMOLITION PLAN  
1/4" = 1'-0"

NOTES

DEMOLITION NOTES

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- D4. Remove existing flooring in this area to prepare for proposed bathroom.
- D5. Remove existing non complaint deck, stair and other associated structure
- D6. Remove existing doors and replace with fixed Marvin picture window
- D7. Demo existing handrail to be replaced with proposed code compliant handrail in proposed plan
- D8. Remove ceiling in this location for fire proposed fire sprinkler system
- D9. Existing stair to remain protected during construction.

DRAWING ISSUE

NO.	DATE	ISSUED FOR
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DRAWING REVISIONS

NO.	DATE	REVISION
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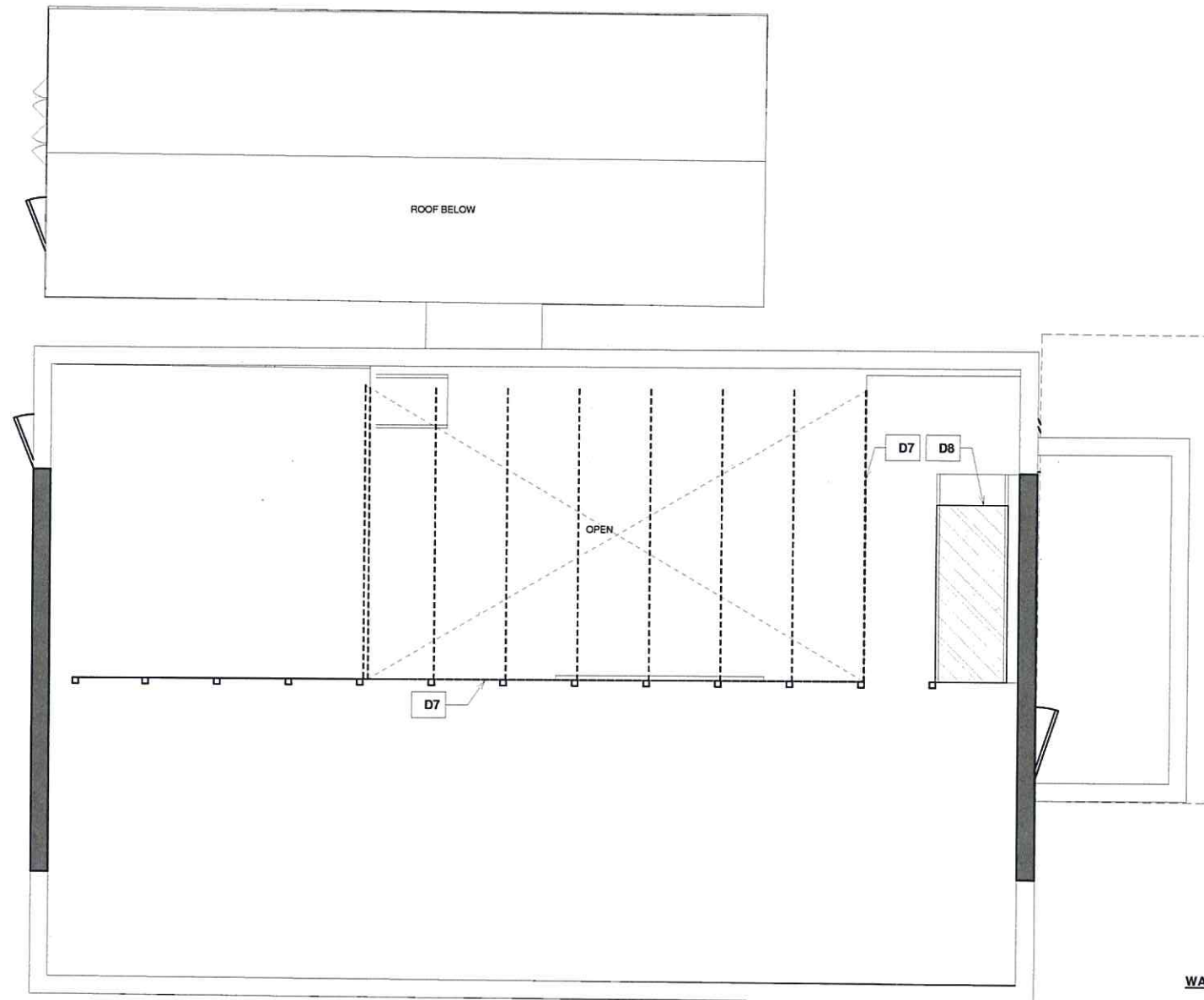
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Architect:

