



PLANNING BOARD SITE PLAN REVIEW APPLICATION

236 Third Street, Greenport, New York, 11944
(631) 477-0248
www.villageofgreenport.org

RECEIVED
JUN 03 2022

BY:

Date of Application _____

All information below is to be completed by the applicant. This completed application is to be accompanied by the proposed Site Plan, Copies of Covenants and/or Restrictions, where applicable, Environmental Assessment Form, building plans showing elevations, setbacks, floor plans, room dimensions, current survey and quality of material, where applicable.

THE OWNER OF THE PROPERTY IS: (PLEASE PRINT CLEARLY)

CHRISTOPH MVELLER ASCM LLC (ANKER)
First Name Last Name Business Name, if applicable

[REDACTED] [REDACTED] [REDACTED] [REDACTED]
Mailing Address City/ Town/ Village State Zip

[REDACTED] [REDACTED]
Phone # E-Mail Address

CONTACT PERSON (if different from owner)

The person to receive all correspondence:

ROBERT I BROWN ARCHITECT P.C. & AGENTS
First Name Last Name Business Name, if applicable

205 BAY AVENUE GREENPORT NY 11944
Mailing Address City/ Town/ Village State Zip

631-477-9752 INFO@RIBROWARCHITECT.COM
Phone # E-Mail Address

IF ANYONE OTHER THAN THE OWNER COMPLETES THIS APPLICATION, WRITTEN CONSENT FROM THE OWNER MUST BE SUBMITTED WITH THIS APPLICATION. ✓

Location:

Suffolk County Tax Map Number: 1001 Section: 05 Block: 04 Lot 19

Street Address: 47 FRONT STREET Greenport, New York, 11944

Zoning District: WC R1 R2 PD CR CG

Is property located within the Historic District? Yes No



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Project Information:

Residential Commercial

Proposed Starting Date: TBD SUMMER 2022

Project Description:

Please describe project in detail. (Use an additional sheet if necessary)

THIS APPLICATION IS THE PROPOSAL FOR OUTDOOR SEATING IN FRONT OF THE BUILDING (AND ALONG FRONT STREET). THERE IS AN EXISTING CONCRETE PATIO THAT IS LEVEL WITH THE SIDEWALK AND AN EXISTING AWNING COVERING THE AREA.

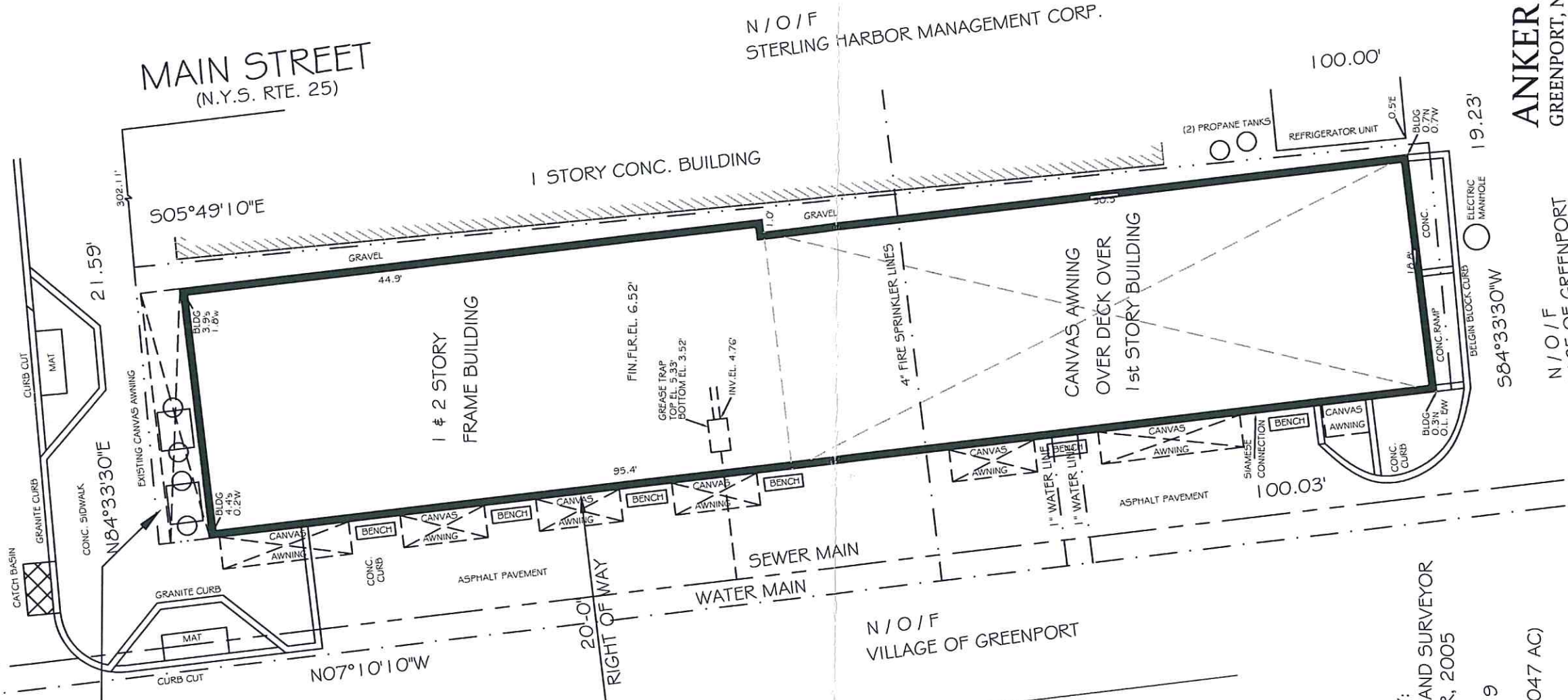
THE AREA IS 76 SQUARE FEET, AT 15 SF PER PERSON THE PROPOSED NUMBER OF SEATING IS 5 PERSONS

Please check the following boxes for permits this project will require:

- Building Permit
- Wetlands Permit
- Suffolk County Planning Board
- New York State D.E.C.
- United States Army Corps of Engineers
- Suffolk County Health Department
- New York State Department of State Coastal Flood Management

Does this application require a Zoning Board of Appeals Variance? Yes No

10" SEWER MAIN
WATER MAIN
FRONT STREET
(N.Y.S. RTE. 25)



EXISTING COVERED CONCRETE PATIO
76 SF
PROPOSED OUTDOOR SEATING
15 SF / PERSON
= 5 PERSONS ALLOWED

BASED ON SURVEY BY:
JOSEPH A. INGEGNO LAND SURVEYOR
DATED: 29 NOVEMBER, 2005
SCTM: 1001-05-04-19
ZONED: CR
AREA: 2,040.8 SF (0.047 AC)



SITE PLAN

SCALE: 1" = 10'-0"
EXISTING EXCEPT AS NOTED

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BY:

N/O/F
STERLING HARBOR MANAGEMENT CORP.

N/O/F
VILLAGE OF GREENPORT

ANKER (47 FRONT ST)
GREENPORT, NY 11944

03 JUNE, 2022
SCALE: 1" = 10'-0"
Robert I. Brown
Architect, P.C.
205 Bay Ave. Greenport NY
info@ribrownarchitect.com
631-477-9752



IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER ANY ITEM ON THIS DRAWING IN ANY WAY. ANY AUTHORIZED ALTERATION MUST BE NOTED, SEALED, AND DESCRIBED IN ACCORDANCE WITH THE LAW.