



BUILDING DEPARTMENT
 VILLAGE OF GREENPORT
 236 Third Street, Greenport, NY 11944

RECEIVED
 JAN 05 2023
 VILLAGE OF GREENPORT
 BUILDING DEPARTMENT

HISTORIC PRESERVATION COMMISSION REVIEW

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

PURSUANT TO THE PROVISIONS OF CHAPTER 48
 HISTORIC PRESERVATION LAW OF THE VILLAGE OF GREENPORT

DATE OF APPLICATION: January 4th, 2023

LOCATION OF PROPERTY: 118 Broad Street, Greenport, NY 11944

SUFFOLK COUNTY TAX MAP NUMBER: 1001 - 2. -5 - 27

PROPERTY OWNER: Mary Kathleen Beatty, George T. Beatty

ADDRESS: 118 Broad Street, Greenport, NY 11944 PHONE: [REDACTED]

EMAIL ADDRESS: [REDACTED]

ARCHITECT/DESIGNER: LaChapelle Architecture PLLC

ADDRESS: P.O. [REDACTED] Mattituck, NY 11952 PHONE: [REDACTED]

EMAIL ADDRESS: [REDACTED]

Type of Proposed Work

COMMERCIAL RESIDENTIAL

Site Work

- FENCE AND GATES
- DRIVEWAY, WALK, PATIO, OTHER PAVEMENT
- MAJOR EXCAVATION OR REGRADING, OR BERM
- SWIMMING POOL, TENNIS COURT
- OTHER STRUCTURAL LANDSCAPE ELEMENT
- SIGNAGE AND AWNINGS - SUBMIT SCALE DRAWINGS TO INDICATING TO FOLLOWING:
 - SIZE OF EACH SIGN
 - COLOR
 - FONT
 - LOCATIONS OF ALL SIGNAGE AND AWNINGS ON BUILDING
 - PROPOSED MATERIALS
- MODERN FEATURES
 - SOLAR PANELS
 - SKYLIGHTS
 - OUTDOOR SHOWERS
- OTHER

Landscape Planting

- HEDGE ALONG STREET AND/OR PROPERTY BOUNDARY LINES
- PLANTINGS INTENDED TO SCREEN OTHER WORK DESCRIBED IN THIS APPLICATION

Buildings

- NEW CONSTRUCTION
- ADDITION
- DEMOLITION
- REMOVAL
- ACCESSORY BUILDING

Building Alterations

- EXTERIOR WALL MATERIAL
- ROOF MATERIAL AND COLOR
- CHIMNEY MATERIAL
- FOUNDATION MATERIAL
- DOORWAYS (INCLUDING STORM/SCREEN DOORS)
- WINDOWS (INCLUDING STORM/SCREEN SASH) AND SHUTTERS
- PORCHES AND STEPS
- TRIM AND DECORATIVE DETAIL
- GUTTERS AND LEADERS
- PAINT AND STAIN
- EXTERIOR LIGHTING
- OTHER

PROVIDE A GENERAL DESCRIPTION OF THE PROPOSED WORK (USE ADDITIONAL SHEETS IF NECESSARY, REFER TO THE ACCOMPANYING EXHIBITS).

See attached Exhibit A.

LIST ALL EXHIBITS SUBMITTED WITH THIS APPLICATION. ACTUAL SAMPLES OF MATERIALS AND/OR DESCRIPTIONS OF ACTUAL MATERIALS ARE REQUIRED. (REFER TO THE INSTRUCTIONS FOR THE REQUIRED SUBMISSIONS).

Exhibit A - Written Description of Proposed Work

Exhibit B - Photos of Nearby Properties Showing Appropriateness

Exhibit C - Photos of 118 Broad Street

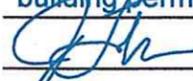
Exhibit D - Plans and Elevations of Proposed Work

Exhibit E - Survey of Property

OTHER APPROVALS REQUIRED:

building permit

SIGNATURE OF OWNER OR AUTHORIZED AGENT:

 Jake LaChapelle

DATE:

January 4th, 2023

VILLAGE OF GREENPORT
236 THIRD STREET, GREENPORT, NEW YORK, 11944
631-477-0248, <https://villageofgreenport.org/>
Historic Preservation Commission (HPC)
Certificate of Appropriateness Application Checklist



Chapter 76 of the Village of Greenport Code outlines procedures to (1) identify, preserve and enhance the landmarks and historic districts which represent distinctive elements of Greenport's historic, maritime, architectural and cultural heritage, (2) foster civic pride in the accomplishments of the past, (3) protect and enhance Greenport's attractiveness to residents and visitors, thereby supporting and stimulating the economy of the Village, (4) provide for architectural review so as to prevent such design and appearances as are incompatible with the historic or architectural characteristics of a landmark or historic district and (5) ensure the harmonious, orderly and efficient growth and development of the Village, consistent with its historic integrity.

The purpose of this checklist is to provide an overview of the Historic Preservation Commission application process, and the materials required for each step. Applicants should also refer to the relevant code section for more information. This checklist will be used to determine completeness and applicants to the HPC are urged to use it as a guide to avoid delays in review.

Depending upon the scope of the project, the applicant may also be required to go before the Planning Board and/or the Zoning Board for separate reviews.

#	HPC Application Materials	Yes	N/A
1.	Confirm whether the property falls within the Greenport Historic District by consulting Village staff and/or examining the Village website at http://villageofgreenport.org/files/Zoning-Map-06-29-09-D-size.pdf If so, follow the steps outlined in this checklist for a Historic Preservation Commission review for a Certificate of Appropriateness	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2.	Meet with Village staff to determine whether the proposed renovation/construction requires a Building Permit http://villageofgreenport.org/files/building-information.pdf	<input checked="" type="checkbox"/>	<input type="checkbox"/>

#	HPC Application Materials	Yes	N/A
3.	If a Building Permit is required, submit the required paperwork to the Building Department, Village Hall as per the appropriate process http://villageofgreenport.org/building-department-forms/Village-of-Greenport-Building-Permit-Application.pdf	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4.	Complete and submit an Application Form for a Certificate of Appropriateness to the Historic Preservation Commission, Village Hall, preferably at the same time as the request for a Building Permit is submitted, if required. http://villageofgreenport.org/building-department-forms/HPC1-Historic-Preservation.pdf . Completed applications must be received at least two weeks before a scheduled HPC meeting for the application to be considered at that meeting	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5.	Complete and submit an Asbestos Certification Form- AC-1	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6.	Remit the Application Fee for a Certificate of Appropriateness Application Review	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7.	Include a site plan prepared by a licensed architect, landscape architect, civil engineer or surveyor with the application	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8.	Include photos of adjacent properties with the application to illustrate that the proposed renovations/construction are compatible with the historic or architectural characteristics of the historic district	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9.	Provide detail on proposed materials including specifications, photos as part of the application and bring actual samples of materials to the meeting	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10.	Plan to attend or have a representative attend the Historic Preservation Commission meeting at which the application is considered to describe the project, provide samples of proposed materials and answer Board Members' questions. Attendance is highly recommended to facilitate the review process; the application may be deferred to a future meeting if the applicant is not available and no prior arrangements are made with Village Hall. Note: for applications involving major alterations, the HPC may hold a public hearing to provide an opportunity for the public to present their views on the application	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11.	Follow up with Village Hall staff to ensure that the application is complete	<input type="checkbox"/>	tbd <input type="checkbox"/>
12.	Obtain the Certificate of Appropriateness at Village Hall once the Historic Preservation Commission approves the application	<input type="checkbox"/>	tbd <input type="checkbox"/>



Village of Greenport Building Department

236 Third Street, Greenport, New York, 11944

(631) 477-0248 Ext. 212

www.villageofgreenport.org

ASBESTOS CERTIFICATION FORM

Notice to Building Applicants:

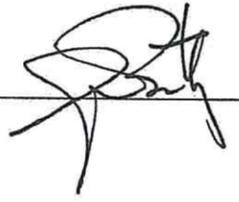
AN ASBESTOS SURVEY IS REQUIRED FOR ALL RENOVATION, REMODELING, REPAIR AND DEMOLITION OF ALL INTERIOR AND EXTERIOR BUILDING MATERIALS.

AS PER NEW YORK STATE INDUSTRIAL CODE RULE 56, ASBESTOS MATERIAL MUST BE ABATED BY LICENSED CONTRACTORS UTILIZING CERTIFIED ASBESTOS HANDLERS, WITH THE EXCEPTION OF OWNER-OCCUPIED SINGLE-FAMILY HOMES, WHERE THE OWNER MAY REMOVE THE ASBESTOS AND RENOVATE THESE STRUCTURES THEMSELVES. IT IS NOT RECOMMENDED THAT THE OWNER PERFORM ABATEMENT, AS THE OWNER COULD POTENTIALLY EXPOSE THEMSELVES, THEIR FAMILY AND NEIGHBORS TO ASBESTOS FIBERS IF ADEQUATE ENGINEERING CONTROLS AND WORK METHODS ARE NOT UTILIZED DURING THE ABATEMENT.

