

room	travel distance	common travel distance	Exit Discharge
#3-21	201.1	35	Staircase 1-Main Entry
#3-6	182.5	28.1	Staircase 2-North Yard
#3-13	102.7	25.6	Staircase 3-North Yard
#3-20	222.2	27.4	Staircase 4-North Yard
Lounge	150.9	40.8	Staircase 1-Main Entry
#2-1	141.9	31.8	Staircase 1-Main Entry
#2-6	145.3	31.5	Staircase 2-North Yard
#2-14	92.7	29.6	Staircase 3-North Yard
Library	192.7	71.8	Staircase 4-North Yard
Lobby	54	0	Main Entry
#1-2	100.6	30.3	West Entry
#1-3	117.7	30.3	North yard
#1-14	110.9	31	North yard
Prep	28.9	28.9	Own side door
Brakfast Rm	168.4	50.9	North Yard
Pool & Patio	158.6	93.6	Main Entry
Multi Purpose Room South	112.8	36.8	Staircase 3-North Yard
Multi Purpose Room North	128.7	25.5	Staircase 2-North Yard

Travel Distance: OK (250' Max w/ sprinkler NYSBC T1017.2)
Common Path of Travel Distance: one exit allowed (125' Max w/ sprinkler NYSBC T1006.2.1)

NOTES (NYSBC DEFINITIONS):

- CALCULATIONS SHOW ROOMS HAVING LONGEST DISTANCE FOR EACH EXIT ACCESS STAIRWAY.
- EXISTING AND NEW EXTERIOR/INTERIOR STAIRWAYS COMPLY WITH EXIT ACCESS STAIRWAYS.
- EXISTING COURTYARD WALKWAY COMPLIES WITH EXIT ACCESS REQUIREMENTS
- THE NORTH END OF THE COURTYARD, SPACE BETWEEN WEST AND EAST WINGS WHERE WIDTH IS WIDER THAN 10' COMPLIES THE EXIT DISCHARGE REQUIREMENTS. (NYSBC 1028.4)
- THE TRAVEL DISTANCE CALCULATIONS INCLUDE EXIT ACCESS STAIRWAYS, AND EXIT ACCESS COURTYARD WALKWAYS.

OCCUPANT LOAD CALCULATIONS:

ROOM	SF	occupancy	allowed sf	occupants load	Exit
#3-21	243	sleeping	120	3	Staircase 1-W. Ent.
#3-22	278	sleeping	120	3	Staircase 1-W. Ent.
#3-1	153	sleeping	120	2	Staircase 1-W. Ent.
#3-2	302	sleeping	120	3	Staircase 1-W. Ent.
#3-3	171	sleeping	120	2	Staircase 1-W. Ent.
#3-4	268	sleeping	120	3	Staircase 1-W. Ent.
#3-5	170	sleeping	120	2	Staircase 1-W. Ent.
#3-6	224	sleeping	120	2	Staircase 2-N. Yard
#3-7	224	sleeping	120	2	Staircase 2-N. Yard
#3-8	224	sleeping	120	2	Staircase 2-N. Yard
#3-9	320	sleeping	120	3	Staircase 2-N. Yard
#3-10	228	sleeping	120	2	Staircase 2-N. Yard
#3-11	243	sleeping	120	3	Staircase 2-N. Yard
#3-12	352	sleeping	120	3	Staircase 3-N. Yard
#3-13	247	sleeping	120	3	Staircase 3-N. Yard
#3-14	224	sleeping	120	2	Staircase 4-N. Yard
#3-15	224	sleeping	120	2	Staircase 4-N. Yard
#3-16	224	sleeping	120	2	Staircase 4-N. Yard
#3-17	234	sleeping	120	2	Staircase 4-N. Yard
Sto.	116	storage	300	1	Staircase 4-N. Yard
#3-18	320	sleeping	120	3	Staircase 4-N. Yard
#3-19	320	sleeping	120	3	Staircase 4-N. Yard
#3-20	320	sleeping	120	3	Staircase 4-N. Yard
S. Deck 436	Unconcentrated Assembly		15	30	Staircase 4-N. Yard
Lounge 611	business	100	7	7	Staircase 1-W. Ent.
#2-1	278	sleeping	120	3	Staircase 1-W. Ent.
#2-2	227	sleeping	120	2	Staircase 1-W. Ent.
#2-3	233	sleeping	120	2	Staircase 1-W. Ent.
#2-4	233	sleeping	120	2	Staircase 1-W. Ent.
#2-5	233	sleeping	120	2	Staircase 1-W. Ent.
#2-6	233	sleeping	120	2	Staircase 2-N. Yard
#2-7	233	sleeping	120	2	Staircase 2-N. Yard
#2-8	233	sleeping	120	2	Staircase 2-N. Yard
#2-9	301	sleeping	120	3	Staircase 2-N. Yard
#2-10	217	sleeping	120	2	Staircase 2-N. Yard
#2-11	252	sleeping	120	3	Staircase 2-N. Yard
#2-12	386	sleeping	120	4	Staircase 3-N. Yard
#2-13	225	sleeping	120	2	Staircase 3-N. Yard
#2-14	226	sleeping	120	2	Staircase 3-N. Yard
#2-15	225	sleeping	120	2	Staircase 4-N. Yard
#2-16	224	sleeping	120	2	Staircase 4-N. Yard
#2-17	225	sleeping	120	2	Staircase 4-N. Yard
sto.	57	storage	300	1	Staircase 4-N. Yard
Library 907	Reading	50	19	19	Staircase 4-N. Yard
S. Deck 436	Unconcentrated Assembly		15	30	Staircase 4-N. Yard
#1-1	233	sleeping	120	2	West Entry
#1-2	233	sleeping	120	2	West Entry
#1-3	233	sleeping	120	2	North Yard
#1-4	233	sleeping	120	2	North Yard
#1-5	233	sleeping	120	2	North Yard
#1-6	301	sleeping	120	3	North Yard
#1-7	217	sleeping	120	2	North Yard
#1-8	252	sleeping	120	3	North Yard
#1-9	388	sleeping	120	4	North Yard
#1-10	225	sleeping	120	2	North Yard
#1-11	226	sleeping	120	2	North Yard
#1-12	225	sleeping	120	2	North Yard
#1-13	224	sleeping	120	2	North Yard
#1-14	216	sleeping	120	2	North Yard
Lobby	1877	Reading	50	38	Main Entry
Office 161	Business	100	2	2	West Entry
Breakfast Rm 712	Unconcentrated Assembly		15	48	North Yard
Prep. 281	Kitchen	200	2	2	Own side door
Sto. 28	storage	300	1	1	Main Entry
Sto. 40	storage	300	1	1	Main Entry
Breakfast Rm Deck 436	Unconcentrated Assembly		15	30	Steps to Grade
Pool 998	pool	50	20	20	Main Entry
Pool Patio 2090	deck	15	140	140	Main Entry
Laundry 509	business	100	6	6	Staircase-Main Entry
Sto. 155	storage	300	1	1	Staircase-Main Entry
Closet1 207	storage	300	1	1	Staircase-Main Entry
EV mech. 50	storage	300	1	1	Staircase-Main Entry
Lounge 657	business	100	7	7	Staircase-Main Entry
Closet2 30	storage	300	1	1	Staircase-Main Entry
Multi Purpose Rm South 366	assembly, unconcentrated		15	25	Staircase-Main Entry
Multi Purpose Rm North 243	assembly, unconcentrated		15	17	Staircase-2-N Yard
Closet3 122	storage	300	1	1	Staircase-2-N Yard
Mech. 198	storage	300	1	1	Staircase-2-N Yard
Exercise 359	exercise Rm	50	8	8	Staircase-2-N Yard

