ISAAC-RAE STUDIO 430 Main Street Second Floor Greenport NY 11944

September 24, 2021

Village of Greenport Re: 511 Carpenter Street Historic Preservation Committee

Good afternoon to the Historic Preservation Committee:

Please find the application for certificate of appropriateness regarding project 511 Carpenter Street. This project has been ratified and approved by Greenport Village ZBA. We will be filing the project's building permit early next week while the HPC reviews our submission. We understand the permit will not be granted until complete review and approval by this Historic Preservation Committee. Within you'll find six copies, as requested, of:

- Application for Certificate of Appropriateness
- Asbestos form
- Proposed materials document
- Abbreviated filing set that addresses all HPC related items including certified and stamped site plan as well as photos of adjacent properties for comparison

Thank you for your consideration and please let us know if you need any additional information from us at this time.

Sincerely,

Margot & Clay Coffey Isaac-Rae Studio



HISTORIC PRESERVATION COMMISSION REVIEW

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

PURSUANT TO THE PROVISIONS OF CHAPTER 48 HISTORIC PRESERVATION LAW OF THE VILLAGE OF GREENPORT

DATE OF APPLICATION: 9-24-2021
LOCATION OF PROPERTY: 511 Carpenter street ,Greenport NY 11944
SUFFOLK COUNTY TAX MAP NUMBER: 1001-04-03-32
PROPERTY OWNER: Jenna and Donnie Williams
ADDRESS:PHONE:
EMAIL ADDRESS:
ARCHITECT/DESIGNER: ISAAC-RAE Studio
ADDRESS: 430 Main Street 2nd FI Greenport NY 11944 PHONE: 347-276-6093
EMAIL ADDRESS: clay@isaac-rae.com
Type of Proposed Work □ COMMERCIAL ☑ RESIDENTIAL
Site Work
X FENCE AND GATES X DRIVEWAY, WALK, PATIO, OTHER PAVEMENT MAJOR EXCAVATION OR REGRADING, OR BERM SWIMMING POOL, TENNIS COURT OTHER STRUCTURAL LANDSCAPE ELEMENT SIGNAGE AND AWNINGS - SUBMIT SCALE DRAWINGS TO INDICATING TO FOLLOWING: - SIZE OF EACH SIGN - COLOR - FONT - LOCATIONS OF ALL SIGNAGE AND AWNINGS ON BUILDING - PROPOSED MATERIALS MODERN FEATURES - SOLAR PANELS - SKYLIGHTS - OUTDOOR SHOWERS OTHER
Landscape Planting
HEDGE ALONG STREET AND/OR PROPERTY BOUNDARY LINES

PLANTINGS INTENDED TO SCREEN OTHER WORK DESCRIBED IN THIS APPLICATION

Buildings		
<u>x</u>	NEW CONSTRUCTION ADDITION DEMOLITION REMOVAL ACCESSORY BUILDING	
Building A	Alterations	
X	EXTERIOR WALL MATERIAL ROOF MATERIAL AND COLOR CHIMNEY MATERIAL FOUNDATION MATERIAL DOORWAYS (INCLUDING STORM/SCREEN DOORS) WINDOWS (INCLUDING STORM/SCREEN SASH) AND PORCHES AND STEPS TRIM AND DECORATIVE DETAIL GUTTERS AND LEADERS PAINT AND STAIN EXTERIOR LIGHTING	SHUTTERS
	OTHER	
ACCOMPANYING Scope of work incl include new non lo converting existing Exterior scope of w (Benajmin Moore H Moore HC-134). R	ludes interior alterations that include removal of existing non load bad bearing walls, plumbing fixtures, electrical fixtures, new interiog loft space into habitable third floor. work includes stucco repair to the building facades and painting m HC-27). Exterior painting of existing front door of main structure are coof repair to main structure will repair existing fascia in kind.	d accessory structure to be painted Tarrytown Green (Benajmin
	ITS SUBMITTED WITH THIS APPLICATION. ACTUAL SA RIALS ARE REQUIRED. (REFER TO THE INSTRUCTION	
HPC Application	on includes:	
 Signed and Photos of ac 	mit application nd submit an Asbestos Certification Form- AC-1 sealed site plan prepared by architect. djacent properties roposed materials including specifications, photos al	ong with physical sampes for review.
	APPROVALS REQUIRED:	M. Calber
SIGNAT	TURE OF OWNER OR AUTHORIZED AGENT:	9/24/21



Village of Greenport Building Department

236 Third Street, Greenport, New York, 11944 (631) 477-0248 Ext. 212 www.villageofgreenport.org

ASBESTOS CERTIFICATION FORM

Notice to Building Applicants:

AN ASBESTOS SURVEY IS REQUIRED FOR ALL RENOVATION, REMODELING, REPAIR AND DEMOLITION OF ALL INTERIOR AND EXTERIOR BUILDING MATERIALS.

AS PER NEW YORK STATE INDUSTRIAL CODE RULE 56, ASBESTOS MATERIAL MUST BE ABATED BY LICENSED CONTRACTORS UTILIZING CERTIFIED ASBESTOS HANDLERS, WITH THE EXCEPTION OF OWNER-OCCUPIED SINGLE-FAMILY HOMES, WHERE THE OWNER MAY REMOVE THE ASBESTOS AND RENOVATE THESE STRUCTURES THEMSELVES. IT IS NOT RECOMMENDED THAT THE OWNER PERFORM ABATEMENT, AS THE OWNER COULD POTENTIALLY EXPOSE THEMSELVES, THEIR FAMILY AND NEIGHBORS TO ASBESTOS FIBERS IF ADEQUATE ENGINEERING CONTROLS AND WORK METHODS ARE NOT UTILIZED DURING THE ABATEMENT.

FOR FURTHER INFORMATION AND UPDATES, PLEASE SEE THE NEW YORK STATE WEBSITE AT: www.labor.state.ny.us OR CONTACT THE ASBESTOS CONTROL BUREAU DISTRICT OFFICE, NYS DEPARTMENT OF LABOR, ASBESTOS CONTROL BUREAU, 75 VARICK STREET, 7TH FLOOR, NEW YORK, NY 10013, TELEPHONE NUMBER 212-775-3538.

I hereby agree to abide by the conditions listed above. I understand that I am responsible to ensure these requirements are met, including all other applicable laws, rules and regulations pertaining to asbestos abatement.