FOR FURTHER INFORMATION AND UPDATES, PLEASE SEE THE NEW YORK STATE WEBSITE AT: WWW.LABOR.STATE.NY.US OR CONTACT THE ASBESTOS CONTROL BUREAU DISTRICT OFFICE, NYS DEPARTMENT OF LABOR, ASBESTOS CONTROL BUREAU, 75 VARICK STREET, 7TH FLOOR, NEW YORK, NY 10013, TELEPHONE NUMBER 212-775-3538.

I hereby agree to abide by the conditions listed above. I understand that I am responsible to ensure these requirements are met, including all other applicable laws, rules and regulations pertaining to asbestos abatement.

Property Owner's Name: Thomas Beatty George T. Beatty

Property Owner's Signature: 

Date: 4 / 5 / 2022

**Exhibit A - Written Description
of Proposed Work**

LaChapelle Architecture

January 4th, 2023

Exhibit A

Referenced Property:
118 Broad Street
Greenport, NY 11944

Written Description of Proposed Work

This document is submitted in support of our application for Certificate of Appropriateness to the Village of Greenport Historic Preservations Commission.

Property Background

The main house at 118 Broad Street (between 1st and 2nd streets) is a single-family home in an R-2 one- and two-Family residential district. The home is situated within the greater Greenport Village Historic District listed on the National Register of Historic Places.

The property is included in the National Register of Historic Places 1984 inventory of contributing structures for this district under the address 116 Broad Street. It is listed there as a "(t)wo-story Italianate house; shallow gable roof; 2/2 windows, shelf lintels, modern siding." It lists the original construction date as 1860.

A certificate of appropriateness was issued by HPC in May of 2022 for an addition to the rear of the house.

The work proposed here concerns alterations to a detached garage at the rear of the property, built in late 2006. Village records indicate that the garage was approved by HPC on 6/7/2006 and that a Certificate of Occupancy was issued on 1/3/2007. A set of 'Penny Lumber' plans is available from that filing at the Village. Those plans did not include the entry door but did include a garage door and hoist door at a storage loft. Nonetheless the garage did have one door and one window, which we believe were installed as the structure was built.

Secretary of Interior's Standards

The proposed work is entirely on the 2007 rear detached garage. No work is proposed as part of this filing which impacts the historic and architectural values of the original house. Though the garage is not historic it resides in a historic district, so the work is designed to comply with the Secretary of Interior's Standards for Rehabilitation.

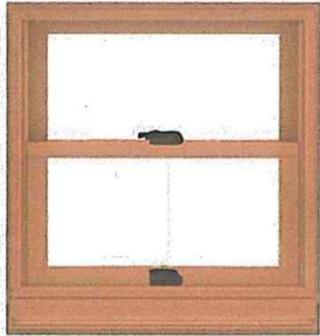
To that end the historic character of the property will be retained with this work, in support of the character of this designated district. The replacement and addition of windows and doors in the detached garage do not affect or destroy historic features or spatial relationships. The proposed windows and doors use the same material palette as the main house, in support of a cohesive district appearance. And if the windows and doors – or the garage altogether – were removed in the future this would not compromise the essential integrity of the main house or of the district.

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Proposed Work

The proposed scope of work is to add two small windows and a door, and add several skylights to this 2007 rear detached garage in order to make it possible to use it as a personal shop for the owner. In addition the existing door and two windows will be replaced for a cohesive appearance. The building footprint, height, and siding materials will not change.

Windows will be double-hung Anderson 400-series or similar, to match existing windows on the main house, with a similar clear width and frame thickness as the existing windows. These are the same windows previously approved for the main house main house addition in 2022. These windows are small, so muntins are not appropriate. Indeed, the similar size historic windows on the main house do not have muntins. The exterior trim will be similar width as the main house for continuity.



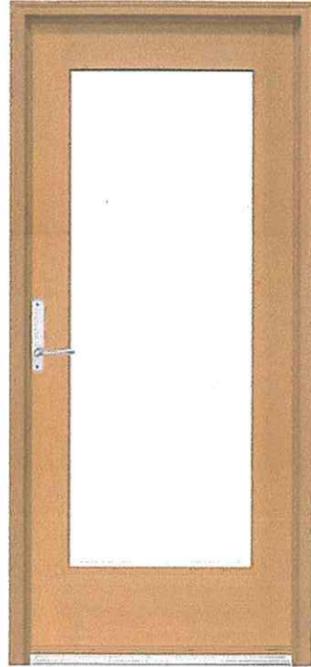
proposed Anderson 400-series window



existing similar-size double-hung window on main house – no muntins

LaChapelle Architecture

Doors at the addition will be glazed Anderson Entry door series or similar, to reflect the profile of the existing fenestration on the house.



Windows, doors, siding and trim color will remain white to match the existing; Sherwin Williams SW 7006 Extra White.



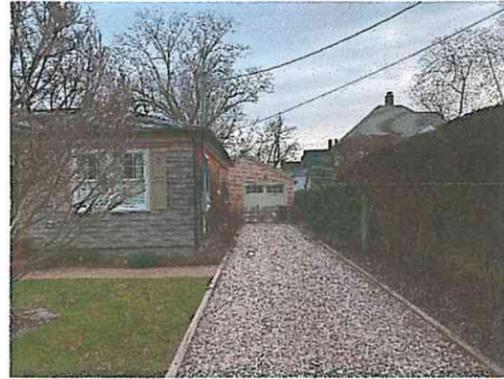
- end -

**Exhibit B - Photos of Nearby
Properties Showing
Appropriateness**

Properties within one block of 118 Broad Street within the Greenport Village Historic District:



111 Broad Street – rear garage



115 Broad Street – rear garage



540 2nd Street – rear garage w/ windows & door



532 2nd Street – rear garage w/ windows



122 North Street – rear garage w/ windows



612 1st Street – rear garage w/ loft door



630 1st Street – rear garage



200 Broad Street – basic rear shed

**Exhibit C - Photos of 118 Broad
Street**



SMITHSONIAN INSTITUTION



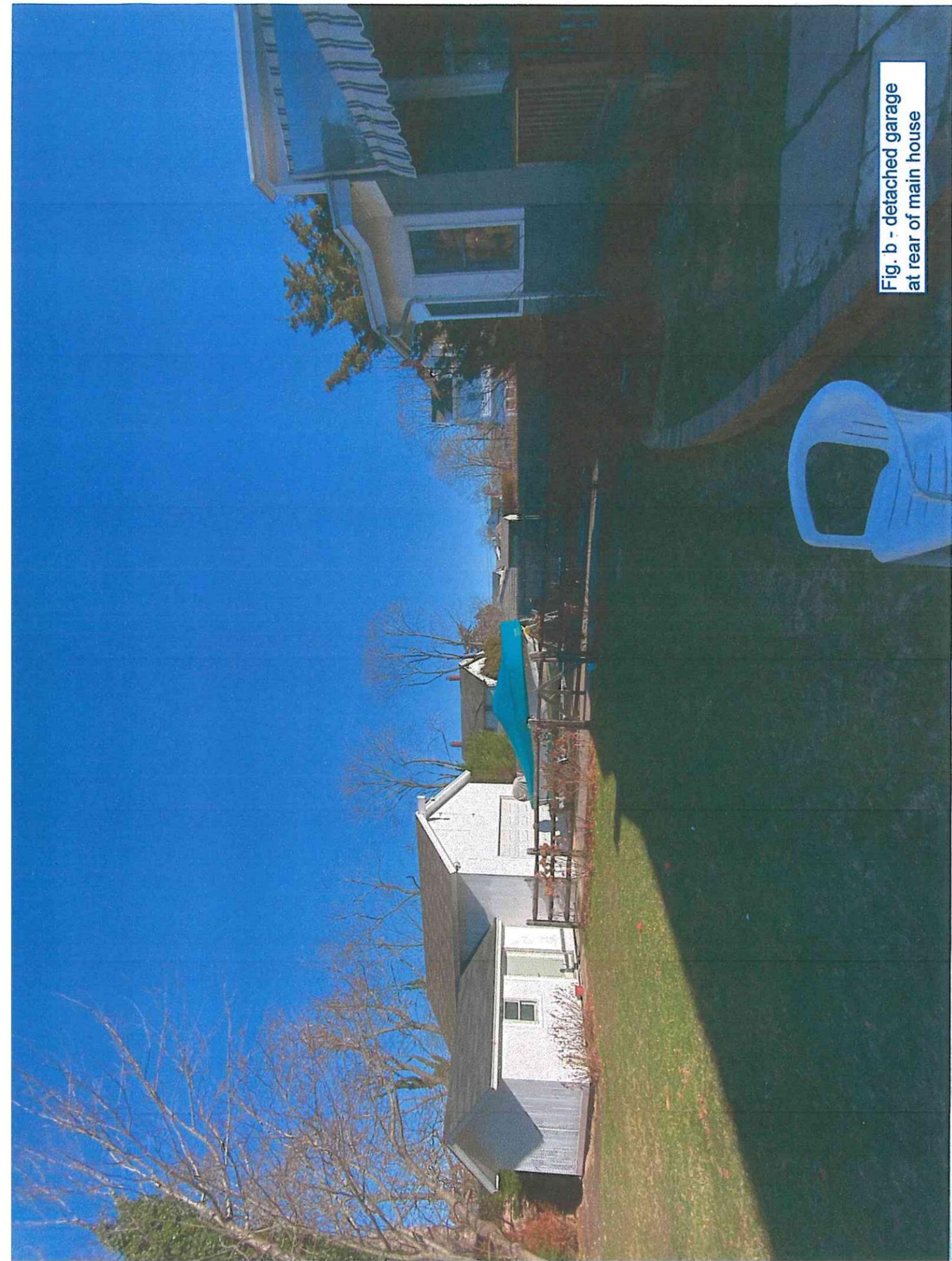


Fig. b - detached garage
at rear of main house

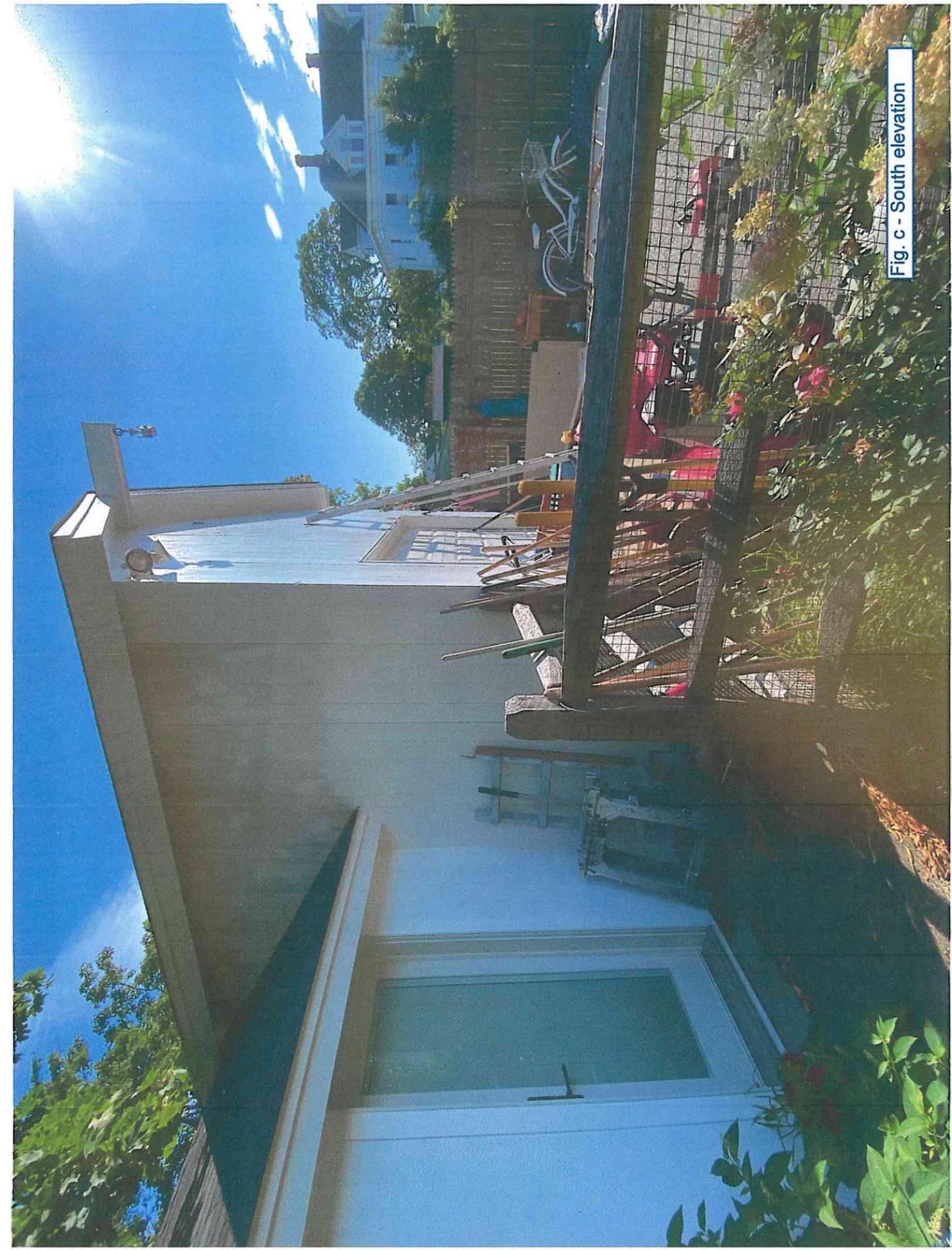
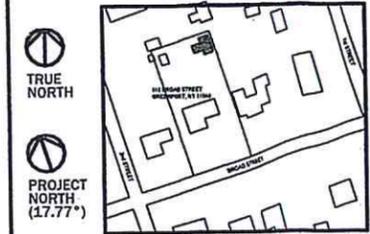


Fig. c - South elevation

Exhibit D - Plans and Elevations of
Proposed Work

GARAGE ALTERATIONS

118 BROAD STREET
GREENPORT, NY 11944



TAX MAP NO. 1001-2-5-27

#	ISSUE / REVISION	DATE
.00	HPC DRAWINGS	01.04.2023
-	-	-
-	-	-
-	-	-

DRAWN BY: J. LACHAPELLE

CHECKED BY: J. LACHAPELLE

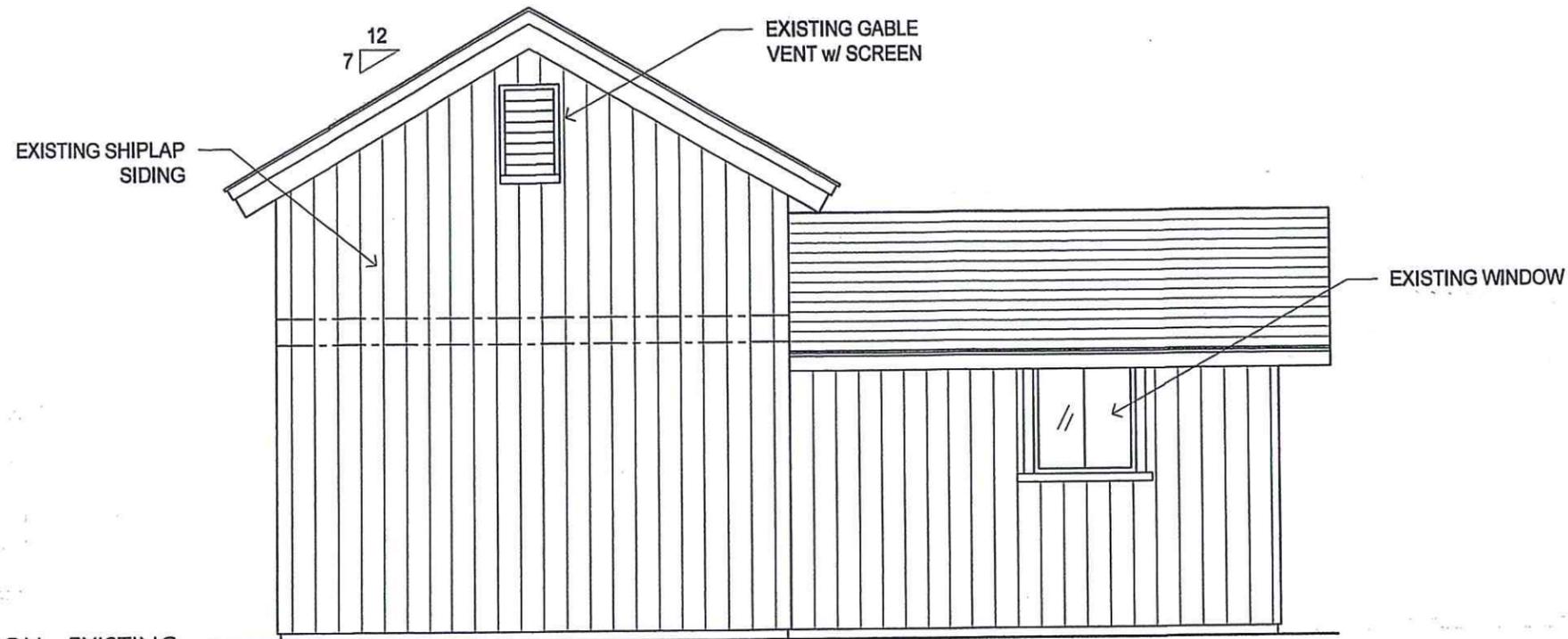
NOTE: DRAWING MAY BE PRINTED AT REDUCED SCALE

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(646) 251-5058 jake@lachapellearchitecture.com