ROOM	SF	occupancy	allowed sf	occupants load	Exit
#1-1	233	sleeping	120	2	West Entry
#1-2	233	sleeping	120	2	West Entry
#1-3	233	sleeping	120	2	North Yard
#1-4	233	sleeping	120	2	North Yard
#1-5	233	sleeping	120	2	North Yard
#1-6	301	sleeping	120	3	North Yard
#1-7	217	sleeping	120	2	North Yard
#1-8	252	sleeping	120	3	North Yard
#1-9	388	sleeping	120	4	North Yard
#1-10	225	sleeping	120	2	North Yard
#1-11	226	sleeping	120	2	North Yard
#1-12	225	sleeping	120	2	North Yard
#1-13	224	sleeping	120	2	North Yard
#1-14	216	sleeping	120	2	North Yard
Lobby	1877	Reading	50	38	Main Entry
Office 161	Business	100	2	2	West Entry
Breakfast Rm 712	Unconcentrated Assembly		15	48	North Yard
Prep. 281	Kitchen	200	2	2	Own side door
Sto. 28	storage	300	1	1	Main Entry
Sto. 40	storage	300	1	1	Main Entry
Breakfast Rm Deck 436	Unconcentrated Assembly		15	30	Steps to Grade
Pool 998	pool	50	20	20	Main Entry
Pool Patio 2090	deck	15	140	140	Main Entry
Laundry 509	business	100	6	6	Staircase-Main Entry
Sto. 155	storage	300	1	1	Staircase-Main Entry
Closet1 207	storage	300	1	1	Staircase-Main Entry
EV mech. 50	storage	300	1	1	Staircase-Main Entry
Lounge 657	business	100	7	7	Staircase-Main Entry
Closet2 30	storage	300	1	1	Staircase-Main Entry
Multi Purpose Rm South 366	assembly, unconcentrated		15	25	Staircase-Main Entry
Multi Purpose Rm North 243	assembly, unconcentrated		15	17	Staircase-2-N Yard
Closet3 122	storage	300	1	1	Staircase-2-N Yard
Mech. 198	storage	300	1	1	Staircase-2-N Yard
Exercise 359	exercise Rm	50	8	8	Staircase-2-N Yard