Property Owner's Name: Novaco WIWIAMS

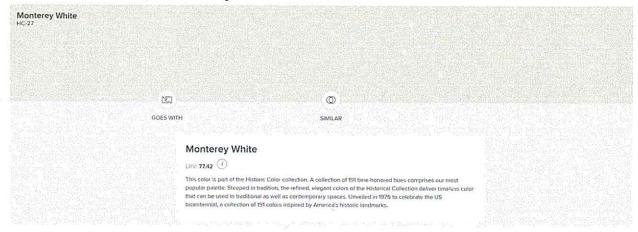
Property Owner's Signature:

Date: 9 | 23 | 2|

Form AC1

Color of building stucco, trim, back deck and railings:

MONTEREY WHITE, HC-27 Benjamin Moore Paint



Color example:

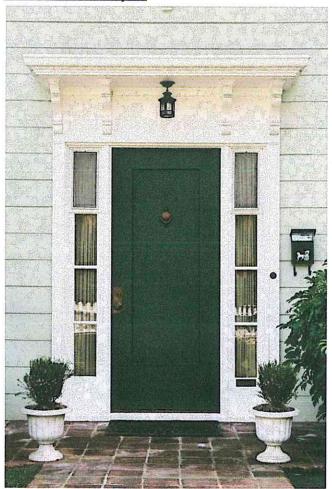


Color of front door:

TARRYTOWN GREEN, HC-134, Benjamin Moore Paint



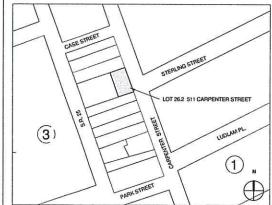
Door color example:



511 CARPENTER STREET **GREENPORT NY 11944,** SCTM#: 1001-04-03-32

ZONING INFORMATION

COUNTY	SUFFOLK
TAX MAP NUMBER	1001-04-03-32
VILLAGE	GREENPORT
BLOCK	3
LOT	26.3
NUMBER OF FLOORS	3
LOT AREA	.11 ACRES OR 4791.6 SQFT
ALLOABLE BUILDING COVERAGE	1,437 OR 30%
EXISTING BUILDING COVERAGE	2,952 OR 62.3%
PROPOSED BUILDING COVERAGE	2,895 OR 60%
ZONING	R-2
ZONING MAP	GREENPORT VILLAGE
LANDMARK DESIGNATION	NONE
HISTORIC DISTRICT	YES
BUILDING HEIGHT	38 FT
CONSTRUCTION CLASSIFICATION	VB- CONBUSTIBLE
OCCUPANCY USE GROUP	RESIDENTIAL R-2
ACCESSORY OCCUPANCY USE GROUP	
SPRINKERS SYSTEM	PARTIALLY SPRINKLERED (PROPOSED)



LOCATION MAP NOT TO SCALE

SCOPE OF WORK PROPOSED IN THIS FILING:

INTERIOR ALTERATIONS TO INCLUDE THE REMOVAL OF THE FOLLOWING:

- REMOVAL OF EXISTING NON LOAD BEARING INTERIOR WALLS
- REMOVAL OF EXISTING PLUMBING FIXTURES
 REMOVAL OF PORTION OF STORAGE LOFT FLOOR

INTERIOR ALTERATIONS TO INCLUDE THE FOLLOWING:

- NEW PROPOSED INTERIOR NON LOAD BEARING WALLS NEW PROPOSED PLUMBING FIXTURES AND IN EXISTING AND NEW
- NEW PROPOSED PLUMBING FIXTURES AND IN EXISTING AND NEW LOCATIONS
 NEW PROPOSED ELECTRICAL FIXTURES AND LOCATIONS
 NEW PROPOSED FIXED PANED WINDOW TO REPLACE EXISTING SLIDING DOORS ON 2ND FLOOR
 CONVERSION OF EXISTING ATTIC LOFT INTO HABITABLE 3RD FLOOR

- PROPOSED EGRESS STAIR TO PROPOSED 3RD FLOOR PROPOSED CONCRETE TOPPING SLAB ON GROUND FLOOR PROPOSED LEGALIZATION OF OF EXISTING NON CODE COMPLIANT 2ND FLOOR EXTERIOR DECK AND STAIR TO GRADE.

SCOPE OF WORK NOT PROPOSED IN THIS FILING:

- CHANGE IN USE,NO CHANTE IN OCCUPANCY, BUILDING
- CLASSIFCATIONS OR TYPE NO PROPOSED CHANGE TO EXTERIOR WALLS SIDING OR THERMAL ENVELOPE OF EXISTING BUILDING

AUTOMATIC FIRE SPRINKLER SYSTEM TO BE FILED UNDER SEPARATE FILING BY SENTRY AUTOMATIC FIRE SPRINKLERS

FEMA NOTE THE PROPERTY IS NOT IN THE SPECIAL FLOOD HAZARD AREA. NO CHANGES ARE BEING MADE TO THE

ENERGY CODE STATEMENT OF COMPLIANCE

TO THE BEST OF MY KNOWLEDGE, BELIEVE AND PROFESSIONAL JUDGMENT THE PROPOSED BUILDING IS IN COMPLIANCE WITH MYS 2020 ENERGY CODE. RESCHECK ENERGY ANALYSIS IS ALSO PROVIDED IN THIS

GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION

1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE 2018 INTERNATIONAL BUILDING CODE AND WILL COMPLY WITH 2017 SUPPLIMENTAL REQUIREMENTS, AND THE BEST TRADE PRACTICES.

2. CONTRACTOR SHALL BE HELD TO HAVE VISITED AND EXAMINED THE PROJECT SITE BEFORE SUBMITTING HIS PROPOSAL SO AS TO FULLY UNDERSTAND ALL EXISTING CONDITIONS RELATING TO THIS SUBMITTING HIS PROPOSAL SO AS TO FULLY UNDERSTAND ALL EXISTING CONDITIONS RELATING TO THIS WORK. THE NATURE AND SOFT HEREOF AND THE FEATURES AND DIFFECULTIES THAT WHILL AFFECT HIS EXECUTION. IN ALL OWNANCE SHALL BE MADE FOR ANY EXTRA AND OR MATERIALS REQUIRED OR FOR THE CONTRACTOR SHALL THE SHE HADE. THE CONTRACTOR SHALL THE SHE LINESSEES HADE. THE CONTRACTOR SHALL THAT ALL MECESSARY MEASUREMENTS FOR HIS WORK AT THE SHE VERH F ALL CONDITIONS AND REPORT ANY DISCREPANCY IN DIMENSIONS OR EXISTING CONDITIONS TO THE

CONDITIONS AND REPORT ANY DISCREPANCY NO DMENSIONS OR EXISTING CONDITIONS TO THE ARCHITECT.