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WALL TYPE LEGEND

- - - Demolition / Removals
- Existing Construction

① 3RD FLOOR DEMOLITION PLAN  
1/4" = 1'-0"

Project:

**511 CARPENTER ST.**  
GREENPORT NY 11944

Project No.:  
IR-02

Seal/Signature



Date:  
12/24/2020

Scale:  
AS NOTED

Drawing Title:  
REMOVAL PLAN

Drawing No.:

**A-103.00**

Author

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**NOTES**

**DRAWING ISSUE**

NO.	DATE	ISSUED FOR
1	02/05/2021	TOWN ZSA REVIEW
2		
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CONSTRUCTION NOTES	
KEY	NOTE
C-01	PROPOSED INTERIOR WALL
C-02	PROPOSED PLUMBING FIXTURES
C-03	PROPOSED INTERIOR DOORS
C-04	EXISTING EGRESS DOOR TO REMAIN
C-05	PROPOSED CONCRETE TOPPING THROUGHOUT
C-06	DOOR HARDWARE TO BE COORDINATED WITH CLIENT
C-07	EGRESS PATH TO BE PROTECTED VIA AUTOMATIC FIRE SPRINKLERS FIRE SPRINKLERS TO BE FILED IN SEPARATE FILING
NYS ECC 2018.404.1: 90% OR MORE OF PERMANENT FIXTURES TO HAVE TO HIGH EFFICACY LAMPS.	

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meganwalkerl@gmail.com

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T. 347-276-6093 E. clay@isaac-rae.com

**Project:**

**511 CARPENTER ST.**  
GREENPORT NY 11944

**Project No.:**

IR-02

**Seal/ Signature:**

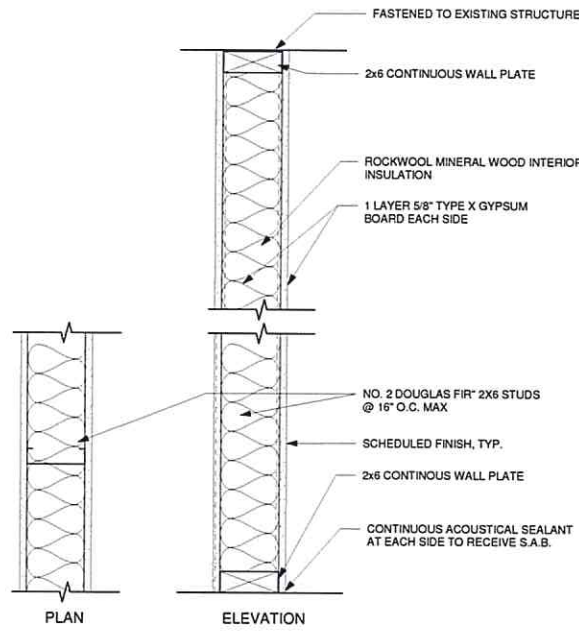


Date: 6/14/2018 Scale: AS NOTED

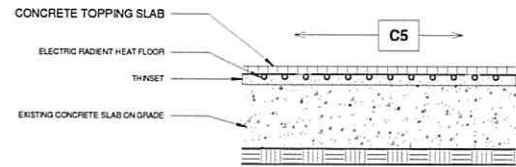
Drawing Title:  
GROUND FLOOR PLAN

Drawing No.:

**A-104.00**



3 TYP. INTERIOR WALL DETAIL  
1 1/2" = 1'-0"

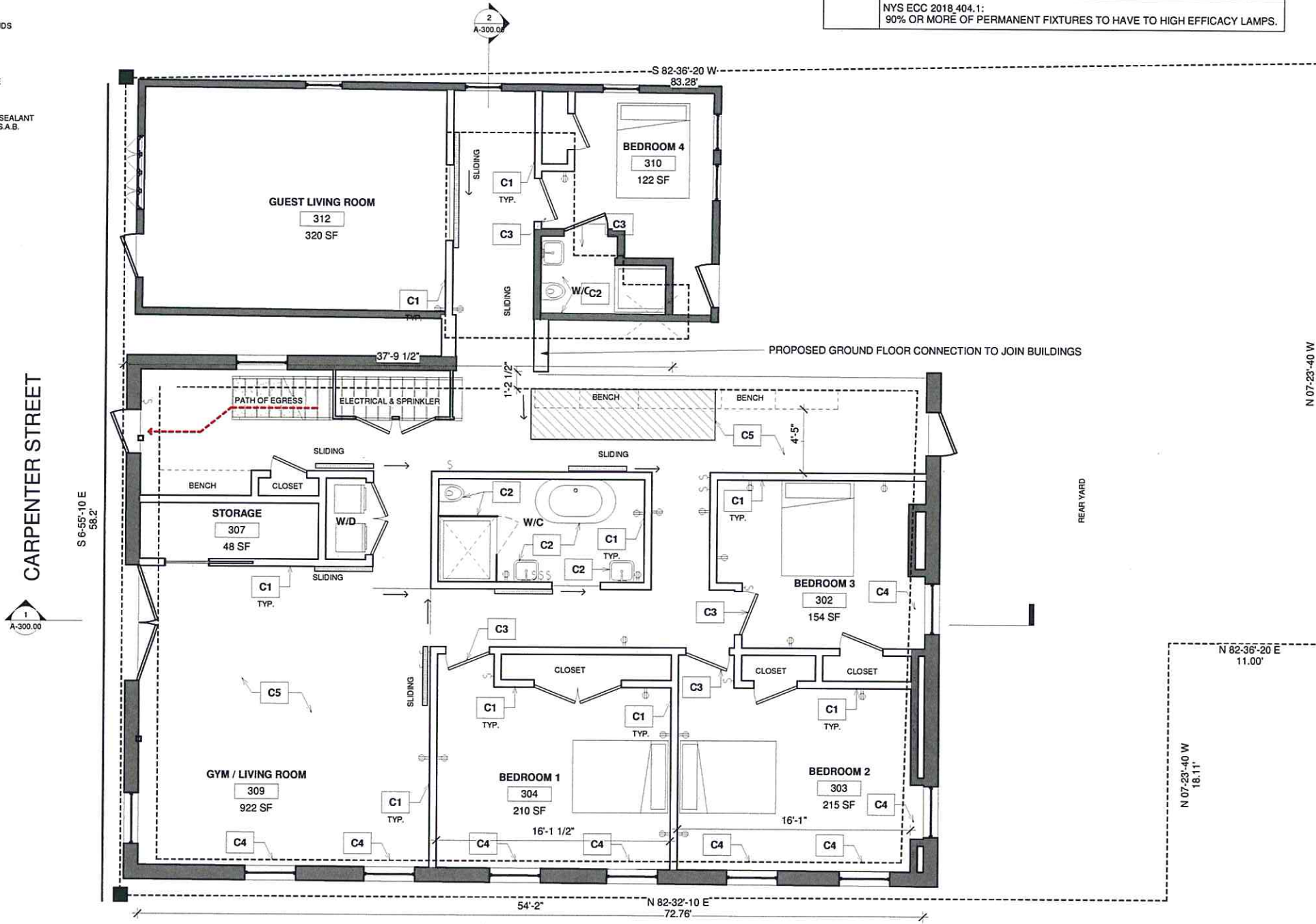


2 TYP. FLOOR DETAIL  
1 1/2" = 1'-0"

**PLAN LEGEND**

- EXISTING CONSTRUCTION
- NEW CONSTRUCTION
- EXTENTS OF WORK
- PATH OF EGRESS TRAVEL

