

RESIDENTIAL GENERAL NOTES

MISC. GENERAL NOTES
1. THIS PROJECT IS THE INTERIOR RENOVATION OF THE STOREFRONT FACADE OF A 2-STORY RESTAURANT, ZONED AS CR.

6. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

DEMOLITION
1. CONTRACTOR SHALL DEMOLISH WALLS, FLOOR, AND EXISTING ROOF AS INDICATED ON DRAWINGS AND AS NECESSARY, AND REMOVE DEBRIS.

FOUNDATIONS
1. ASSUMED SOIL BEARING CAPACITY: 1,500 LB/SQ.FT.
2. CONCRETE TO BE REIN. REINFORCED 3,000 PSI, 28 DAY TEST.

GENERAL CONSTRUCTION
1. PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, EQUIPMENT AND SERVICES NECESSARY TO COMPLETE ALL WOOD AND PLASTIC WORK REQUIRED BY THE DRAWINGS AS SPECIFIED HEREIN, OR REASONABLY IMPLIED AS NECESSARY TO COMPLETE THE WORK.

CLIMATIC AND GEOGRAPHIC CRITERIA
DESIGN SNOW LOAD: 20 PSF (PER FIG. 1.60B, 2 BCNYS 2020)
WIND SPEED (ULTIMATE DESIGN): 130 MPH (PER FIG. 1.609.3(1) BCNYS 2020)

FINISHES
1. NEW WOOD FLOORS TO BE SELECTED BY OWNER, SANDED AND POLYURETHANE, 3 COATS.
2. EXISTING WOOD FLOORS SHALL BE PROTECTED, SANDED AND REFINISHED.

HVAC
1. PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, EQUIPMENT AND SERVICES NECESSARY TO PROVIDE A HVAC SYSTEM TO HEAT AND COOL THE LIVING SPACES AS REQUIRED BY THE DRAWINGS AND SPECIFICATIONS AND THE 2020 MECHANICAL CODE OF NEW YORK STATE, OR REASONABLY IMPLIED AS NECESSARY TO COMPLETE TO WORK.

PLUMBING
1. PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, EQUIPMENT, AND SERVICES NECESSARY TO COMPLETE ALL NEW PLUMBING WORK REQUIRED BY THE DRAWINGS AND SPECIFICATIONS AND THE 2020 PLUMBING CODE OF NEW YORK STATE, OR REASONABLY IMPLIED AS NECESSARY TO COMPLETE THE WORK.

ELECTRICAL
1. FURNISH ALL LABOR, MATERIALS, EQUIPMENT, PLANT, TOOLS, AND SERVICES NECESSARY AND REQUIRED FOR PROPER AND COMPLETE INSTALLATION OF ALL NEW ELECTRICAL SYSTEMS AND RELATED WORK INCLUDING, BUT NOT LIMITED TO, CONNECTIONS TO PREVIOUSLY INSTALLED ELECTRICAL SYSTEMS, WIRING, LIGHTING, SERVICES, FEEDERS, DISTRIBUTION AND PROTECTION EQUIPMENT, CONNECTIONS TO APPLIANCES, GROUNDING, AND ALL INCLUDING ALL CONNECTIONS AND DEVICES WITHIN THE SCOPE OF THE WORK AS SHOWN ON THE APPLICABLE DRAWINGS AND SPECIFICATIONS AND AS NORMALLY SPECIFIED IN THIS TYPE OF PROJECT AND INCLUDING CONNECTIONS TO PREVIOUSLY INSTALLED TRANSFORMERS AND ELECTRICAL DISTRIBUTION SYSTEMS.

CONTRACTOR SHALL COORDINATE WITH OWNERS ALARM COMPANY FOR SMOKE AND BURGLAR ALARMS AS NECESSARY.