3. THE CONTRACTOR SHALL NOT COMMENCE WORK UNTIL A KICK OFF MEETING HAS BEEN HELD AT THE PROJECT SITE WITH THE OWNER AND ARCHITECT. THE PURPOSE OF THIS MEETING IS TO REVIEW THE PLANNED WORK AND TO ENSURE THAT THE WORK IS DONE IN ACCORDANCE WITH THE APPROVED PLANS.

4. BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDINGS, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES SHANLES WITH THE DEPARTMENT OF BUILDINGS, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES SHANLES WITH THE DEPARTMENT OF BUILDINGS, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES STATES OF INSURANCE WITH THE WORK HAS ALTERED WITHOUT PRIOR WHITTEN APPROVED CONSTRUCTION DOCUMENTS. THE THE WORK HAS ALTERED WITHOUT PRIOR WHITTEN APPROVAL FROM THE ARCHITECT.

5. THE CONTRACTOR SHALL PROVIDE ALL GOUMPIENT, OBTAIN PERMITS AND ERRECT TEMPORARY CONSTRUCTION AS NECESSARY TO SAFEGUAND PERSONS AND PROPERTY. ALL MACKINERY, TOOLS, SERVICE LINES AND CONDITION SHALL BE (AUAPIDE), SHELDED OR BARRICADED TO PROVIDE SAFETY AND TO PREVENT CONTACT WITH PUBLIC.

AND TO PREVENT CONTACT WITH PUBLIC.

7. THE CONTRACTOR SHALL MAINTAIN STRUCTURAL INTEGRITY OF ADJOINING WALLS, GROUNDS AND PROPERTY AND PROTECT THE SAME FROM NUMBY

8. CONTRACTOR SHALL DETERMINE LOCATION, PROTECT AND SAFEGUARD ALL UTILITIES ON AND ADJACENT TO SITE.

ADJACENT TO SITE.

A THE CONTRACTOR SHALL REPAIR AT HIS OWN COST ALL EXISTING MATERIAL OR EQUIPMENT DAMAGED AS A RESULT OF CONSTRUCTION FOR THIS WORK.

AS A RESULT OF CONSTRUCTION FOR THIS WORK.

IN CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE JOB SITE CLEAR OF TRASH AND DEBRIS AT ALL TIMES AND FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS FROM THE SITE PRIOR TO FINAL COMPLETION.

11. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSABY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE RIGICATED IN THE DRIAWTIES.

12. THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF LOCAL AUTHORITIES.

AUTHORITIES.

13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORNON AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR MUNIFIES CAUSED BY OR DURING THE EXPECUTION OF THE WORK.

14. THE CONTRACTOR SHALL ANY OUT HANGAL, PLUMBING, ELECTRICAL, LONGING THE CONTRACTOR SHALL DESIGN AND THE CONTRACTOR SHALL LANGE SHALL SHALL PROVIDE ALL DEMISSIONS RECURRED AND THE MORE AND THE MORE SHALL BE PERFORMED BY PERSONS.

15. SPRINKLER, MECHANICAL, PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGN-

OF 5.

It THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING, REPAIRING AS REQUIRED TO PERFORM ALL OF
THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE
THE JOB.

THE WORK INDICATED ON THE DRAWNOS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE XOB.

17. ALL PIPING AND WRING SHALL BE REMOVED TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CAPPED OR PLUGGED.

18. THE CONTRACTOR SHALL GUARANTEE THE WORK FOR A IMINIUM OF ONE(1) YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER AGAINST ALL DEFECTS IN MATERIAL ANDICH WORKMANSHIP. THE IS GUARANTEE SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR TO THE OWNER.

18. THE CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMANCE WITH THE HIGHEST DEGREE OF SKILL, GUALITY AND COMPLETENESS.

20. THE CONTRACTOR, IPON COMPLETING OF THE WORK, SHALL ARRANGE FOR DEPARTMENT OF BUILDINGS INSPECTIONS AND SINOPETS AS REQUIRED.

BUILDINGS INSPECTIONS AND SIGNOFFS AS REQUIRED.

21. NO WORK SHALL BE DONE, EXCEPT BETWEEN THE HOURS OF 900 A.M. AND 500 P.M. MONDAY
THROUGH FRIDAYS. EXCEPT AS OTHERWISE AGREED TO, NO WORK SHALL BE DONE, ON SATURDAYS,
SUNDAYS AND HOUDAYS, AND NO WORK THAT CAN PRODUCE UNUSULAL NOSISES THAT MIGHT BE
DISTURBING TO BUILDING OCCUPANTS SHALL BE DONE BEFORE 10:00 A.M.

22. THE CONTRACTOR AND ALL SUB-CONTRACTORS AGREE TO ABIDE BY ALL REQULATIONS AS
OUTLINED IN THE ALTERATON AGREEMENT

23. THE USE OF POWER TOOLS SUCH AS PICEUMATIC JACKHAMMERS SHALL BE PROHBITED

24. PROPOSED WORK SHALL NOT ALTER OR RELOCATE THE MAN PLUMBING, HEATING AND INTERCOM
LINES.

ABREVIATIONS.

SITE PROTECTION PLAN:

1.EGRESS.AT ALL TIMES IN THE COURSE OF CONSTRUCTION PROVISION SHALL BE MADE FOR ADEQUATE EGRESS AS REQUIRED BY NEW YORK STATE, SOUTHOLD TOWN AND SUFFOLK COUNTY

2.FIRE SAFETY. ALL NECESSARY LAWS AND CONTROLS, INCLUDING THOSE WITH RESPECT TO OCCUPIED DWELLINGS, AS WELL AS ADDIONAL SAFETY MEASURES NECESSITATED BY THE CONSTRUCTION SHALL BE STRICTLY OBSERVED.

3.HEALTH REQUIREMENTS, SPECIFICATION OF MEANS AND METHODS TO BE USED FOR CONTROL OF DUST, DISPOSAL OF CONSTRUCTION DEBRIS, PEST CONTROL AND MANTENANCE OF SANITARY PACILITIES, AND LIMITATION OF MOISE TO ACCEPTABLE LEVELS SHALL BE INCLIDED.