1 GROUND FLOOR PLAN PROPOSED  
1/4" = 1'-0"

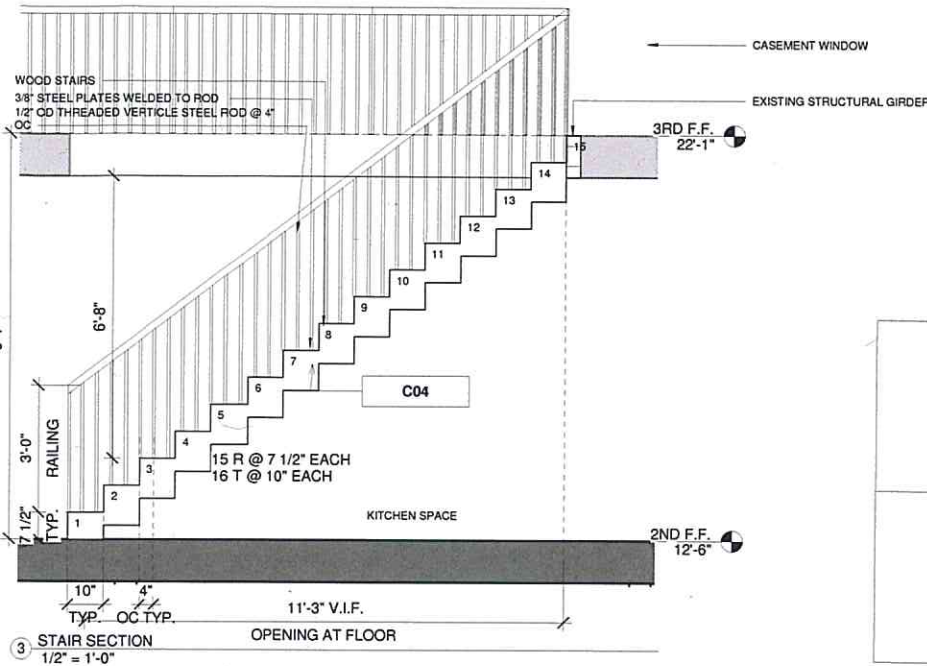


CARPENTER STREET

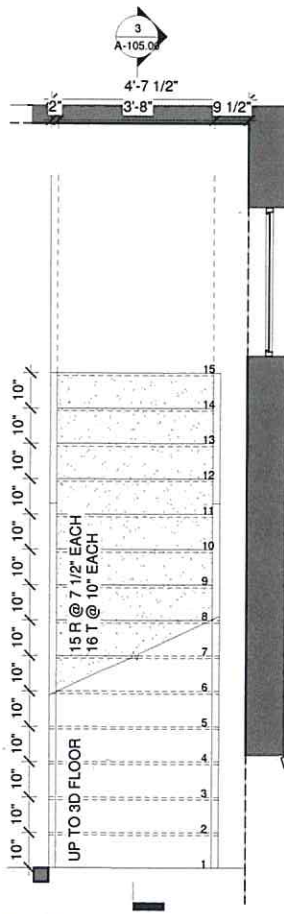
REAR YARD

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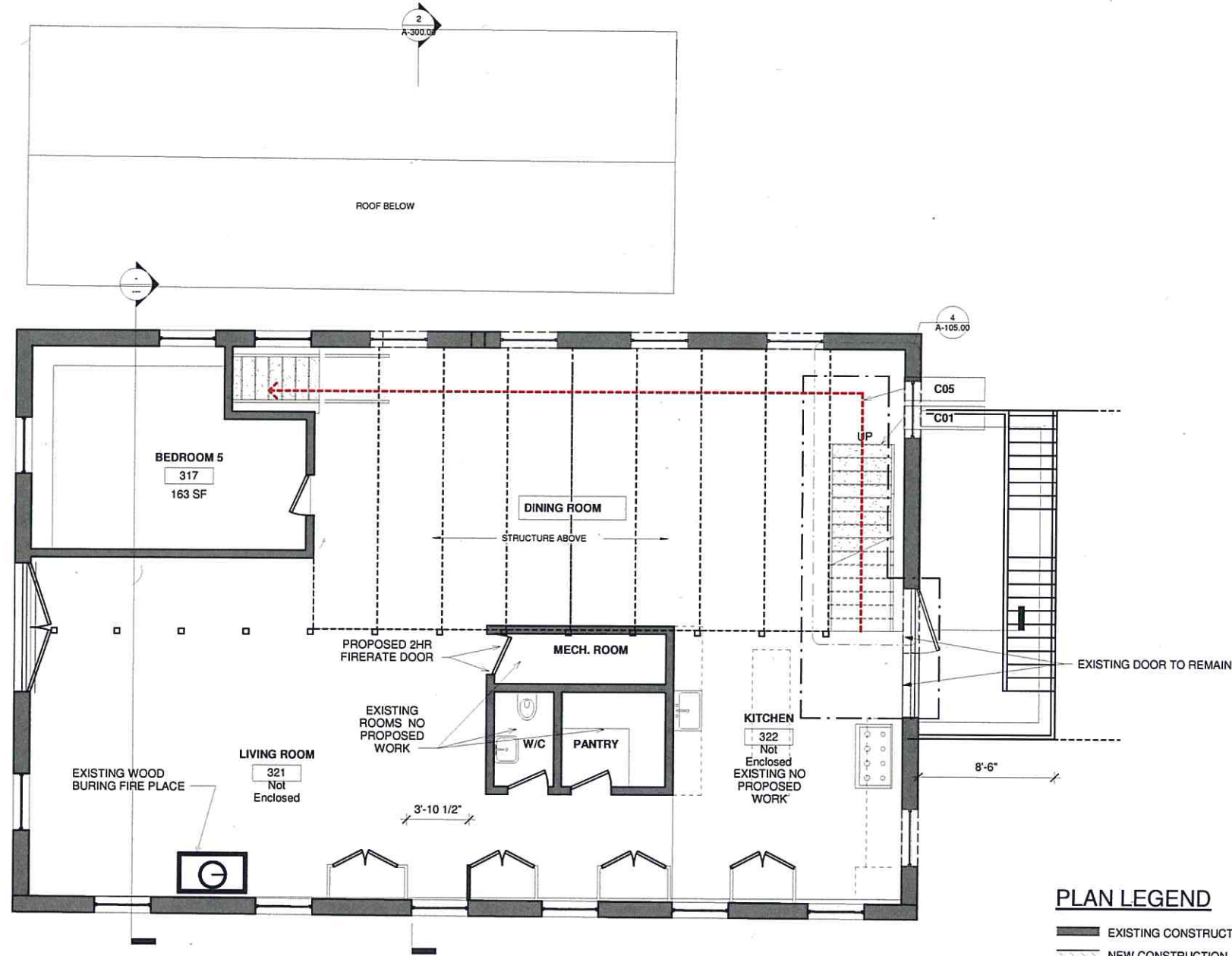