ROOM	SF	occupancy	allowed sf	occupants load	Exit
#1-1	233	sleeping	120	2	West Entry
#1-2	233	sleeping	120	2	West Entry
#1-3	233	sleeping	120	2	North Yard
#1-4	233	sleeping	120	2	North Yard
#1-5	233	sleeping	120	2	North Yard
#1-6	301	sleeping	120	3	North Yard
#1-7	217	sleeping	120	2	North Yard
#1-8	252	sleeping	120	3	North Yard
#1-9	388	sleeping	120	4	North Yard
#1-10	225	sleeping	120	2	North Yard
#1-11	226	sleeping	120	2	North Yard
#1-12	225	sleeping	120	2	North Yard
#1-13	224	sleeping	120	2	North Yard
#1-14	216	sleeping	120	2	North Yard
Lobby	1877	Reading	50	38	Main Entry
Office 161	Business	100	2	2	West Entry
Breakfast Rm 712	Unconcentrated Assembly		15	48	North Yard
Prep. 281	Kitchen	200	2	2	Own side door
Sto. 28	storage	300	1	1	Main Entry
Sto. 40	storage	300	1	1	Main Entry
Breakfast Rm Deck 436	Unconcentrated Assembly		15	30	Steps to Grade
Pool 998	pool	50	20	20	Main Entry
Pool Patio 2090	deck	15	140	140	Main Entry
Laundry 509	business	100	6	6	Staircase-Main Entry
Sto. 155	storage	300	1	1	Staircase-Main Entry
Closet1 207	storage	300	1	1	Staircase-Main Entry
EV mech. 50	storage	300	1	1	Staircase-Main Entry
Lounge 657	business	100	7	7	Staircase-Main Entry
Closet2 30	storage	300	1	1	Staircase-Main Entry
Multi Purpose Rm South 366	assembly, unconcentrated		15	25	Staircase-Main Entry
Multi Purpose Rm North 243	assembly, unconcentrated		15	17	Staircase-2-N Yard
Closet3 122	storage	300	1	1	Staircase-2-N Yard
Mech. 198	storage	300	1	1	Staircase-2-N Yard
Exercise 359	exercise Rm	50	8	8	Staircase-2-N Yard

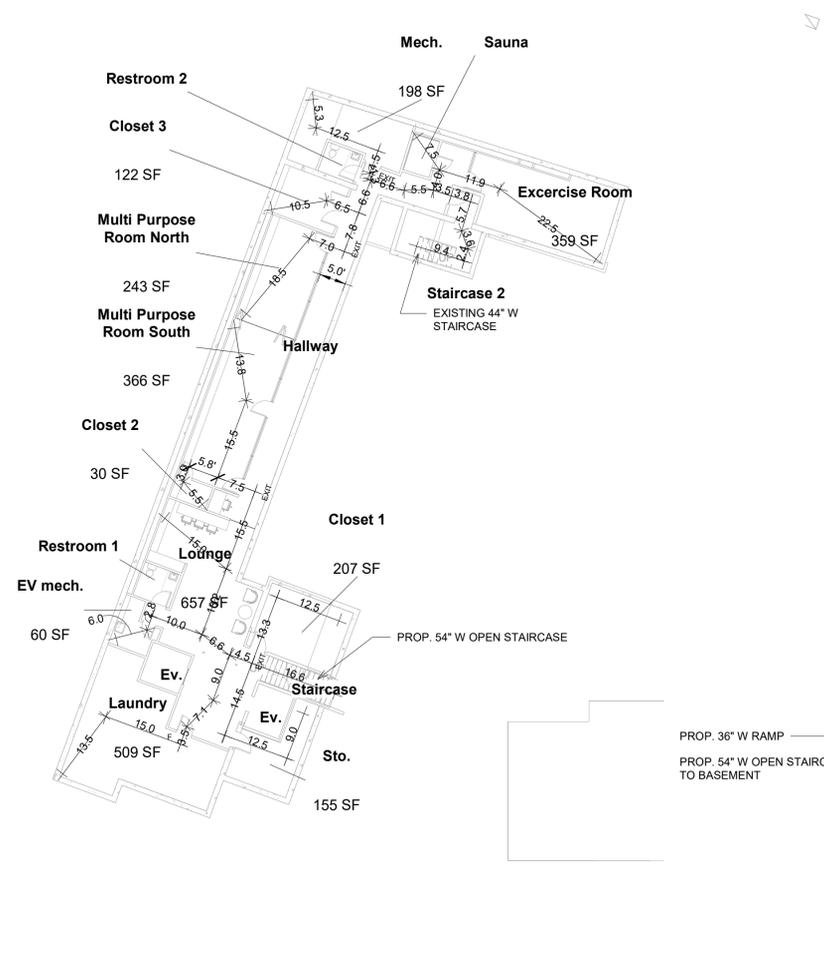
ROOM	SF	occupancy	allowed sf	occupants load	Exit
#1-1	233	sleeping	120	2	West Entry
#1-2	233	sleeping	120	2	West Entry
#1-3	233	sleeping	120	2	North Yard
#1-4	233	sleeping	120	2	North Yard
#1-5	233	sleeping	120	2	North Yard
#1-6	301	sleeping	120	3	North Yard
#1-7	217	sleeping	120	2	North Yard
#1-8	252	sleeping	120	3	North Yard
#1-9	388	sleeping	120	4	North Yard
#1-10	225	sleeping	120	2	North Yard
#1-11	226	sleeping	120	2	North Yard
#1-12	225	sleeping	120	2	North Yard
#1-13	224	sleeping	120	2	North Yard
#1-14	216	sleeping	120	2	North Yard
Lobby	1877	Reading	50	38	Main Entry
Office 161	Business	100	2	2	West Entry
Breakfast Rm 712	Unconcentrated Assembly		15	48	North Yard
Prep. 281	Kitchen	200	2	2	Own side door
Sto. 28	storage	300	1	1	Main Entry
Sto. 40	storage	300	1	1	Main Entry
Breakfast Rm Deck 436	Unconcentrated Assembly		15	30	Steps to Grade
Pool 998	pool	50	20	20	Main Entry
Pool Patio 2090	deck	15	140	140	Main Entry
Laundry 509	business	100	6	6	Staircase-Main Entry
Sto. 155	storage	300	1	1	Staircase-Main Entry
Closet1 207	storage	300	1	1	Staircase-Main Entry
EV mech. 50	storage	300	1	1	Staircase-Main Entry
Lounge 657	business	100	7	7	Staircase-Main Entry
Closet2 30	storage	300	1	1	Staircase-Main Entry
Multi Purpose Rm South 366	assembly, unconcentrated		15	25	Staircase-Main Entry
Multi Purpose Rm North 243	assembly, unconcentrated		15	17	Staircase-2-N Yard
Closet3 122	storage	300	1	1	Staircase-2-N Yard
Mech. 198	storage	300	1	1	Staircase-2-N Yard
Exercise 359	exercise Rm	50	8	8	Staircase-2-N Yard