3.1. THERE SHALL BE NOLLIDED A STATISMENT OF COMPLIANCE WITH APPLICABLE PROVISIONS OF LAW NEADS AND LIMITATION OF SERVICE OF THE NEW YORK CONTROLLARTY WHAT MEANS AND METHODS ARE BEING LIMITED AND THE TOWN OF THE NEW YORK CITY HOUSING MAINTENANCE COOK AND WHERE APPLICABLE, THE NEW YORK STATE MULTIPLE DWELLING LAW SHALL BE STRICTLY OBSERVED.

STRUCTURAL SAFETY, NO STRUCTURAL WORK SHALL BE DONE THAT MAY ENDANGER THE SITE OR

SSTRUCTURAL SAFETY. NO STRUCTURAL WORK SHALL BE DONE THAT MAY ENDANGER THE SITE OR CONTRACTED WORKERS
6.NOISE RESTRICTIONS. WHERE HOURS OF THE DAY OR THE MAYS OF THE WEEK IN WHICH
CONSTRUCTION WORK MAY BE UNDERTAKEN ARE LIMITED MONDAY-FRIDAY. AM TO SPIM EXCEPT
FEDERAL HOLDAYS
7.MAINTANING SESSENTIAL SERVICES. WHERE HEAT, HOT WATER, COLD WATER, GAS, ELECTRICITY, OR
OTHER UTILITY SERVICES ARE PROVIDED IN SUCH BUILDING OR IN ANY DWILLING UNIT LOCATED
THERER. THE SITE AND CONSTRUCTION FOR THE STORY OF ANY SUCH SERVICES TO BE
SERVICED STRUCTURE OF SOLITICAL DIVINE SUFFICIK COUNTY. EA DESCRIPTION OF ANY SUCH SERVICE IS
FROUITEMENTS OF SOLITICAL DIWN AS SUFFICIK COUNTY. EA DESCRIPTION OF ANY SUCH SERVICE IS
SUCH DISRUPTION AND THE MEANS AND METHODS TO BE EMPLOYED TO MINIMIZE SUCH DISRUPTION,
INCLUDING THE PROVISION OF SUFFICIENT ALTERNATIVES FOR SUCH SERVICE DURING SUCH
DISRUPTION.

SHEET#

T-001.00 TITLE SHEET

A-100.00 SITE PLAN

T-002.00 GENERAL NOTES

A-101:00 REMOVAL PLAN

A-103:00- REMOVAL-PLAN A-104-00 - GROUND FLOOR PLAN

A-105.00 - 2ND-FLOOR ----

A-107.00 RCP AND ELECTRICAL PLANS

A-108.00 RCP AND ELECTRICAL PLANS

P-100:00 PLUMBING RISER DIAGRAM

1 - SELTION NUMBER
SHEET MUNICIPAL

1 - WALL TIPE

SYMBOL LEGEND

1 - DOOR MARKER (SEE DOOR SCHOOLE)

STEWNSON SCHEDULE

—(1) - COLVAN NAMECE

LINE MODERNING

LINE NOVATING

A - CHINETHURES

A-200.00 BUILDING ELEVATIONS A-201.00 SITE PICTURES

A-106.00 3RD FLOOR

	WALL TYPES
W-1	5 IF GYPSIAN BOARD, PRISH W/1 COAT BENHAMN MOORE REGAL FIRST COAT LATEX PRIMER (216) IL 2 COATS BENJAMN MOORE ALRA MATTE FINISH LATEX PAINT (522), COLOR: TILD
W-2	SIT MOSTURE RESISTANT GYPSUM BOARD, FINISH W/1 COAT ZINSSER BULLS EYE ZERG WATER BASED PRIMER & 2 COATS ZINSSER PERMA-WHITE MOLD & MILDEW-PROOF INTERIOR PAINT, COLOR: TBD
W-3	1/2" DUROOK CEMENT BOARD READY TO ACCEPT TILE
W-5	

5-1 MATTE BLACK W. BLACK OXIDE FINISH STEEL STRINGERS WOOD TREAD.

2 FINISH SCHEDULE 1 1/2" = 1'-0"

Generated by REScheck-Web Software

Compliance Certificate

Project 511 Carpenter Street

2020 New York City Energy Conservation Code

Envelope Assemblies

Assembly	or Perimeter	R-Value	R-Value	U-Factor	UA
Existing Wood Frame Ceiling: Other Exemption: Framing cavity not exposed.	***	***	***		-
West Wall: Wood Frame, 16" o.c. Exemption: Framing cavity not exposed.			277	***	-
Nindow 5: Wood Frame SHGC: 0.00 Exemption: Window film on single-pane existing glazing exemption.	**	-	***	***	
Window 6: Wood Frame SHGC: 0.00 Exemption: Window film on single-pane existing glazing exemption.	-	-			:44
Nindow 13: Wood Frame SHGC: 0.39	32			0.230	7
Nindow 14: Wood Frame SHGC: 0.00 Exemption: Window film on single-pane existing glazing exemption.	-	1975			-51
Nindow 15: Wood Frame SHGC: 0.00 Exemption: Window film on single-pane existing glazing exemption.		***		***	***
South Wall: Wood Frame, 16" o.c. Exemption: Framing cavity not exposed.	-	-	***	***	***
Window 2: Wood Frame SHGC: 0.23 Exemption: Window film on single-pane existing glazing exemption.		-	-	***	***
Window 3: Wood Frame SHGC: 0.00 Exemption: Window film on single-pane existing glazing exemption.	***		***	-	***
reject Title: 511 Carpenter Street			Penart	data: 12	23/20