3 STAIR SECTION  
1/2" = 1'-0"



4 STAIR PLAN  
1/2" = 1'-0"

1 2ND FLOOR PLAN PROPOSED  
1/4" = 1'-0"



CONSTRUCTION NOTES	
KEY	NOTE
C-01	PROPOSED EGRESS STAIR
C-02	PROPOSED HANDRAIL
C-03	PROPOSED FIXED PICTURE WINDOW TO REPLACE EXISTING DOOR
C-04	PROPOSED STEEL STRINGER WOOD STAIR
C-05	EGRESS PATH TO BE FULLY SPRINKLERED. SPRINKLER TO BE FILED SEPARATELY

NOTES

DRAWING ISSUE		
NO.	DATE	ISSUED FOR
1	12/24/2020	Greenport Village Review
2	2/05/2021	Greenport ZBA Submit
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Consultants:

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Project:

**511 CARPENTER ST.**  
GREENPORT NY 11944

Project No.:

IR-02

Seal/Signature



Date:

Scale:  
AS NOTED

Drawing Title:

2ND FLOOR

Drawing No.:

**A-105.00**

PLAN LEGEND

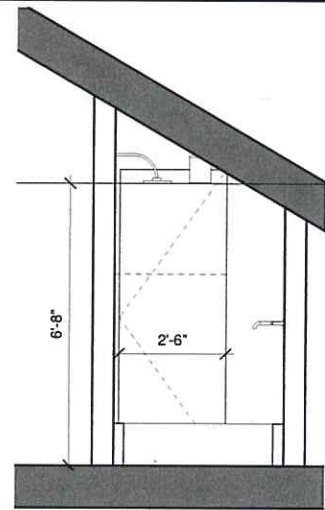
- EXISTING CONSTRUCTION
- NEW CONSTRUCTION
- EXTENTS OF WORK
- PATH OF EGRESS TRAVEL

NOTE:

404.1: 90% OR MORE OF PERMANENT FIXTURES TO HAVE TO HIGH EFFICACY LAMPS.