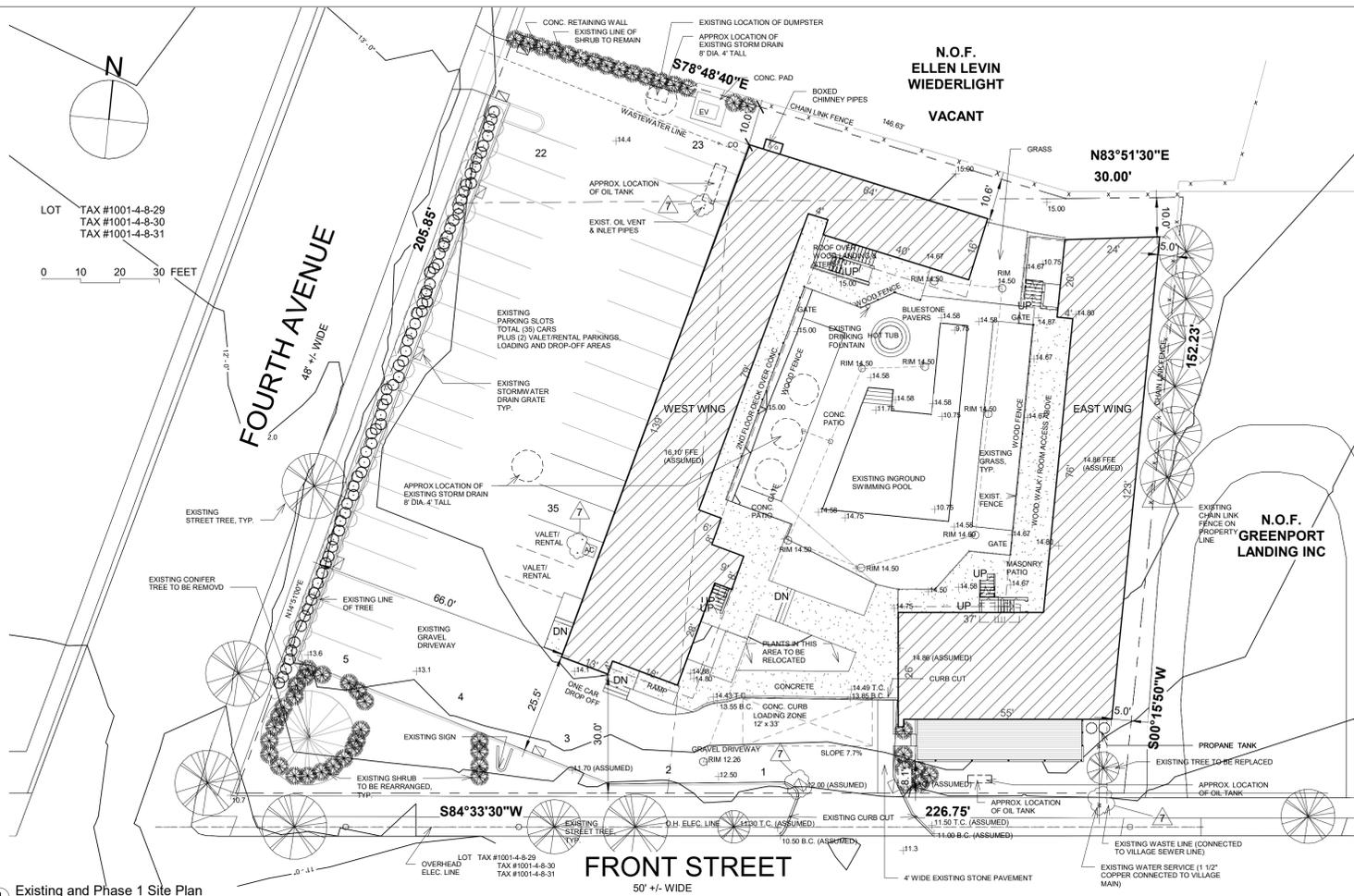
Stair	width (inches)	min. width (inches)	PROP.
Stair1	36(OL)x 0.3(inch/OL) = 10.8	10.8	36" MIN. PROP. 50" OK
Stair2	28(OL)x 0.3(inch/OL) = 8.4	8.4	36" MIN. EXISTING & PROP. 44" OK
Stair3	14(OL)x 0.3(inch/OL) = 4.2	4.2	36" MIN. EXISTING & PROP. 54" OK
Stair4	104(OL)x 0.3(inch/OL) = 31.2	31.2	44" MIN. EXISTING & PROP. 48" OK
Breakfast Rm Deck	30(OL)x 0.3(inch/OL) = 9	9	36" MIN. EXISTING 36" OK