CLIMATIC AND GEOGRAPHIC CRITERIA

DESIGN SNOW LOAD: 20 PSF (PER FIG. 1.60B, 2 BCNYS 2020)
WIND SPEED (ULTIMATE DESIGN): 130 MPH (PER FIG. 1.609.3(1) BCNYS 2020)

NAILING SCHEDULE

ROOF FRAMING
RAFTER TO TOP PLATE (TOE-NAILED) 3 PER RAFTER
CEILING JOIST TO TOP PLATE (TOE-NAILED) 3 PER JOIST

FLOOR FRAMING

JOIST TO SILL, TOP PLATE TO GIRDER (TOE-NAILED) 4-6d PER JOIST
BRIDGING TO JOIST (TOE-NAILED) 2-6d EACH END

ROOF SHEATHING

STRUCURAL PANELS 8d (TABLE 3.8)
DIAGONAL BOARD SHEATHING 1-1/2" OR 1-3/4" 2-6d PER SUPPORT

CEILING SHEATHING

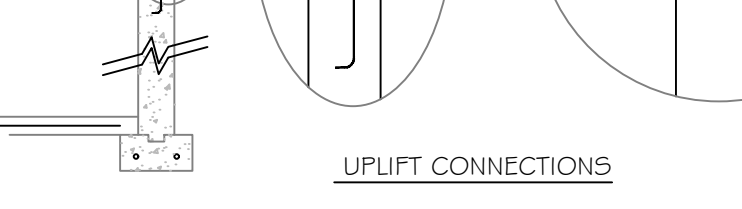
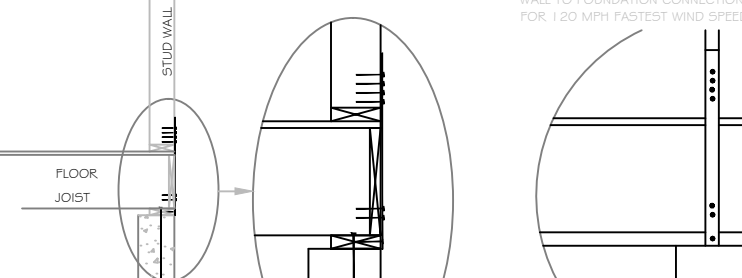
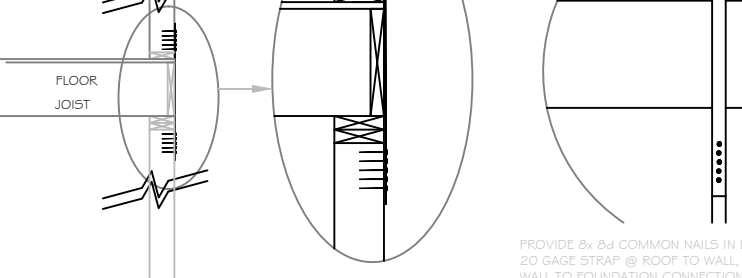
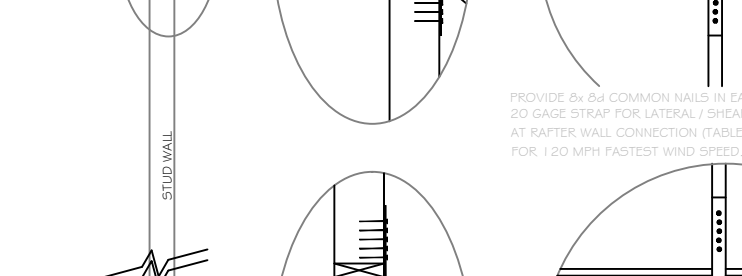
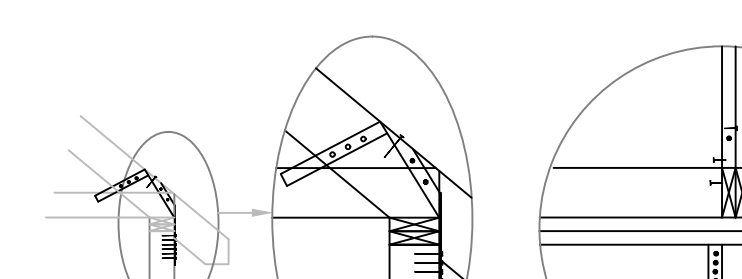
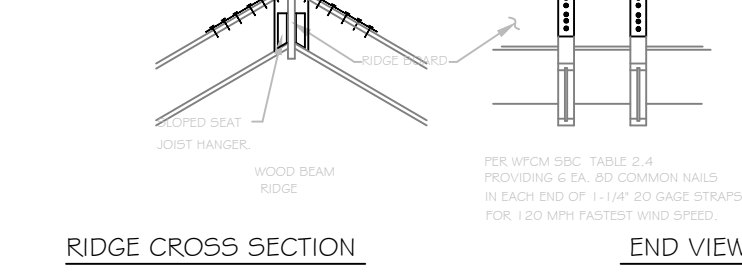
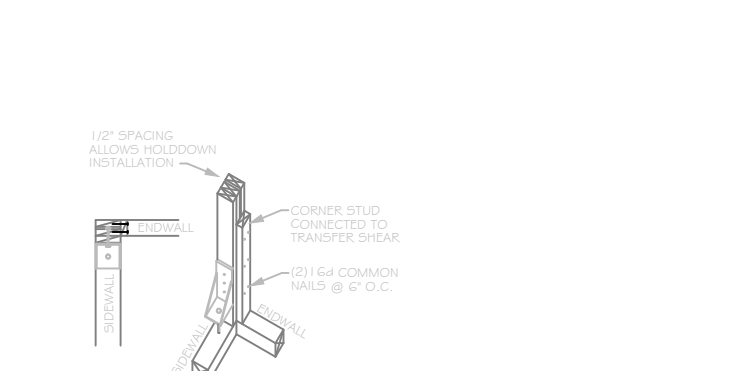
GYP/SM WALLBOARD 5d coaters 7"EDGE / 11" FIELD