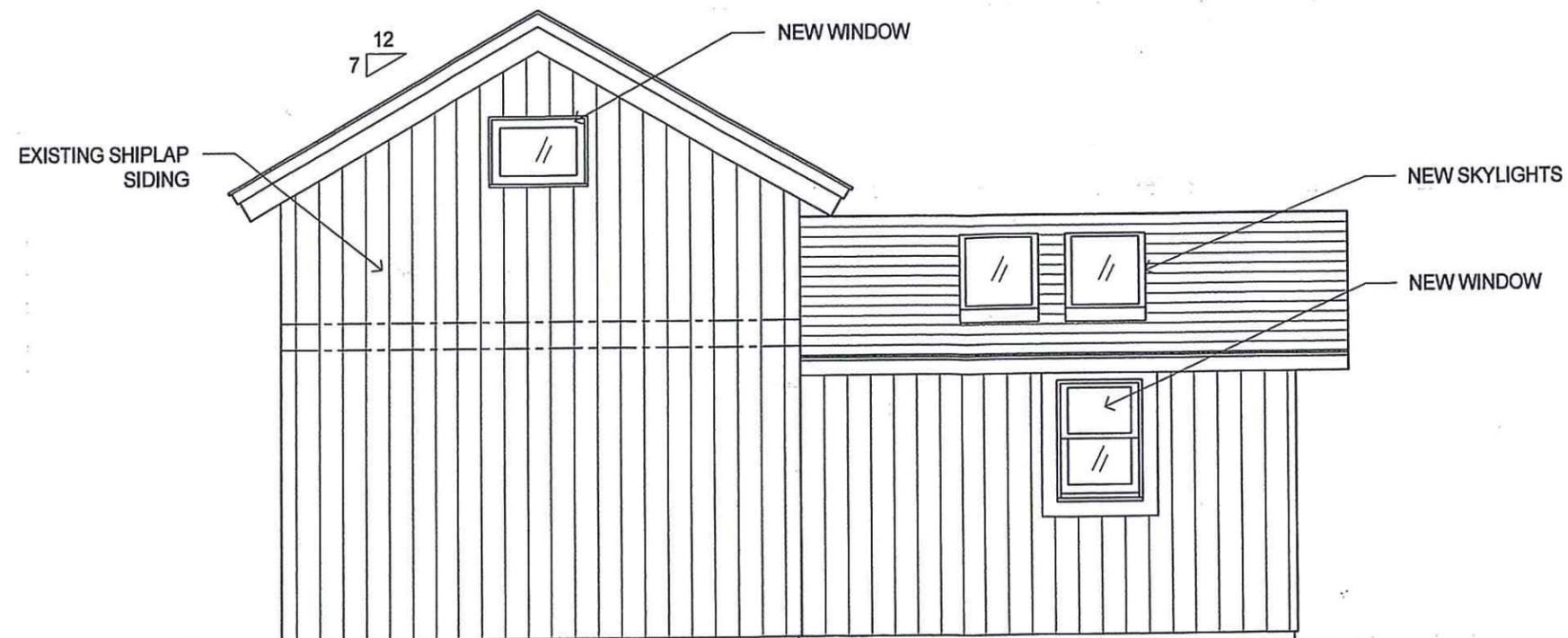


NORTH ELEVATIONS

SHEET NO:
A7.00
SHEET 7 OF 8



1 NORTH ELEVATION - EXISTING
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"

A8.00

SHEET 8 OF 8

SHEET NO:

EAST ELEVATIONS



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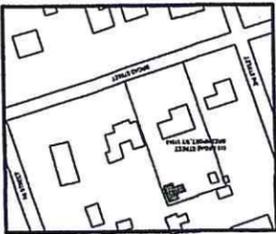
NOTE: DRAWING MAY BE PRINTED AT REDUCED SCALE

CHECKED BY: J. LACHAPELLE

DRAWN BY: J. LACHAPELLE

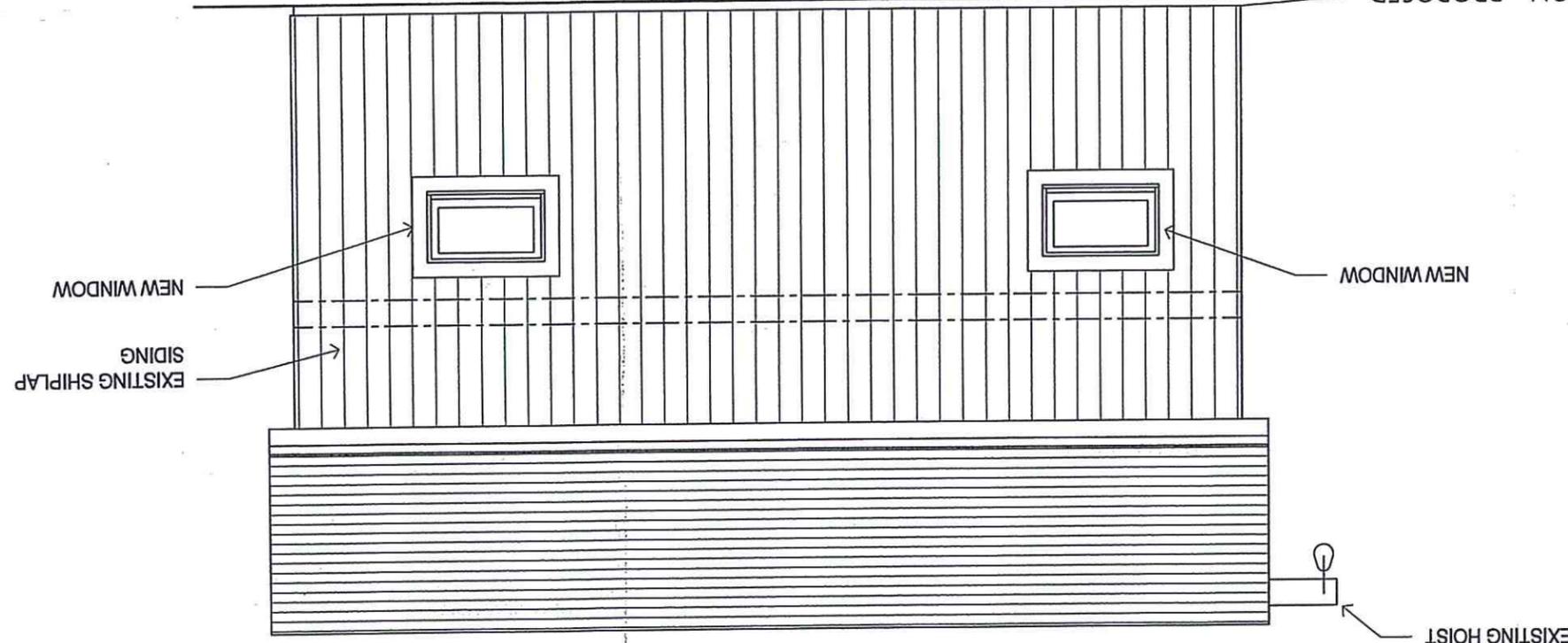
#	ISSUE / REVISION	DATE
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-	-	-
-	-	-
-	-	-

TAX MAP NO. 1001-2-5-27

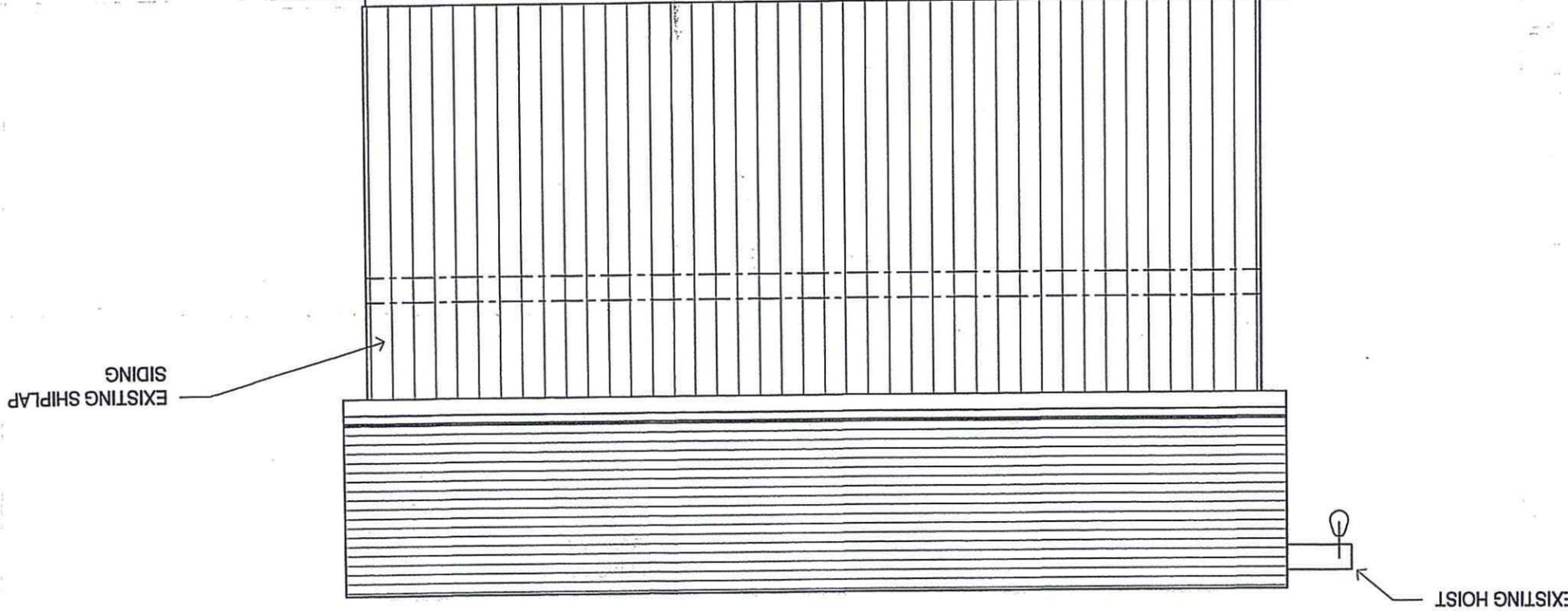


GARAGE ALTERATIONS
118 BROAD STREET
GREENPORT, NY 11944

② EAST ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"