Room	width (inches)	min. width (inches)	PROP.
W Entry	64(OL)x 0.15(inch/OL) = 9.6	9.6	36" MIN. EXISTING OK
N Yard	249(OL)x 0.15(inch/OL) = 37.35	37.35	Corridor 44", Door 32" MIN. EXISTING OK
Main Entry	242(OL)x 0.15(inch/OL) = 36.3	36.3	Corridor 44", Door 36.3" MIN. PROP. OK

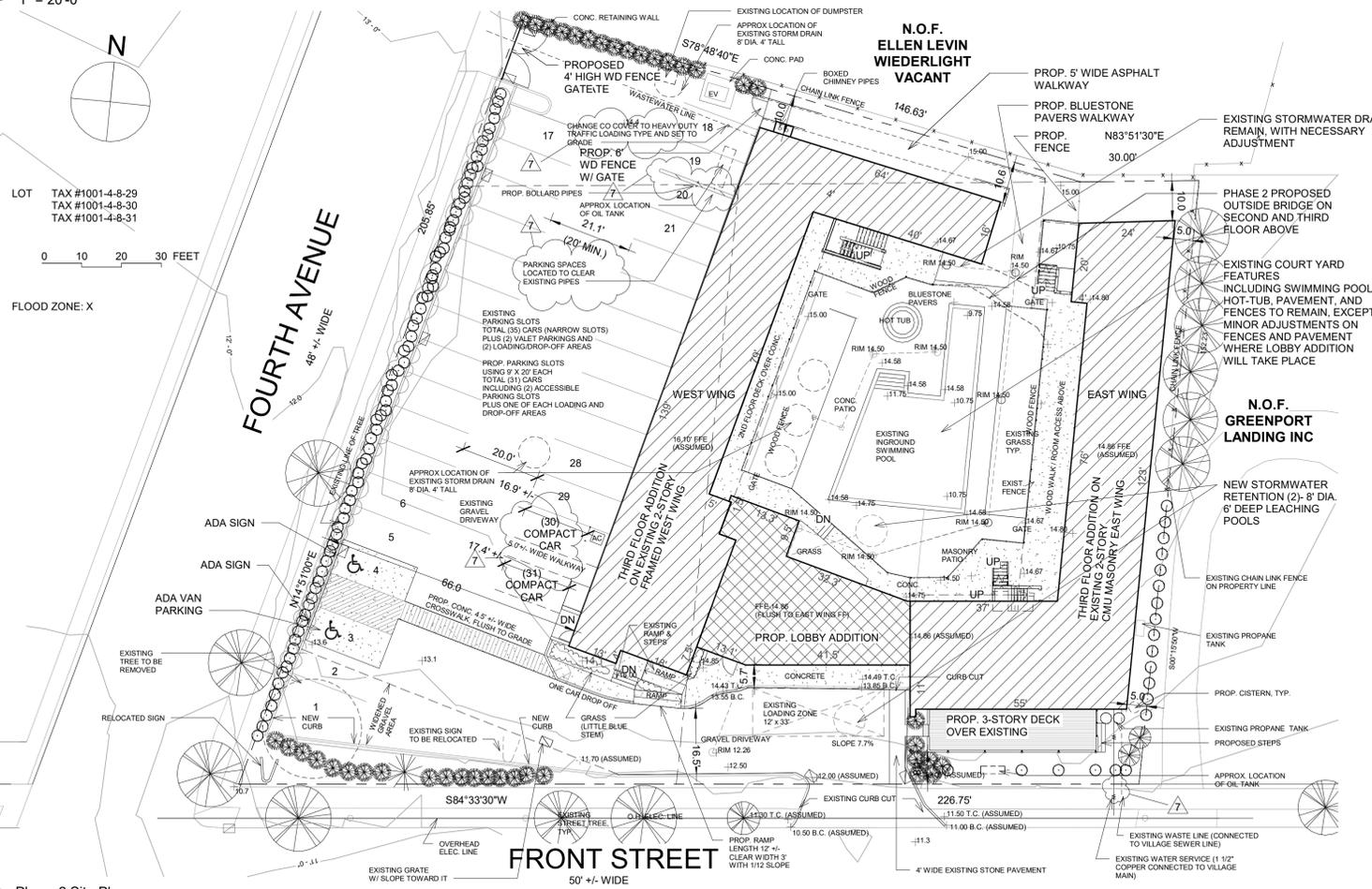
NOTES:

- PROP. STAIRWAYS AND OTHER MEANS OF EGRESS COMPONENTS ALSO COMPLY WITH ACCESSIBLE MEANS OF WAY REQUIREMENTS (NYSBC 1009)
- DOOR SWING SHALL BE IN THE DIRECTION OF EGRESS, EXCEPT WHEN THE OCCUPANT LOAD IS LESS THAN 50 (NYSBC 1010.1.2.1)

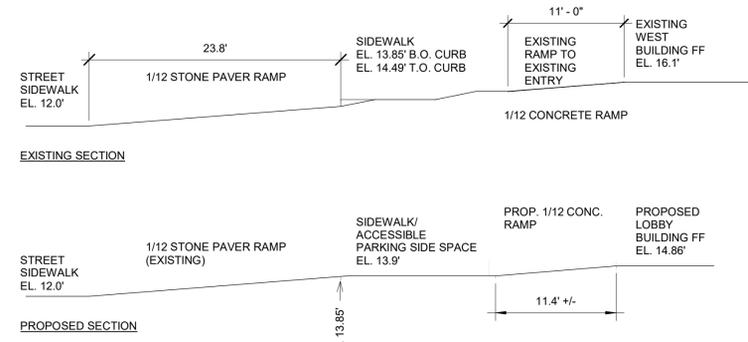




1 Existing and Phase 1 Site Plan
1" = 20'-0"



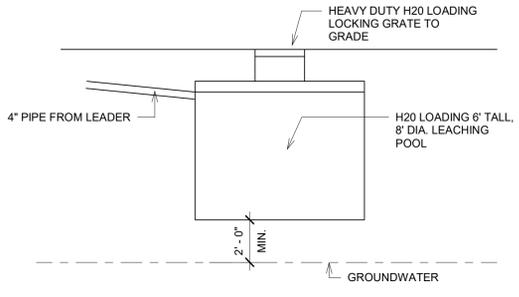
2 Phase 2 Site Plan
1" = 20'-0"



3 Section thru Access route
N.T.S.

EXTERIOR PROPOSED FEATURES
 - EXTERIOR LIGHTING: RECESSED LED FIXTURE AT THE LOBBY ENTRY SOFFIT
 - NEW GATE AT THE NORTH OF PARKING: 6' H. WOOD BARN DOOR STYLE, W/ BRACE, PAINTED
 - LANDSCAPE: ALL EXISTING LANDSCAPE TO REMAIN EXCEPT WHERE PHASE 2 ADDITION WILL COVER. NEW SHORT BLUE STEM WILL BE INSTALLED BESIDE THE NEW ENTRY, EAST OF EXISTING WEST WING, TO THE NEW LOBBY

STORMWATER MANAGEMENT CALCULATIONS:
 ROOF ADDITION:
 1,747 SQ.FT. X 2 INCH/HR RAIN = 291.17 CUFT
 USE 8" DIA. POOL WITH 42.24 CUFT/VF
 291.17 CUFT / 42.24 CUFT/VF = 6.9 VF REQUIRED
 USE (2)-POOLS, 8 DIA. 6' DEEP



4 Stormwater Drain Diagram
N.T.S.

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 631 323 1426
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Owner:
 ANVK NY Holdings Trust
 326 Front Street, Greenport NY 11944
 Phone: (631) 477-0066

No.	Description	Date
2	Misc. Revisions	5/2/19
6	Accessible Parking Revision	8/10/19
7	Correction on Summary of Work and revision on Parking Condition Details	9/19/19

PROJECT:
THE GREENPORTER HOTEL

Site Plans

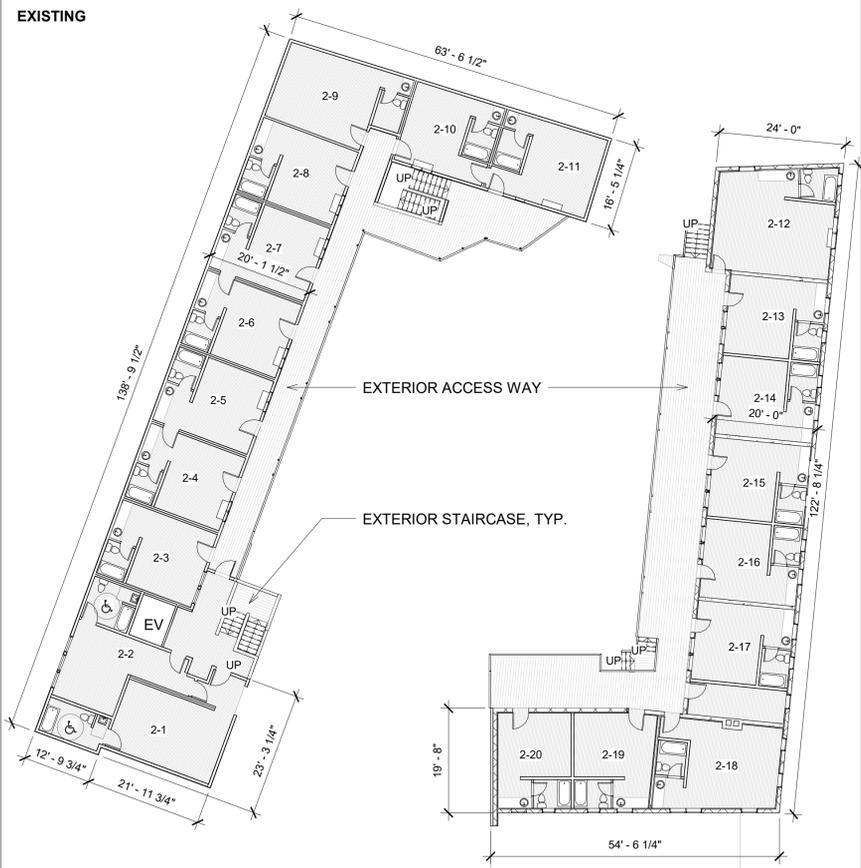
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Date	3/13/2019
Drawn by	HA
Checked by	GB

