

STONE CURB

VILLAGE OF GREENPORT
BUILDING DEPARTMENT

OCT 1 9 1999

RECORDED

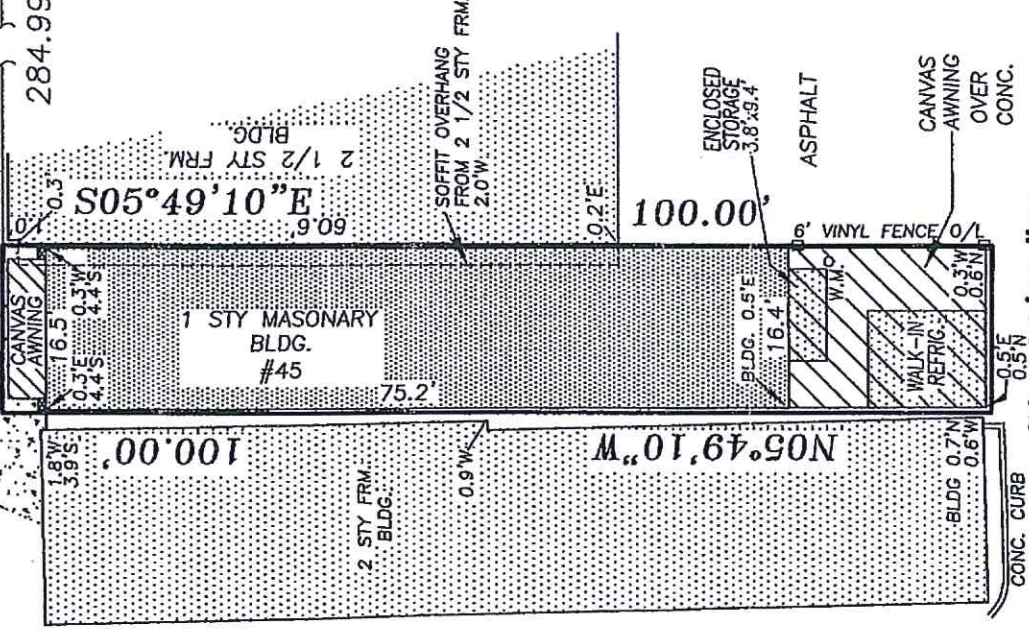
FRONT STREET

N84°33'30"E
17.12'

STONE CURB

MAIN STREET

284.99'



CONC. WALL W/6'WOOD FENCE

UPDATED 06-16-18

AREA: 1,711.96 SQ.FT. or 0.04 ACRES

THE WATER SUPPLY, WELLS, DRYWELLS AND CESSPOOL LOCATIONS SHOWN ARE FROM FIELD OBSERVATIONS AND OR DATA OBTAINED FROM OTHERS.
ELEVATION DATUM: _____

UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY. GUARANTEES INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION, GUARANTEES ARE NOT TRANSFERABLE.
THE OFFSETS OR DIMENSIONS SHOWN HEREON FROM THE PROPERTY LINES TO THE STRUCTURES ARE FOR A SPECIFIC PURPOSE AND USE THEREFORE THEY ARE NOT INTENDED TO MONUMENT THE PROPERTY LINES OR TO GUIDE THE ERECTION OF FENCES, ADDITIONAL STRUCTURES OR AND OTHER IMPROVEMENTS. EASEMENTS AND/OR SUBSURFACE STRUCTURES RECORDED OR UNRECORDED ARE NOT GUARANTEED UNLESS PHYSICALLY EVIDENT ON THE PREMISES AT THE TIME OF SURVEY

SURVEY OF: DESCRIBED PROPERTY

MAP OF:

FILED:

SITUATED AT: VILLAGE OF GREENPORT

TOWN OF: SOUTHDOLD

SUFFOLK COUNTY, NEW YORK

FILE # 12-103 SCALE: 1"=20' DATE: AUG 18 2012

CERTIFIED TO: 45 FRONT STREET PROPERTY LLC;
FIDELITY NATIONAL TITLE INSURANCE COMPANY;
ADVANTAGE TITLE AGENCY, INC.;

KENNETH M. WOYCHUK LAND SURVEYING, PLLC
Professional Land Surveying and Design
P.O. Box 153 Aquebogue, New York 11931
PHONE (631)298-1588 FAX (631) 298-1588

Kenneth M. Woychuk

FRONT STREET

EXISTING COVERED CONCRETE PATIO (4'-5" x 17'-2") 75.3 SF

PROPOSED OUTDOOR SEATING 15 SF PER PERSON = 5 PERSONS ALLOWED

4 SEATS PROPOSED

EXISTING STONE CURB

N 84° 33' 30" E 17.12'

13'-5"

284.99'

EXISTING CANVAS AWNING (4' x 15')

0.3'E 4.4'5

16.5'

0.3'W 4.4'5

2 STORY FRAME BUILDING

2 1/2 STORY FRAME BUILDING

1 STORY MASONRY BUILDING #45

75.2'

N 05° 49' 10" W 100.00'

S 05° 49' 10" E 100.00'

0.5'E 16.4'

ENCLOSED STORAGE 3.8' x 9.4'

WALK-IN REFR

0.3'W 0.6'N

RECEIVED

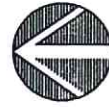
OCT 13 2022

VILLAGE OF GREENPORT PLANNING DEPARTMENT

CANVAS AWNING OVER CONCRETE

6" VINYL FENCE

S 84° 33' 30" W 17.12'



SITE PLAN

SCALE: 1" = 10'-0"
EXISTING EXCEPT AS NOTED

BASED ON SURVEY BY:
KENNETH M. WOYCHUK LAND SURVEYING PLLC
DATED: 16 JUNE 2018 (UPDATED)

SCTM: 1001-05-04-20
AREA: 1,711.96 SF (0.04 AC)
ZONED: CR



ALPINA

45 FRONT STREET GREENPORT, NY 11944

22 SEPTEMBER, 2022
SCALE: 1" = 10'-0"

Robert I. Brown
Architect, P.C.

205 Bay Ave. Greenport NY
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631-477-9752

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER ANY ITEM ON THIS DRAWING IN ANY WAY. ANY AUTHORIZED CHANGES MUST BE INDICATED AS SUCH AND DESCRIBED IN ACCORDANCE WITH THE LAW.