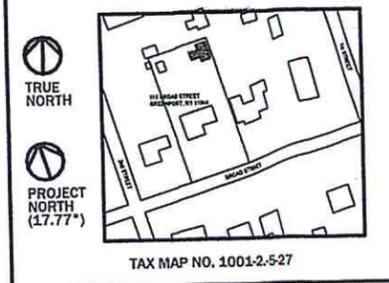


① EAST ELEVATION - EXISTING
SCALE: 1/4" = 1'-0"



GARAGE ALTERATIONS

118 BROAD STREET
GREENPORT, NY 11944



TRUE NORTH

PROJECT NORTH (17.77°)

TAX MAP NO. 1001-2-527

#	ISSUE / REVISION	DATE
.00	HPC DRAWINGS	01.04.2023
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-	-	-
-	-	-

DRAWN BY: J. LACHAPPELLE

CHECKED BY: J. LACHAPPELLE

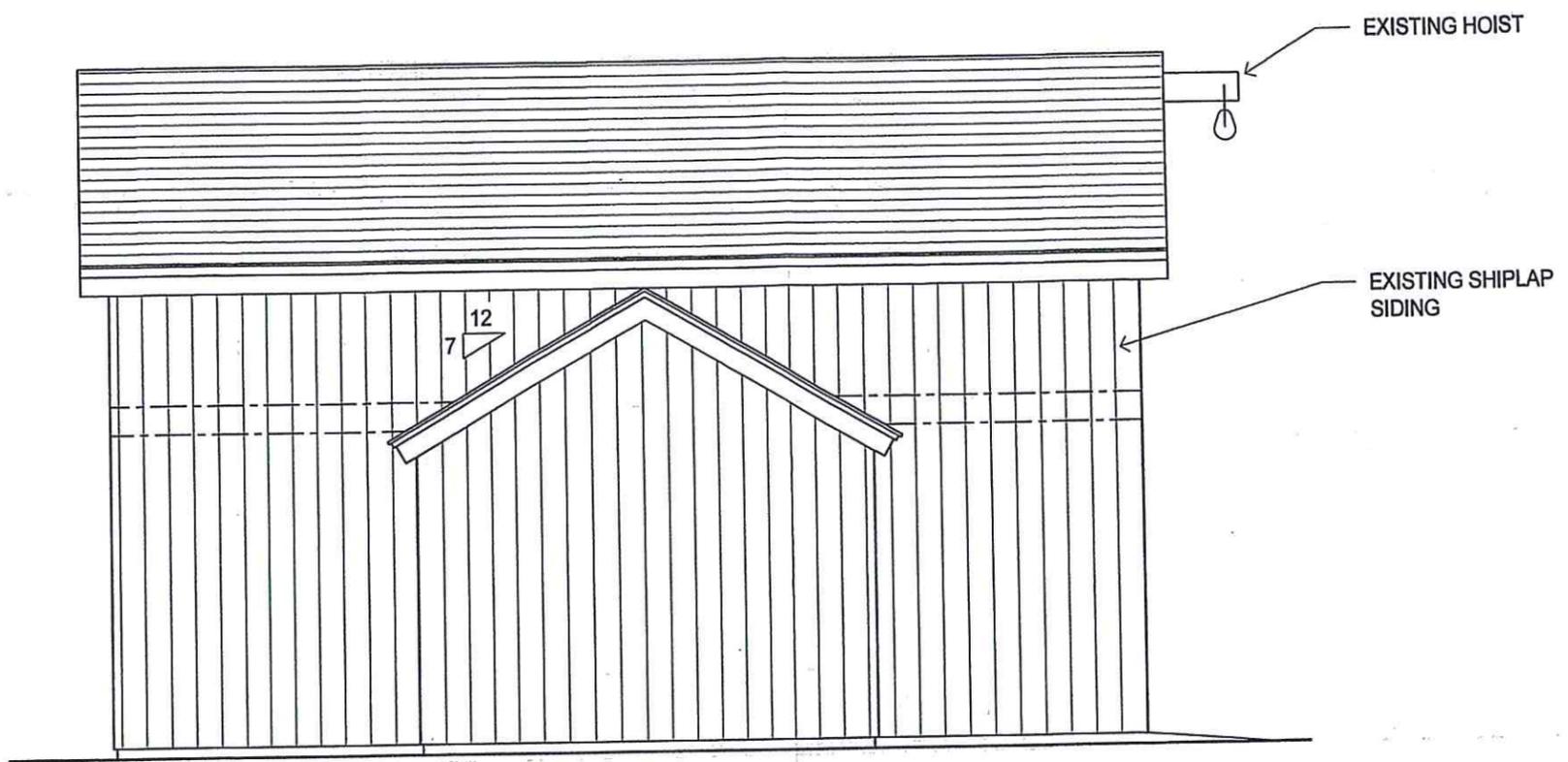
NOTE: DRAWING MAY BE PRINTED AT REDUCED SCALE

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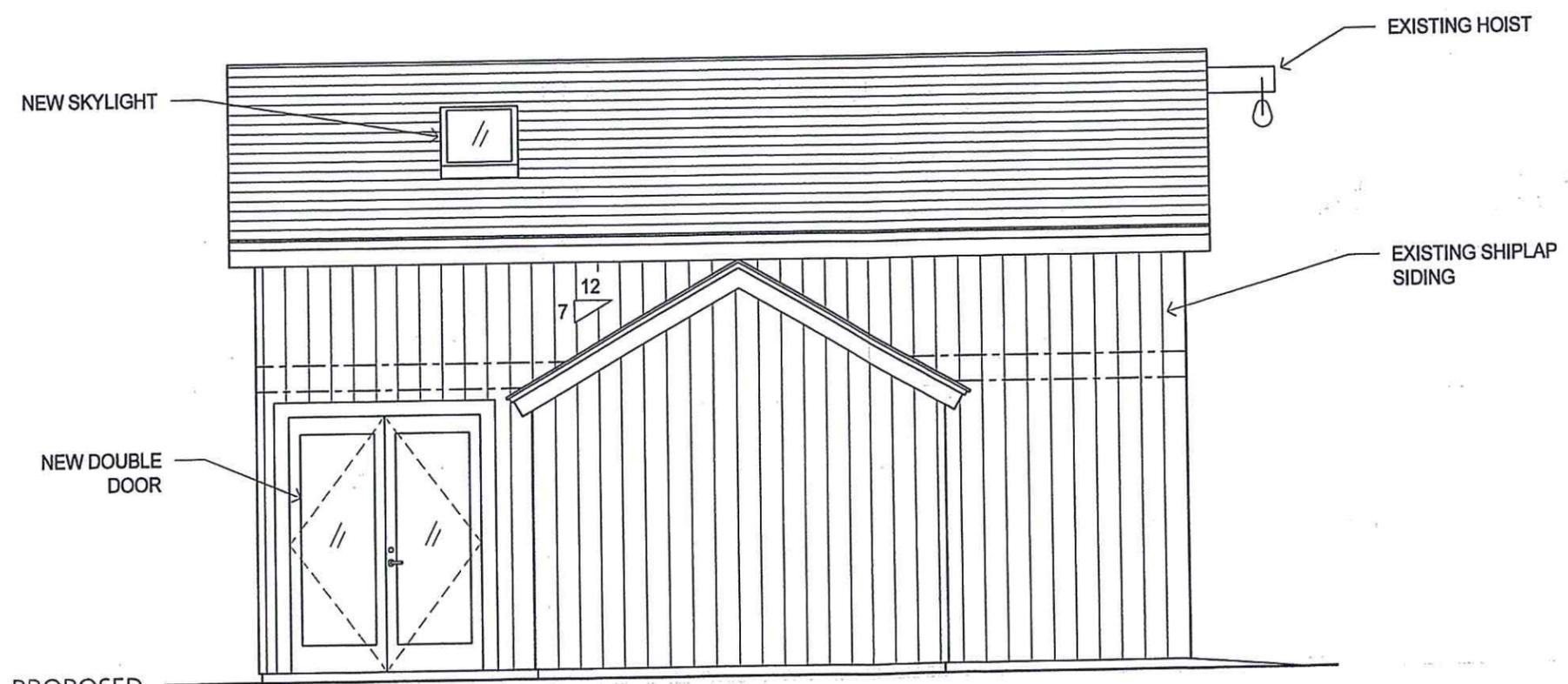