Scale: As indicated

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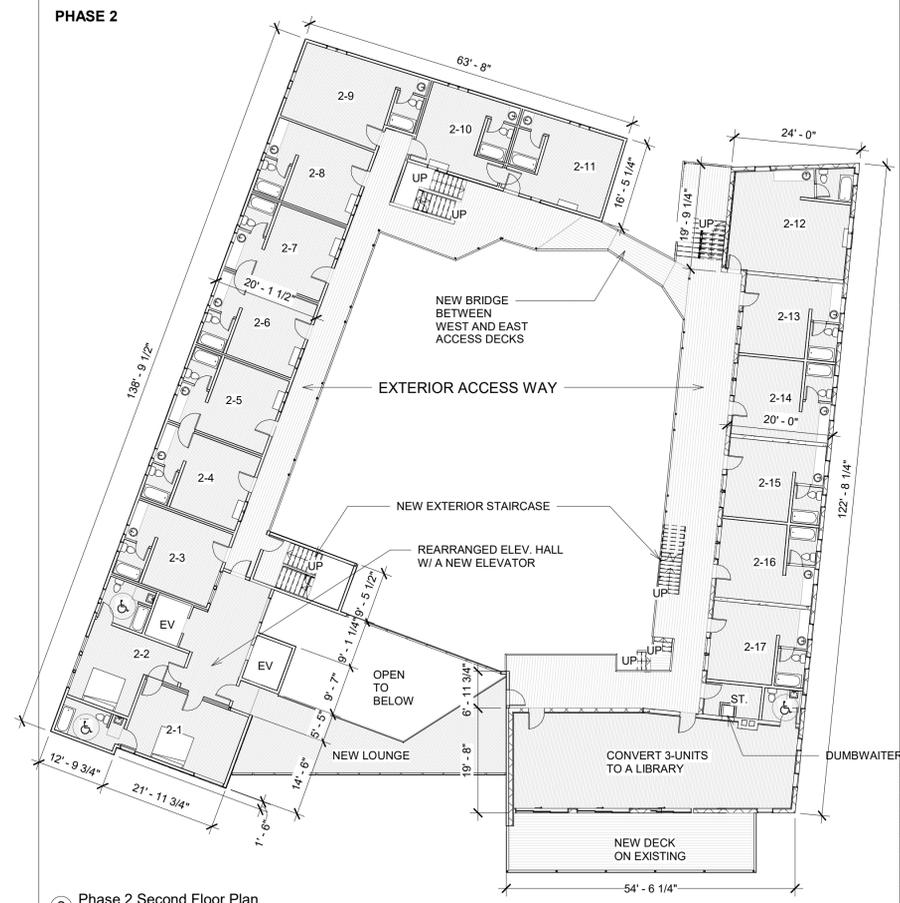
EXISTING



PHASE 1

NO CHANGE ON SECOND FLOOR IN PHASE 1

PHASE 2



1 Existing Second Floor Plan
1/16" = 1'-0"

2 Phase 2 Second Floor Plan
1/16" = 1'-0"



3 Phase 2 Third Floor Plan
1/16" = 1'-0"

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No.	Description	Date
2	Misc. Revisions	5/2/19
5	Front Deck Revision	6/19/19

PROJECT:
**THE GREENPORTER
HOTEL**

Floor Plans 2

Project number	1826
Date	3/13/2019
Drawn by	HA
Checked by	GB

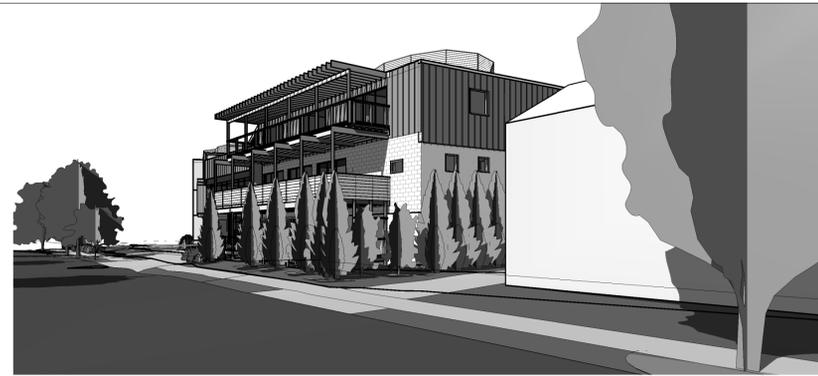
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2 View from West