EL ELEVATION B.O. BY OTHERS/OWNER

IUS. ROX. H. G	ACCESS PANEL ACOUSTICAL ADJACENT AR CONDITIONING ALLMANLM APPRODUATE ARCHITECTURAL BLOCKING CELING CELING CENTER LINE CERRARC TILE	COL. CONC. CONST. CONT. DIL. DM. DR. DBL. DN. DWG. EA. ELEC.	COLLAN CONLETE CONSTRUCTION CONTRUCTION CONTRULOUS DETAIL DMENSON DOOR DOUBLE DOWN DRAWING EACH ELECTRIC/ELECTRICAL	EMER. EQ. EQPT. EXIST. EXT. FIN FIN FL. FPRF. S.C. FL. FLUOR. FT.	EMERGENCY EQUAL EQUIPMENT EXISTING EXTEROR FRASH FINSH FLOOR FREPROOF SELF-CLOSING FLOOR FLUORESCENT FOOT/FEET	GL GRL GFL GWB HNDRL HDWD. HVAC H.M. HORIZ, IN. INSUL J.B.	GLASS GRULE GROUND FAULT INTER. GYPSUM WALLBOARD HANDRAL MARDWOOD HEATING, VENT. & A/C HOCKEVITAL HOCKEVITAL NOISES INSULATION JUNCTION BOX	LV. MATL MAX. MECH. MIN. MISC. MLDG. MTD. MUL. NOM. N.A.	LOW VOLTAGE MATERIAL MAXIMUM MECHANICAL METAL METAL MISCELLANEOUS MOLDING MOUNTED MULLION NOMINAL NOT APPLICABLE	PTD.	NLMEER ON CENTER ON CENTER OPPOSITE HAND PANTED PARTITION PLASTER Y PLYWOOD PONT OF SERVICE QUANTITY RECESSED REQUIRED	REV. R.O. SCHED. SECT. SHT. SIN. SC SQ.FT. S.STL. STD. STL. STOR.	REVISE/REVISION ROUGH OPENING SO-EDULE SECTION SHEET SMILAR SOLID CORE SQUARE FOOT STAINLESS STEEL STAINDARD STEEL STORAGE	V.LF. VT/VCT	TO BE DETERMINE TYPICAL UNLESS OTHERWISE NOTED VERFY IN FIELD VINYL. COMPOSITION TILL WITH WITHOUT WOOD
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NOTES

12/24/2020

12/24/2020

12/24/202

12/24/202

12/24/2020

12/24/2020

12/24/2020

09/15/21

DRAWING ISSUE

NO.	DATE	ISSUED FOR
1	12/24/2020	Greenport Vitage Review
2	2/05/2021	Greenport ZSA Submittel
3	4/29/2021	Gwerport ZBA Submittel coverage updates
4	5/10/2021	Greenport ZBA Submittel coverage updates
5	6/20/2021	Georget ZBA Submittel coverage update
6		

PLICATION IS APPROVED ONLY FOR WORK ED ON THE APPLICATION SPECIFICATION SHEE NATTERS SHOWN ARE NOT TO BE RELIED UPON INSIDERED AS EITHER BEING APPROVED OR I

Consultants:

SPINKLER ENGINEER SENTRY AUTOMATIC FIRE PROTECTION INC. 735 Flanders road

Architect of Record:

ISAAC - RAE

11575 Main Bayview Road Southold, NY 11971

Contact; Isaac Clay Coffey NYS LIC#039767

T. 347-276-6093 E. clay@isaac-rae.com

511 CARPENTER ST.

GREENPORT NY 11944



T-001.00

ASSOCIATED FILINGS

REFER TO THE WINDOW AND DOOR SCHEDULE FOR EXTERIOR

REFER TO CIVIL ENGINEERING DRAWINGS FOR GRADING PLANS

REFER ARCHITECTURAL DRAWINGS FOR BUILDING ELEVATIONS
INCLUDING SLAB AND FINISH FLOOR ELEVATIONS
130 MPH WIND LOAD REQUIREMENTS SHALL BE TAKEN INTO ACCOUNT

FOUNDATION NOTES:

THE GENERAL CONTRACTOR AND MASON TO REVIEW PLANS, ELEVATIONS, DETAILS AND NOTES TO DETERMINE INTENDED HEIGHTS OF FINISHED FLOORS ABOVE GRADE.

OF FINISHED FLOOMS ABOVE GHADE.
GENERAL CONTRACTOR TO RETAIN SURVEYOR TO SET OR VERIFY
DATUMS AND FINISHED FLOOR ELEVATIONS
DRAINAGE AS REQUIRED BY HALL MEET THE REQUIREMENTS OF THE
2015 INTERNATIONALRESIDENTIAL BUILDING CODE AND NEW YORK

2015 IN LEMPATIONAL RESIDENTIAL SULLIDING CODE AND NEW YORK DEPARTMENT OF STATE 2017 UNFORM CODE SUPPLEMENT. ALL FOOTINGS MUST REST ON APPROPRIATE BEARING MATERIAL SEE STRUCTURAL ENGINEERS DRAWINGS FOR ADDITIONAL DETAILS ANY NEW CONCRETE WALLS BEING ATTACHED TO EXISTING CONCRETE STRUCTURE TO BE INSTALLED WITH \$5 RE-BAR, MIN 18" LONG AT 12"O.C.

STRUCTURE TO BE INSTALLED WITH #5 RE-BAR, MIN 18" LONG AT 12"O.C. MIN EMBEDD TO BE 9" USE APPROVED EPORY FOR ANCHORING UNLESS OTHER WISE NOTED, ALL SLABS ON GRADE TO BE 4000P.S.I. CONCRETE TO BE POURED AT MIN 4" THICK SAND OR GRAVEL FILL WITH 6X6 WIRE MESH REINFORCING, SLAB THICKNESS TO BE MIN 5" THICK. ALL FILL TO BE COMPACTED TO 95%, RELATIVE DENSITY AT 6" MAX LIFTS CRAWL SPACES TO BE PROVIDED WITH MIN. 24"X24" ACCESS OPENING. UNCONDITIONED CRAWL SPACES TO HAVE 8X16" CAST IRON FOUNDATION VENTS FOR EVENT 150 SOFT OF AREA

FOUNDATION VENTS FOR EVERY 150 SOFT OF AREA
DAMPPROOF EXTERIOR OF FOUNDATION WITH BITUMINOUS COATING AS
REQUIRED BY 2015 INTERNATION BUILDING CODE AND NEW YORK
DEPARTMENT OF STATE 2017 SUBPPLEMENTAL CODE. A 6 MIL
POLYETHYLENE FILM SHALL BE APPLIED TO THE BELOW GRADE PORTION
OF EXTERIOR WALLS PRIOR TO BACKFILLING

FRAMING NOTES

ALL FRAMING TECHNIQUES SHALL MEET THE REQUIREMENTS OF THE 2015 INTERNATIONAL BUILDING CODE AND NEW YORK DEPARTMENT OF STATE 2017 UNIFORM CODE SUPPLEMENT.