WEST ELEVATIONS

SHEET NO:
A6.00
SHEET 6 OF 8



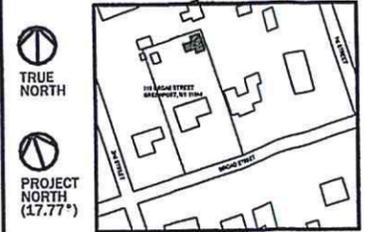
1 WEST ELEVATION - EXISTING
SCALE: 1/4" = 1'-0"



2 WEST ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"

GARAGE ALTERATIONS

118 BROAD STREET
GREENPORT, NY 11944



TAX MAP NO. 1001-2-527

#	ISSUE / REVISION	DATE
.00	HPC DRAWINGS	01.04.2023
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-	-	-
-	-	-

DRAWN BY: J. LACHAPELLE

CHECKED BY: J. LACHAPELLE

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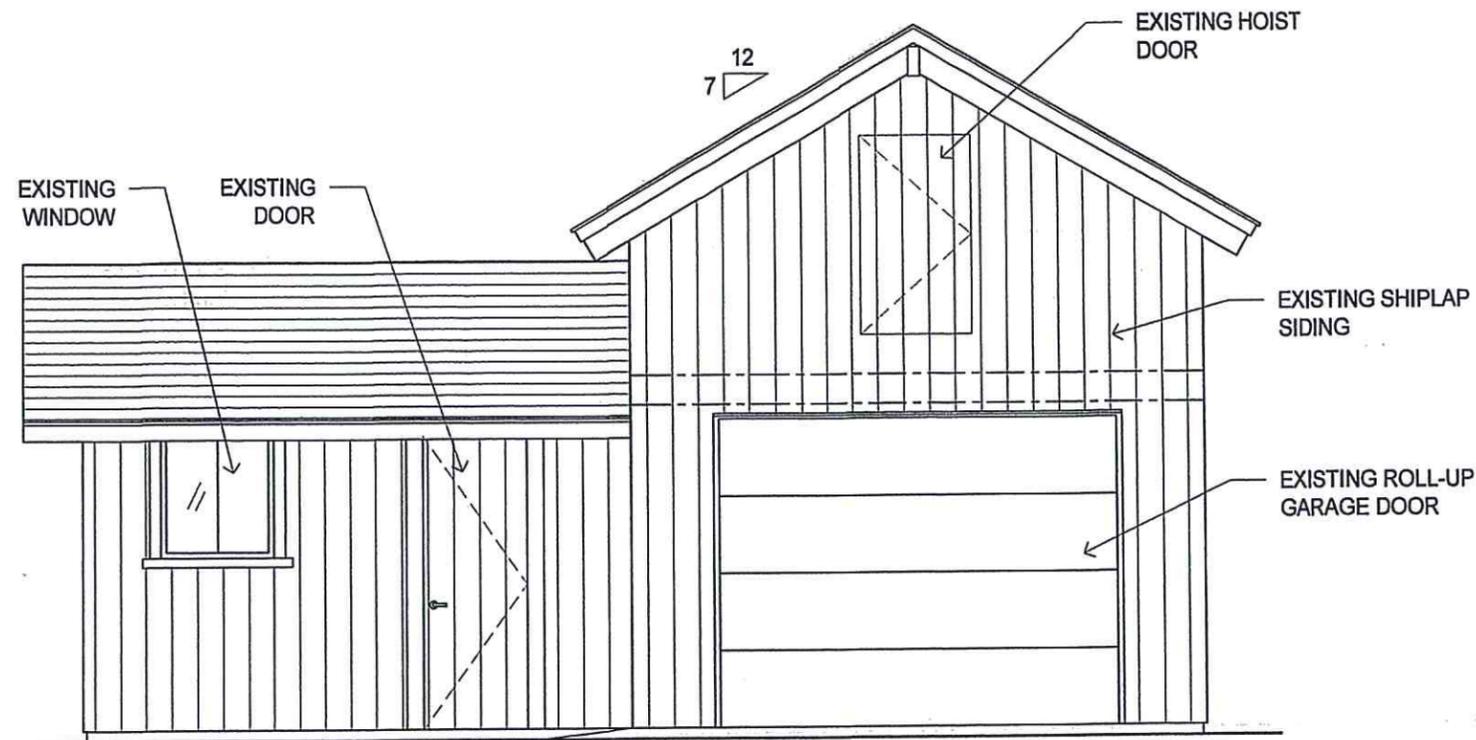


SOUTH ELEVATIONS

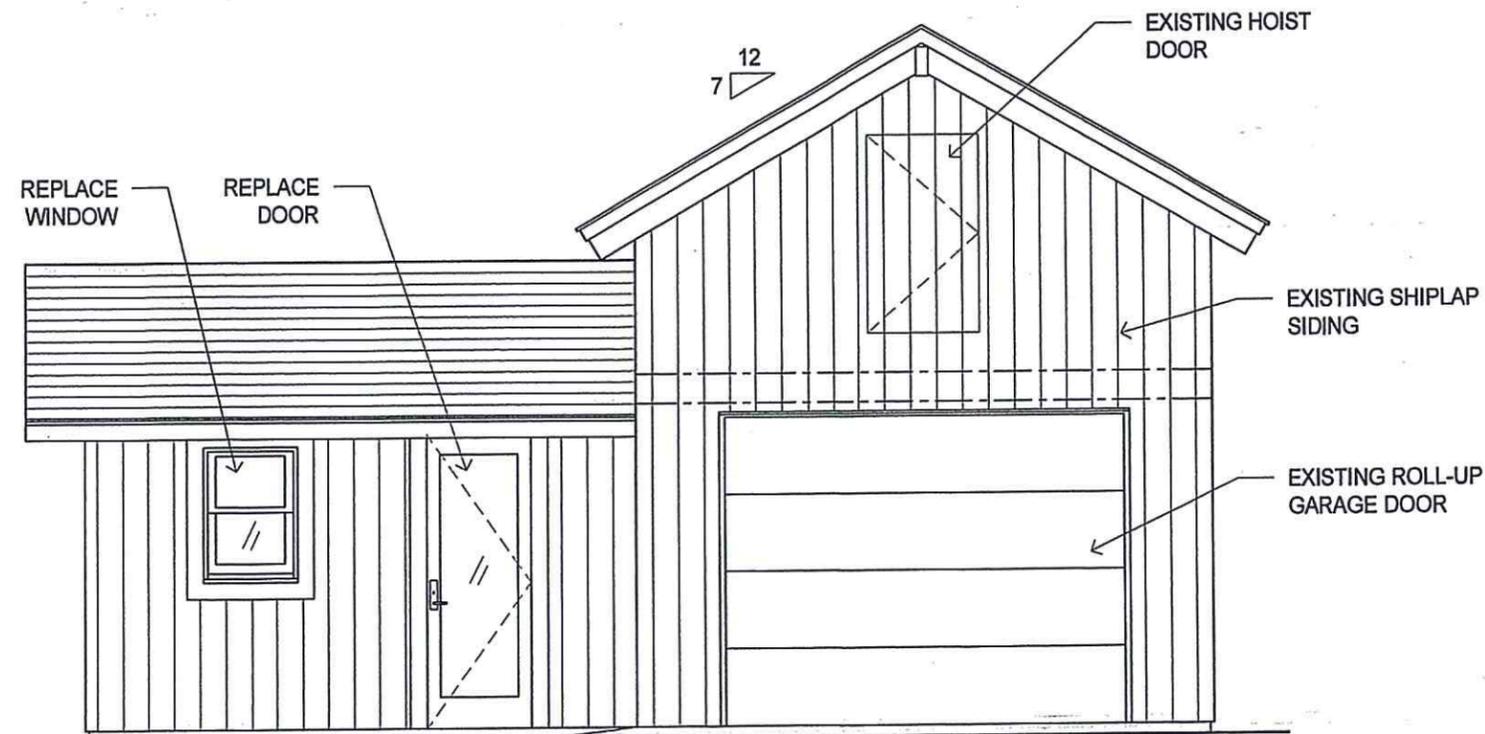
SHEET NO:

A5.00

SHEET 5 OF 8



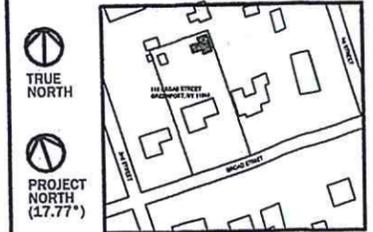
1 SOUTH ELEVATION - EXISTING
SCALE: $\frac{1}{4}'' = 1'-0''$



2 SOUTH ELEVATION - PROPOSED
SCALE: $\frac{1}{4}'' = 1'-0''$

GARAGE ALTERATIONS

118 BROAD STREET
GREENPORT, NY 11944



TAX MAP NO. 1001-2-527

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.00	HPC DRAWINGS	01.04.2023
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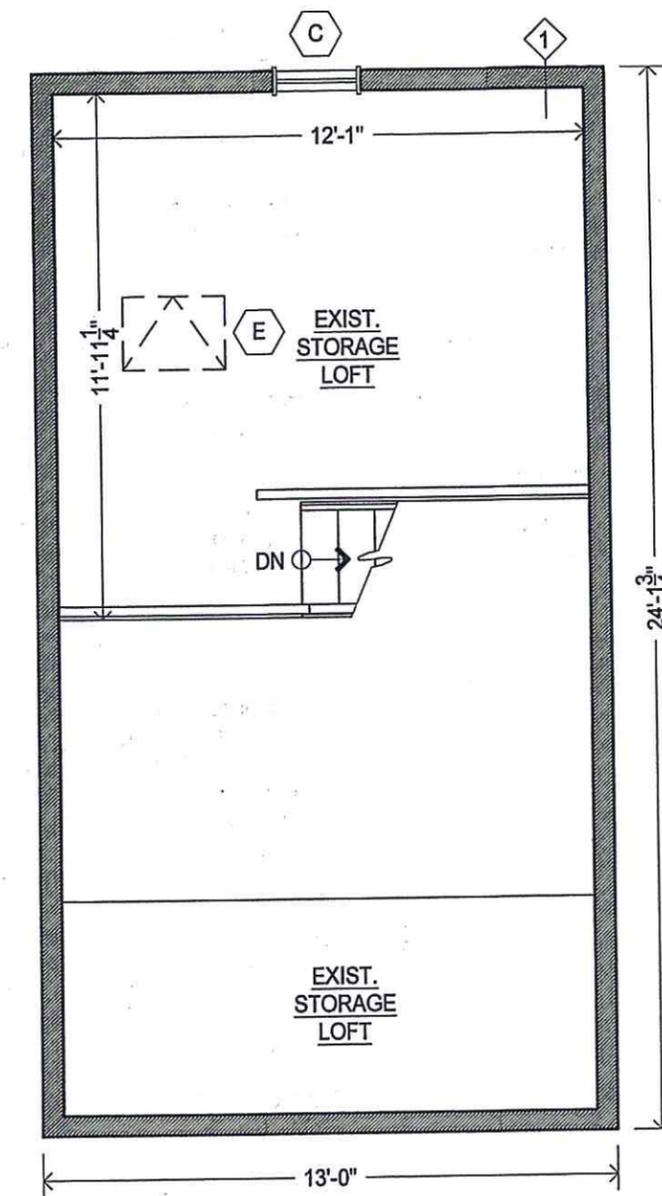
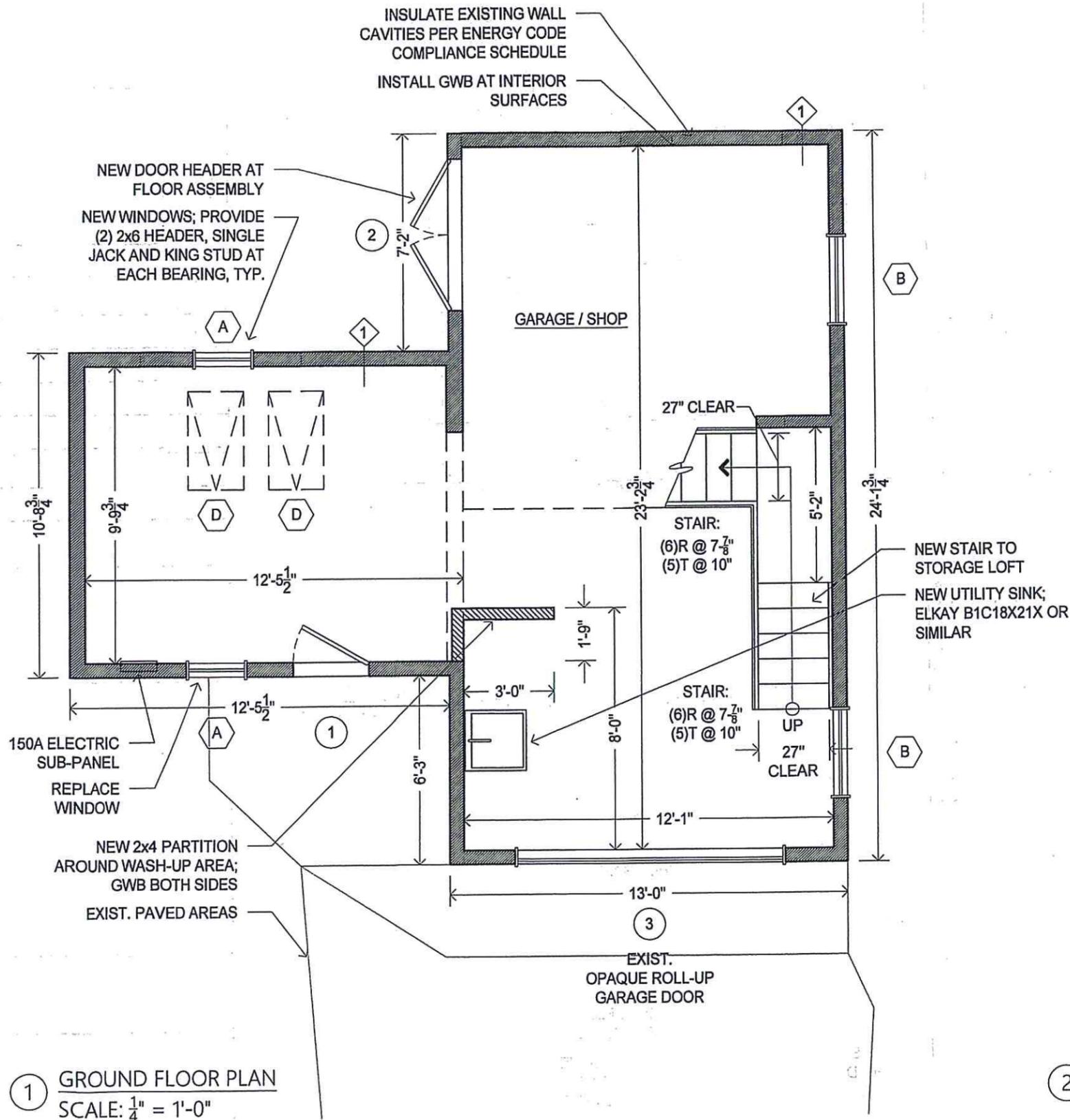


FIRST & SECOND
FLOOR PLANS

SHEET NO:

A4.00

SHEET 4 OF 8



1 GROUND FLOOR PLAN
SCALE: 1/4" = 1'-0"

2 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

TRUE NORTH
(17.77°)

PROJECT NORTH

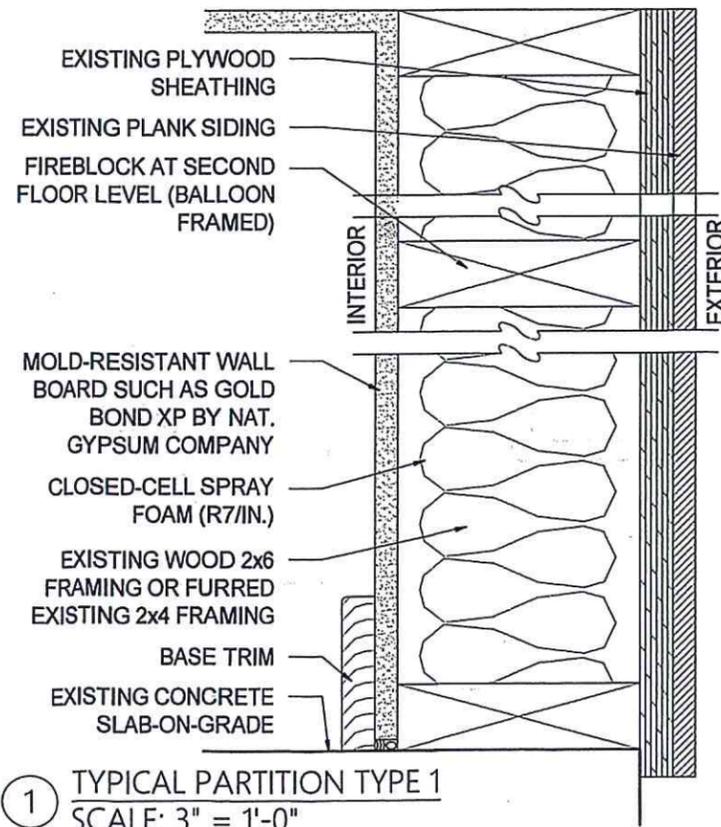
CONSTRUCTION NOTES

- ALL WORK SHALL CONFORM TO THE AF & PA WOOD FRAME CONSTRUCTION MANUAL 2015 HIGH WIND EDITION
- DESIGN LOADS AS FOLLOWS:
LIVE LOAD: PER TABLES R301.5 & R301.6
DEAD LOAD: PER R301.3
SNOW LOAD: 20 PSF GROUND SNOW LOAD PER FIG. R301.2(6)
WIND EXPOSURE CATEGORY 'C' FOR 130 MPH 3 SECOND GUST PER R301.2.1.4 & FIG. R301.2(5)A