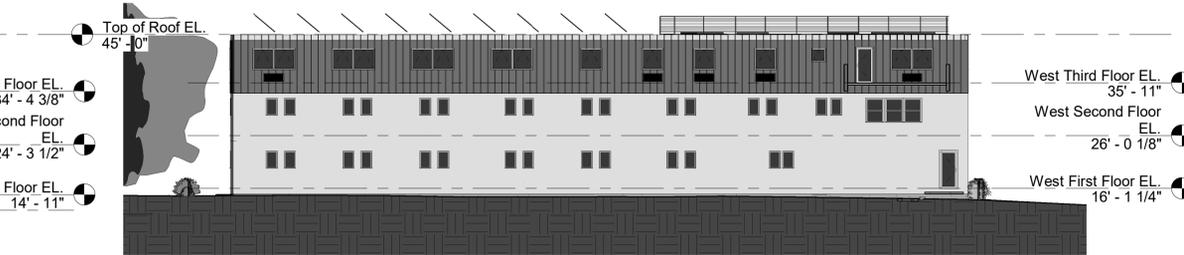
3 View from East



4 View from South



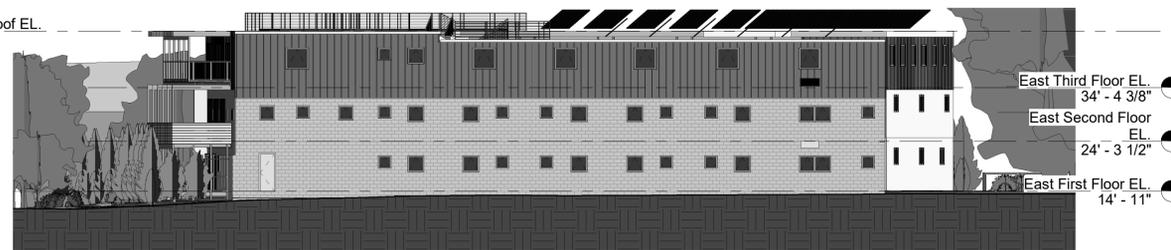
5 Elevation Ph2 South
1/16" = 1'-0"



6 Elevation ph2 West
1/16" = 1'-0"

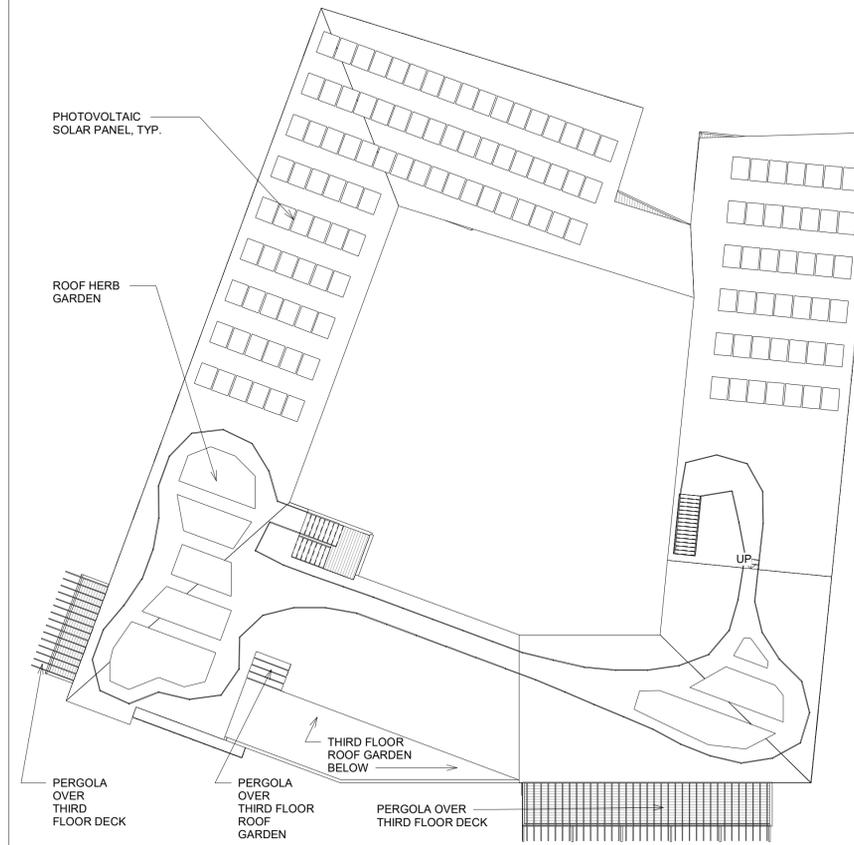


7 Elevation Ph2 North-
1/16" = 1'-0"



8 Elevation Ph2 East
1/16" = 1'-0"

PHASE 2



1 Phase 2 Roof Plan
1/16" = 1'-0"

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No.	Description	Date
2	Misc. Revisions	5/2/19
5	Front Deck Revision	6/19/19

PROJECT:
**THE GREENPORTER
HOTEL**

Roof Plan, Street
Views, and Elevations

Project number	1826
Date	3/13/2019
Drawn by	HA
Checked by	GB

Scale 1/16" = 1'-0"

A-05