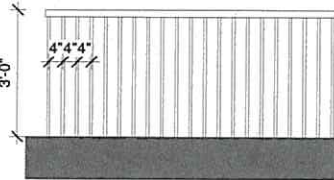
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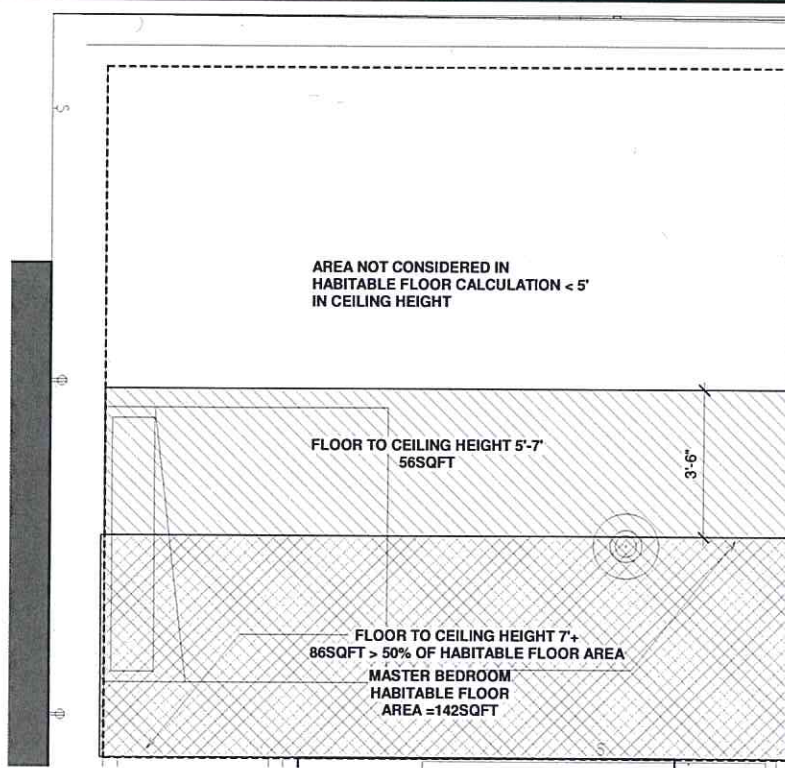


4 SECTION THROUGH BATHROOM  
1/2" = 1'-0"

**NOTE:**  
PROPOSED BATHROOM COMPLIES WITH NYS R305.1 EXCEPTION 2 - A SHOWER OR TUB EQUIPPED WITH A SHOWER HEAD SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 6'-8" ABOVE AN AREA NOT LESS THAN 30" x 30" AT THE SHOWER HEAD.