OF STATE 2017 UNIFORM CODE SUPPLEMENT.
STRUCTURAL LUMBER SHALL BE GREEN DOUGLAS FIR LARCH NO. 2,
OR BETTER, UNLESS OTHERWISE NOTED ON THE PLANS
INTERIOR METAL FRAMING SHALL BE 18 GAUGE OR BETTER UNLESS
OTHER WISE NOTED ON THE PLANS
FLOORS, WALLS, CEILINGS AND RAFTERS TO BE SPACED AT 16
INCHES O.C. UNLESS NOTED
UNLESS OTHERWISE NOTED, ALL BEARING WALL HEADERS TO BE (2)
2X10 #2 + BTR. DOUG. FIR.BEARING WALL HEADERS TO BE (2)
SX10 #2 + BTR. DOUG. FIR.BEARING WALL HEADERS FOR BE (3)
SX1DS AND (2) EIL IL SEGRET STIDS ON EACH SIDE OF ALL OPENINGS 2X10 #2+ B ITA DOUG. FIR.BEARING WALL HEADERS TO HAVE (2) JACK STUDS AND (2) FULL LENGTH STUDS ON EACH SIDE OF ALL OPENINGS. LVI. HEADERS TO HAVE (3) JACK STUDS AND (2) FULL LENGTH STUDS ON EACH SIDE OF OPENINGS. BEARING WALL WINDOW SILLS SHALL ALSO HAVE (2) WINDOW SILL PLATES FOR 2X4 WALL OPENINGS BETWEEN 41 AND 50 AND 2X6 WALL OPENINGS BETWEEN 511 AND 89. PROVIDE FIRE AND BLOCKING WHERE APPLICABLE. ALL FLUSH BEAMS/HEADERS TO BE INSTALLED WITH HEAVY DUTY

GALVINIZED HANGERS AND ANCHORS WHERE APPLICABLE TO ALL

CONNECTING JOISTS.

DOUBLE UP FLOOR JOISTS UNDER WALLS THAT RUN PARALLEL TO THE FLOOR JOIST AND UNDER BATHTUBS.FLOORS TO HAVE CERAMIC TILE INSTALLED SHALL BE VERIFIED FOR PROPER LOAD CAPACITY UNLESS NOTED ON PLANS

NOTED ON PLANS.
7), PROVIDE 2 - 1-3/4" THICK MICROLAMS (HEIGHT TO MATCH FLOOR JOISTS) AROUND STAIRWELL AND/OR OTHER ACCESS OPENINGS UNLESS OTHERWISE NOTED (TYPICAL).
PROVIDE BLOCKING/BRIDGING IN FLOOR JOISTS AT 80 O.C., USE SOLID BLOCKING IN FLOOR JOISTS WALLS.
PROVIDE IN FLOOR JOISTS UNDER ALL BEARING WALLS.
PROVIDE INSULATION BAFFLES AT EAVE VENTS BETWEEN RAFTERS.

INSTALL DRAFT BLOCKING AS NEEDED.

UNLESS OTHERWISE NOTED, ALL ROOFS AND WALLS TO HAVE A
MINIMUM 1/2" THICK, 4-PLY FIR CDX EXTERIOR SHEATHING GRADE
PLYWOOD, PLYWOOD TO COVER OVER PLATES AND HEADERS.

12. UNLESS OTHERWISE NOTED USE 3/4" THICK T&G PTS FIR OR

ADVANTECH PLYWOOD SUBFLOOR ADHERED WITH PL400 ADHESIVE AND SCREWED TO FLOOR JOISTS. FINISHED FLOOR TO BE INSTALLED OVER SUBFLOOR AS PER MANUFACTURE'S INSTRUCTIONS.
ALL BATHROOM WALLS TO HAVE 5/8" THICK MOISTURE-RESISTANT

SHEETROCK.

14. 1 HR FIRE RATED ASSEMBLYS TO HAVE ONE LAYER OF 5/8" TYPE X

THI FIRE HATED ASSEMBLYS TO HAVE ONE LAYER OF 58" TYPE X SHEET ROCK AND TO MEET ANSIVIL 263 AND UL DESIGN NO. U419
 HR FIRE RATED ASSEMBLYS TO HAVE TWO LAYERS OF 5/8" TYPE X SHEET ROCK AND TO MEET ANSIVIL 263 AND UL DESIGN NO. U419
 ALL ROOPS AND SHEATHING TO BE INSTALLED WITH ICE AND WATER SHIELD, HENRY BLUE SKIN OR APPROVED EQUAL.

ALL FLAT ROOES TO BE APPLIED WITH AN EPDM 6MILL MATERIALS ALL SILL PLATES AND WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED. SILL PLATES TO BE INSTALLED WITH FOAM SILL GASKETS AND COP-R-TEX TERMITE SHIELD OR APPROVED EQUAL. FIREBLOCKING NOTES

FIREBLOCKING NOTES
AS REQUIRED BY CURRENT 2018 IBC/2017 SUPPLEMENT - FIREBLOCKING
REQUIRED, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED
DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN
EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND

FIREBLOCKING SHALL BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN THE

IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS. CONCEALED HORIZONTAL FURRED SPACES SHALL ALSO BE FIREBLOCKED AT INTERVALS NOT EXCEEDING 10 FEET. BATTS OR BLANKETS OF MINERAL OR GLASS FIBER SHALL BE ALLOWED AS FIREBLOCKING IN WALLS CONSTRUCTED USING PARALLEL ROWS OF STUDS OR STAGGERED STUDS. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL BRACES CIVILAGE OF THE PROPERTY OF THE PROPE

HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CELLINGS

COVE CEILINGS.
IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH CURRENT N.Y.S. RESIDENTIAL CODE.
AT OPENINGS AROUND VENTS, PIPES AND DUCTS AT CEILING AND FLOOR LEVEL, TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF

COMBUSTION

GOMOSTION:

RECOMMENDED FIRE BLOCKING PRODUCTS BOSS 814 OR APPROVED EQUAL TO MEET ASTM E-814 (UL 1479)

PROVIDE 5/8" TYPE-X SHEETROCK FIRE STOPPING AT 10°0 MAXIMUM DISTANCES FOR NON ACCESSIBLE AREAS,

INSULATION

INCH, WITH ROCKWOOL R15 3-1/2" FOR TOTAL OF R34.5

SLABS 3" EXPANED POLYSTYRENE INSULATION FOR R12

PLUMBING NOTES

HVAC SYSTEM NOTES

FLECTRICAL NOTES All electrical to be installed as per IBC 2018/2017 SUPPLEMENT
 All electrical work shall be approved by a qualified Underwriter.
 Install Smoke detectors and Carbon Monoxide detectors throughout as required

REQUIRED INSULATION AS FOLLOWS

stated on septic permit

spacing permitted

equipment supplier.

by current N.Y.S. Residential Construction Code.