WALL SHEATHING

STRUCURAL PANEL 8d (TABLE 3.9)
FIBERBOARD PANELS 7d 3"EDGE / 6" FIELD

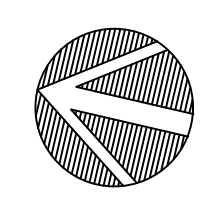
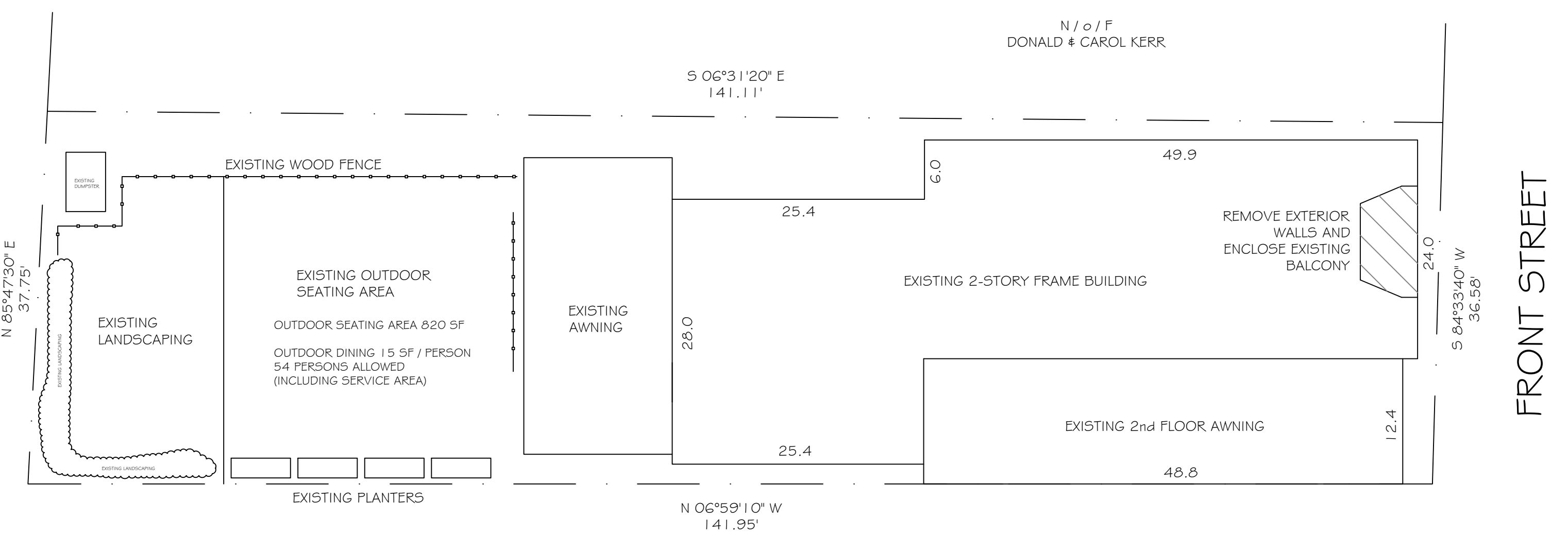
FLOOR SHEATHING