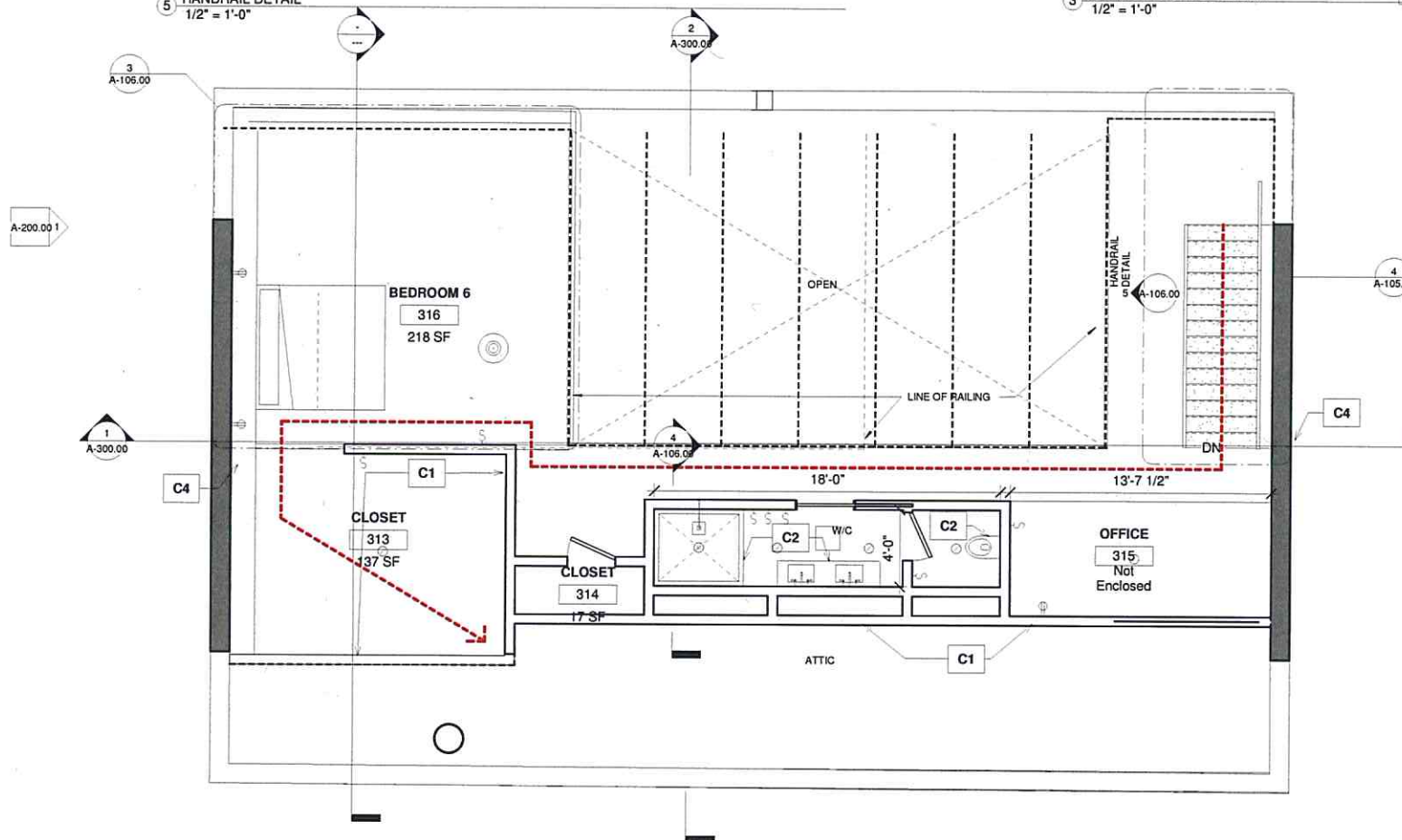


5 HANDRAIL DETAIL  
1/2" = 1'-0"



3 HABITABLE BEDROOM AREA/  
CEILING HEIGHT DIAGRAM  
1/2" = 1'-0"

**NOTE:**  
PROPOSED BEDROOM COMPLIES WITH NYS R305.1 EXCEPTION 1. 50% OF THE PROPOSED BEDROOMS FLOOR AREA HAS A CEILING HEIGHT GREATER THAN 7'



1 3RD FLOOR PROPOSED  
1/4" = 1'-0"

**NOTES**

**DRAWING ISSUE**

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1	12/14/2020	Greenport Village Review
2	2/05/2021	Greenport ZBA Submittal
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**Project:**

**511 CARPENTER ST.**  
GREENPORT NY 11944

**Project No.:**

IR-02

**Seal/ Signature:**



**CONSTRUCTION NOTES**

KEY	NOTE
C-01	PROPOSED INTERIOR WALL
C-02	PROPOSED PLUMBING FIXTURES
C-03	PROPOSED INTERIOR DOORS
C-04	EXISTING EGRESS WINDOW
C-05	PROPOSED STAIR TO 3RD FLOOR

**PLAN LEGEND**

- EXISTING CONSTRUCTION
- NEW CONSTRUCTION
- - - EXTENTS OF WORK
- - - - - PATH OF EGRESS TRAVEL

**NOTE:**

EGRESS PATH FROM THIRD FLOOR TO BE FULLY SPRINKLED, SENTRY FIRE PROTECTION TO PROVIDE SPRINKLER DESIGN AND TO BE FILED SEPARATELY

**NOTE:**

404.1: 90% OR MORE OF PERMANENT FIXTURES TO HAVE TO HIGH EFFICACY LAMPS.

**Date:**

AS NOTED

**Drawing Title:**

3RD FLOOR

**Drawing No.:**

**A-106.00**



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NOTES

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1	12/24/2020	Greenport Village Review
2	2/05/2021	Greenport ZBA Submittal
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NOTES:

- [403.4] HVAC piping conveying fluids above 105 °F or chilled fluids below 55 °F are insulated to ≥R-3.
- [403.5.3] Hot water pipes are insulated to ≥R-3.

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Project:

**511 CARPENTER ST.**  
GREENPORT NY 11944

Project No.:

IR-02

Seal/ Signature:



Date:

Scale:

Drawing Title:

PLUMBING RISER DIAGRAM

Drawing No.:

**P-100.00**