INSULATION TO MEET OR EXCEED NYS ECCC 2020 ENERGY CODE 2018 IBC AND 2017 SUPPLEMENTAL CODE INSULATION TO FOLLOW SPECIFICATIONS AS OUTLINED IN RESCHECK VAULTED CELINOS INSULATED TO R45 OR GREATER ABOVE GRADE WALLS TO BE INSULATED TO R-32 OR GREATER FOUNDATION WALLS TO BE INSULATED TO R-10 OR GREATER FRAMED FLOORS TO BE INSULATED TO R-32 OR GREATER SLABS ON GRADE TO BE INSULATED TO R-32 OR GREATER SLABS ON GRADE TO BE INSULATED TO R-10 UNDER SLAB.

CEILINGS: 4" SPRAYED CLOSED CELL CONTINUOUS INSULATION R6.5 per inch.

CEILINGS: 1* SPRAYED CLOSED CELL CONTINUOUS INSULATION 16.5 PPR INCI.
WITH POCKYVOOL R23 5-1/2* for total of R49
WALLS: 3* SPRAED CLOSED CELL CONTINUOUSE INSULATION R6.5 PER INCH.
WITH POCKYVOOL R15 -1/2* FOR TOTAL OF R34.5
FLOORS: 3* SPRAYED CLOSED CELL CONTINUOUSE INSULATION R6.5 PER

All water supply, drainage and venting to be installed as per IBC 2015/2017 SUPPLEMENT, and shall meet Suffolk County Health Department requirements as

approval.

3). If wall studs, plates or joists are cut out during installation for any plumbing related work,provide adequate bracing and plates to protect and secure the structure. Verify with the state code and manufacture's recommendation for maximum hole size and

1). Mechanical subcontractor is responsible for adhearing to all applicable codes and safety

HVAC subcontractor to provide final system layout drawing / shop drawings and submit it to the General Contractor and owner for final review and approval.

2). HVAC subcontractor is to fully coordinate all system data and requirements with the

Verify septic system with the Engineer for Suffolk County Health Department

THESE NOTES ARE ONLY TO BE REFERRED TO IF MENTIONED IN SCHEDULE NOTES ONLY.

ROOF			
JOINT DESCRIPTION	NAIL QTY.	NAIL SPACING	NOTES
RAFTER TO	8" WALL: 3-8d	EACH	TOE-NAIL
TOP PLATE	10" WALL: 4-8d	RAFTER	
CEILING JOIST	8" WALL: 3-8d	EACH	TOE-NAIL
TO TOP PLATE	10" WALL: 4-8d	JOIST	
CEILING JOIST TO	AS PER TABLE 3.7	EACH	FACE
PARALLEL RAFTER	WFCM -		NAIL
CEILING JOIST LAPS	AS PER TABLE 3.7	EACH	FACE
OVER PARTITION	WFCM -	LAP	NAIL
COLLAR TIE	AS PER TABLE 3.4	EACH	FACE
TO RAFTER	WFCM -		NAIL
BLOCKING	2 - 8d	EACH	TOE
TO RAFTER		END	NAIL
RIM TO RAFTER	2 - 16d	EACH END	END

WALL			
JOINT DESCRIPTION	NAIL QTY.	SPACING	NOTES
TOP PLATE TO	2 - 16d	PER	FACE NAIL
TOP PLATE		FOO	SEE NOTE: 1
TOP PLATES AT	4 - 16d	JOINTS	FACE
INTERSECTIONS		EA. SIDE	NAIL
STUD TO	2 - 16d	24°	FACE
STUD		O.C.	NAIL
HEADER	16d	16" O.C.	FACE
HEADER		ALONG	NAIL
TOP OR PLATE TO STUD	2 - 16d	PER 2x4	END
	3 - 16d	PER 2x6	NAIL
BOTTOM PLATE FLOOR JOIST, BAND END JOIST OR	2 - 16d	PER FOO	FACE NAIL SEE NOTE: 1,2

JOINT DESCRIPTION	NAIL QTY.	NAIL SPACING	NOTES
JOIST TO:	4 - 8d	PER.	TOE
SILL, TOP PLATE OR GIRDER		JOIST	NAIL
BRIDGING	2 - 8d	EACH	TOE
TO JOIST		END	NAIL
BLOCKING	2 - 8d	EACH	TOE
TO JOIST		END	NAIL
BLOCKING	3 - 16d	EACH	TOE
SILL OR TOP PLATE		BLOCK	NAIL
LEDGER STRIP	3 - 16d	EACH	FACE
TO		JOIST	NAIL
JOIST ON	3 - 8d	PER	TOE
TO		JOIST	NAIL
BAND JOIST	3 - 16d	PER	END
TO JOIST		JOIST	NAIL
BAND JOIST TO: SILL OR TOP PLATE	2 - 16d	PER	TOE NAIL

ROOF						
JOINT DESCRIPTION	NAIL QTY.	NAIL SPACING				
STRUCTURAL	Bd	AS PER TABLE 3.8				

CEILING SHEATHING JOINT DESCRIPTION

IOINT DESCRIPTION	NAIL QTY.	NAIL SPACING
STRUCTURAL PANELS	8d	AS PER TABLE 3.9 WFCM -
7/16" OSB PLYWOO	6d	3" O.C. 6" O.C. FIELD
GYPSU WALLBOAR	5d	7" O.C. 10" O.C . FIELD

LOOR SHEATHING:		×
JOINT DESCRIPTION	NAIL QTY.	NAIL SPACING
STRUCTURAL 1* OR LESS	8d	6" O.C. 12" O.C. FIELD

). When wall sheathing is continuous over connected half be permitted to be reduced to1 - 16d nail per foot

NOTES

DRAWING ISSUE

NO.	DATE	ISSUED FOR	
1	12247000	Georgest Vitage Review	
2	2/05/2021	Greenport 28A Submittel	
3	4/26/2021	Greenport 251A Submittal coverage update	
4	5/10/2021	Gramport ZIIA Submittel coverage updates	
5	6/23/2021	Greenport ZEA Submittel coverage update	
6			

Consultants:

SPINKLER ENGINEER SENTRY AUTOMATIC FIRE PROTECTION INC. 735 Flanders road Flanders, New York 11901

Architect of Record:

ISAAC - RAE

11575 Main Bayview Road Southold, NY 11971

Contact; Isaac Clay Coffey NYS LIC#039767

T. 347-276-6093 E. clay@isaac-rae.com

511 CARPENTER ST.

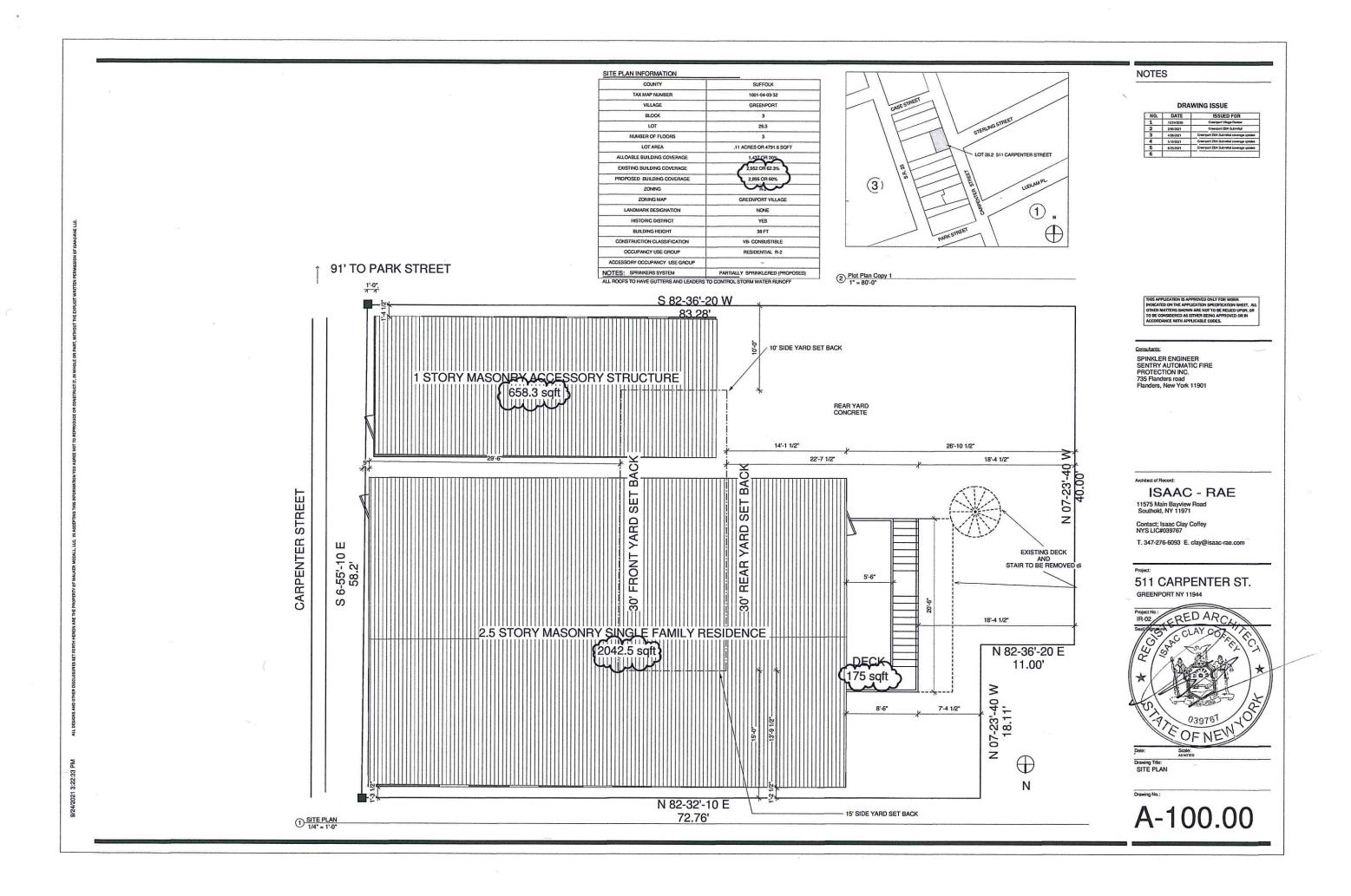
GREENPORT NY 1194



Drawing Title: GENERAL NOTES

T-002.00

1/4" = 1'-0"





NOTES

NO.	DATE	ISSUED FOR
1	02/05/2021	TOWN ZEA REVIEW
2		
3		
4		
5		
6		

Megan Walker Law (607) 222-6690 meganewalker1@gmail.com

Architect of Record:

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511 CARPENTER ST.

GREENPORT NY 11944



A-200.00

FINISH TO BE STUCCO. FINIS TO MATCH MONTEREY WHIT HC-27 BY BENJAMIN MOORE

PROPOSED ENTRY DOOR TO BE PAINTED: FINISH TO MATCH TARRYTOWN GREEN HC-134 BY BENJAMIN MOORE



FRONT VIEW OF EXISTING MAIN HOUSE AND ACCESSORY STRUCTURE.

PROPOSED WINDOW AND DOOR TRIMS TO MATCH MONTEREY WHITE

PROPOSED EXTERIOR WALLS FINISH TO BE STUCCO. FINISH TO MATCH MONTEREY WHITE HC-27 BY BENJAMIN MOORE



SIDE VIEW OF EXISTING MAIN HOUSE.

PROPOSED WIND
DOOR TRIMS TO
MONTEREY WHITH
HC-27 BY BENJAM

PROPOSED EXTE
FINISH TO BE STI
TO MATCH MONT
HC-27 BY BENJAM

BE PAINTED, FINISH TO MATCH TARRYTOWN GREEN HC-134 BY BENJAMIN MOORE

CORNER VIEW OF EXISTING MAIN HOUSE AND ACCESSORY STRUCTURE.

NOTES

DRAWING ISSUE

NO.	DATE	ISSUED FOR	
1	12/24/2020	Greenpart Village Review	
2	2052021	Gwerperl ZSA Submittal	
3	479/2021	Greenport ZBA Submittal coverage updates	
4	5/10/2021	Greenport ZBA th.onetal coverage updates	
5	6/23/2021	Greenport ZBA Submittel coverage updates	
6			

HIS APPLICATION IS APPROVED ONLY FOR WORK NOICATED ON THE APPLICATION SPECIFICATION SHEET, ALTHER MATTERS SHOWN ARE NOT TO BE RELIED UPON, OR O BE CONSIDERED AS EITHER BEING APPROVED OR IN COORDINATE WITH ABOUT A SHEET OF A SHEET O

Consultar

SPINKLER ENGINEER SENTRY AUTOMATIC FIRE PROTECTION INC. 735 Flanders road Flanders, New York 11901



PICTURE OF ADJACENT PROPERTY.



PICTURE OF ADJACENT PROPERTY.



PICTURE OF ADJACENT PROPERTY

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Southold, NY 11971

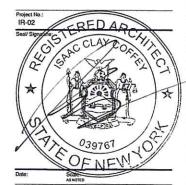
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Projec

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GREENPORT NY 11944



Drawing Title: SITE PICTURES

Drawino

A-201.00