STRUCURAL PANELS 8d 6"EDGE / 12" FIELD
DIAGONAL BOARD SHEATHING 1-1/2" OR 1-3/4" 2-6d PER SUPPORT



CONNECTIONS DETAIL

Table with 12 columns: CLIMATE ZONE, FENESTRATION U-FACTOR, SKYLIGHT U-FACTOR, FENESTRATION SHGC, CEILING R-VALUE, WOOD FRAME WALL R-VALUE, MASS WALL R-VALUE, FLOOR R-VALUE, BASEMENT WALL R-VALUE, SLAB R-VALUE # DEPTH, CRAWL SPACE WALL R-VALUE. Values: 4, 0.35, 0.55', 0.40, 49, 20 OR 13+5, 8 / 13, 19, 10 / 13, 10, 2FT, 10 / 13



SITE PLAN

EXISTING EXCEPT AS NOTED
SCALE: 1" = 10'

BASED ON SURVEY BY: JOHN C. EHLERS LAND SURVEYOR
DATED: 31 MAY, 2018

SCTM: 1001-04-10-32
ZONED: CR
AREA: 5,526 SF (0.12 AC)

FLOOD ZONE: AE EL. 6 FT

ISSUES / REVISIONS

THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF THE ARCHITECT. INFRINGEMENTS WILL BE PROSECUTED.
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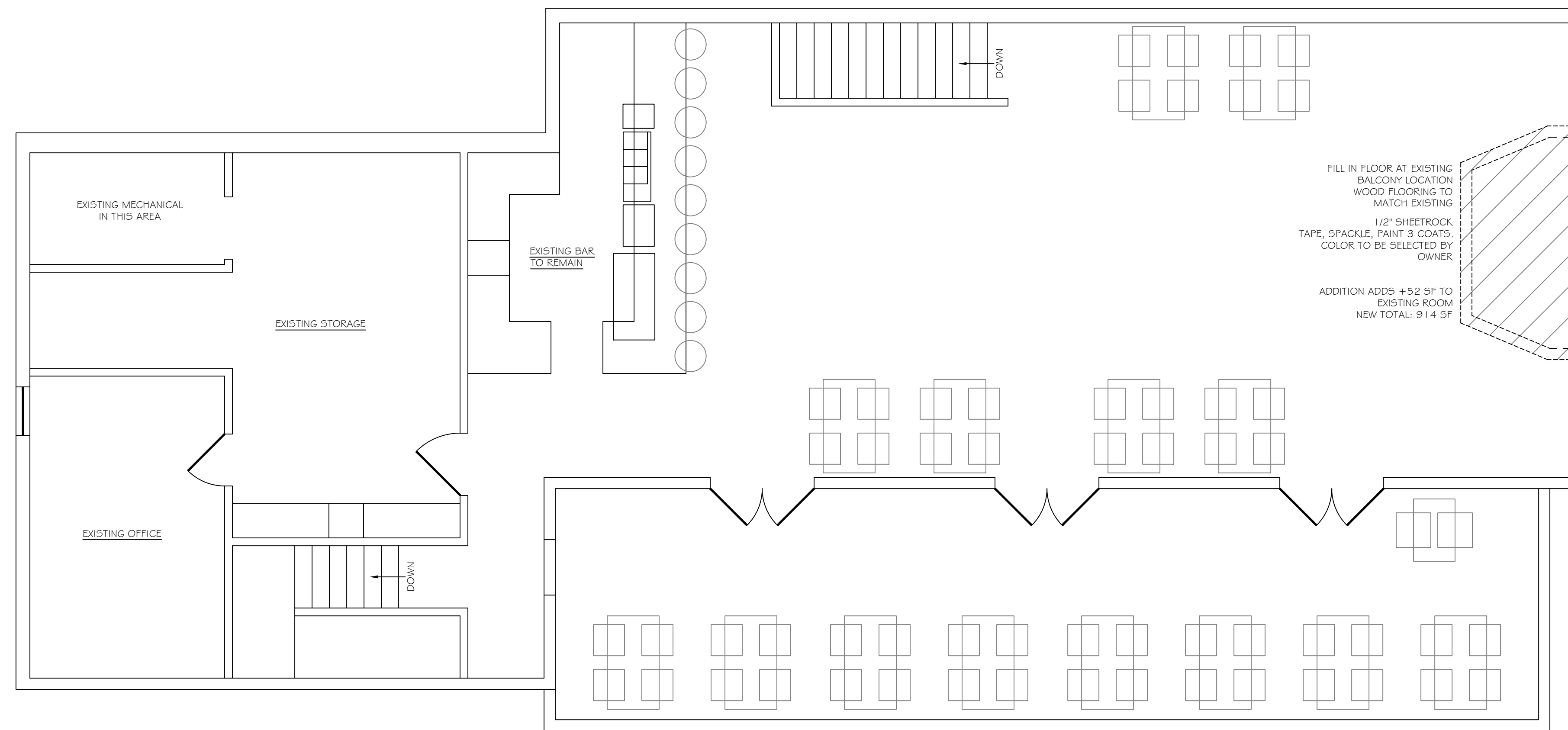
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CLIENT / OWNER
GREEN HILL KITCHEN
48 FRONT STREET
GREENPORT, NY 11944

PROJECT TITLE
RENOVATIONS AND ADDITION
DRAWING TITLE
SITE PLAN

16 FEBRUARY, 2022 SCALE
1" = 10'-0"
DRAWING NO.

A1



REMOVE EXISTING BALCONY REBUILD WALL AS SHOWN NEW WINDOWS TO MATCH EXISTING

2x6 EXTERIOR CONSTRUCTION TO MATCH EXISTING R-22 BATT INSULATION IN NEW SECTION AND ANY OPENED WALL SECTION CD-X RATED PLYWOOD SHEATHING VAPOUR BARRIER SIDING TO MATCH EXISTING

SECOND FLOOR PLAN

SCALE: 3/16" = 1'-0"
EXISTING EXCEPT AS NOTED



REMOVE EXISTING BALCONY REBUILD WALL AS SHOWN

NEW ANDERSEN 400 SERIES (3) CW 135 CASSEMENT WINDOWS - STATIONARY OVER (3) AW 251 AWNING WINDOWS - STATIONARY 6 LITES ALL COLORS TO MATCH EXISTING

SOUTH ELEVATION (FRONT STREET)

SCALE: 1/4" = 1'-0"
EXISTING EXCEPT AS NOTED

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GREENPORT, NY 11944

PROJECT TITLE

INTERIOR & EXTERIOR RENOVATIONS

DRAWING TITLE

SECOND FLOOR PLAN ELEVATION

16 FEBRUARY, 2022 SCALE 1/4" = 1'-0"
DRAWING NO.

A2