LOCATION	LIVE	DEAD	DEFLECTION LIMIT
1ST FLOOR	40 PSF	12 PSF	L/360
ROOF	20 PSF	15 PSF	L/360

FRAMING

- FRAMING LUMBER TO BE DOUGLAS FIR / LARCH STAMPED STRUCTURAL GRADE NO. 2 OR BETTER
- SHEATHING TO BE APA-RATED, EXPOSURE 1
- SUB-FLOORING TO BE APA-RATED, EXPOSURE 1, 'WARMBBOARD' WHERE INDICATED
- AT HEADERS OVER 6' PROVIDE DOUBLE UPRIGHTS; AT HEADERS OVER 9' PROVIDE TRIPLE UPRIGHTS
- HEADERS TO BE 2x8 MINIMUM OR AS INDICATED
- PROVIDE DOUBLED FRAMING AT ALL OPENINGS INCLUDING STAIRS, ETC.
- PROVIDE SOLI BLOCKING AT ALL FLOOR JOISTS AND ROOF RAFTERS AT MAX. 8'-0", PROVIDE 2" SPACE FOR AIR CIRCULATION AT ROOF
- PROVIDE 2x6 STUD FRAMING, TYPICAL



NAILING SCHEDULE

- NAILING PER NYS CODE; INCLUDING (5) 10d NAILS AT SILL AND PLATE OF ALL 2x6 STUDS
- USE GALVANIZED FASTENERS FOR ALL FRAMING
- USE 6d NAILS @ 12" O.C. FOR EXTERIOR SHEATHING, EXCEPT USE 8d NAILS @ 4" O.C. FOR PERIMETER OF EACH SHEATHING SHEET

ROOF FRAMING

DESCRIPTION	FASTENER	SPACING	PER RAFTER
RAFTER TO TOP PLATE	TOE-NAIL	3	PER RAFTER
CLG JOIST TO TOP PLACE	TOE-NAIL	3	PER JOIST
CLG JOIST TO PARALLEL RAFTER	FACE-NAIL	3	EACH LAP
CLG JOIST LAPS OVER PARTITION	FACE-NAIL	3	EACH LAP
RIDGE STRAP	EACH END	2	EACH END
BLOCKING TO RAFTER	TOE-NAIL	2-8d	EACH END
RIM BOARD TO RAFTER	END-NAIL	2-16d	EACH END

WALL FRAMING

DESCRIPTION	FASTENER	SPACING	PER FOOT
TOP PLATE TO TOP PLATE	FACE-NAIL	2-16d	PER FOOT
TOP PLATES AT INTERSECTIONS	FACE-NAIL	4-16d	EACH SIDE
STUD TO STUD	FACE-NAIL	2-16d	24" O.C.
HEADER TO HEADER	FACE-NAIL	16d	16" O.C.
TOP OF BOTTOM PL TO STUD	END-NAIL	2-16d	PER 2x4
		3-16d	PER 2x6
		4-16d	PER 2x8

DESCRIPTION	FASTENER	SPACING	PER FOOT
BOTTOM PLATE TO FLOOR JOIST			
BAND JOIST, END JOIST, OR BLOCKING	FACE-NAIL	2-16d	PER FOOT

FLOOR FRAMING

DESCRIPTION	FASTENER	SPACING	PER JOIST
JOIST TO SILL, TOP PLATE TO GIRDER	TOE-NAIL	4-8d	PER JOIST
BRIDGING TO JOIST	TOE-NAIL	2-8d	EACH END
BLOCKING TO JOIST	TOE-NAIL	2-8d	EACH END
BLOCKING TO SILL/TOP PLATE	FACE-NAIL	3-16d	EACH BLOCK
LEDGE STRIP TO BEAM	FACE-NAIL	3-16d	EACH JOIST
JOIST ON LEDGE TO BEAM	FACE-NAIL	3-8d	PER JOIST
BAND JOIST TO JOIST	END-NAIL	3-8d	PER JOIST
BAND JOIST TO SILL/TOP PLATE	TOE-NAIL	2-16d	PER FOOT

ROOF SHEATHING

DESCRIPTION	FASTENER	SPACING	PER RAFTER
STRUCTURAL PANELS		8d	TABLE 3.8
DIAGONAL BOARD SHEATHING:			
1"x6" OR 1"x8"		2-8d	PER RAFTER
1"x10" OR WIDER		3-8d	PER RAFTER

CEILING SHEATHING

DESCRIPTION	FASTENER	SPACING	PER RAFTER
GYPSON WALLBOARD		5d	7" EDGE 10" FIELD

WALL SHEATHING

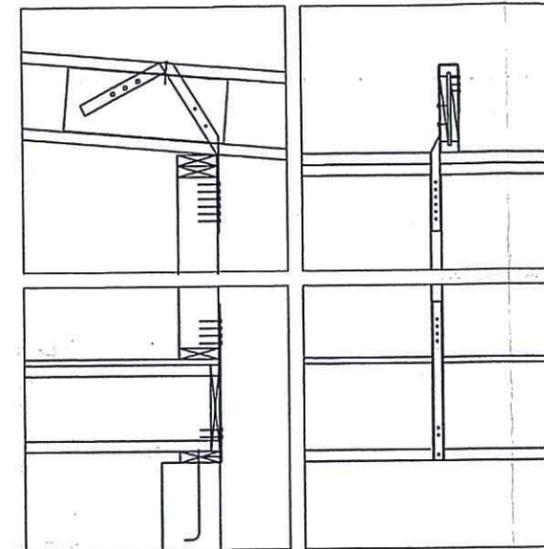
DESCRIPTION	FASTENER	SPACING	PER RAFTER
STRUCTURAL PANELS		8d	TABLE 3.9
FIBERBOARD PANELS		8d	3"EDGE 6" FIELD
7/16", 25/32"		8d	TABLE 3.9
PARTICAL BOARD		8d	TABLE 3.9

FLOOR SHEATHING

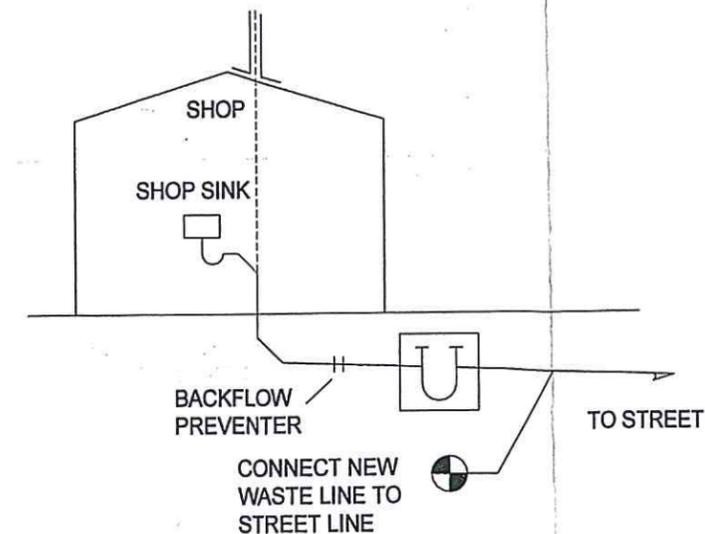
DESCRIPTION	FASTENER	SPACING	PER RAFTER
STRUCTURAL PANELS <1"		8d	6" EDGE 12" FIELD
STRUCTURAL PANELS >1"		10d	6" EDGE 12" FIELD

STRAPPING DETAILS

- PROVIDE HURRICANE STRAPPING BY SIMPSON OR EQUAL
- PROVIDE (8) 8d COMMON NAILS IN EACH END OF 1/2" 20 GA. GALVANIZED STRAP FOR LATERAL / SHEAR CONNECTIONS AT RAFTER/ROOF-TO-WALL, WALL-TO-WALL, AND WALL-TO-FOUNDATION CONNECTIONS IN CONFORMANCE w/ TABLE 3.3b OF LATEST EDITION OF WOOD FRAME CONSTRUCTION MANUAL (WFCM) FOR 120 MPH FASTEST WIND SPEED

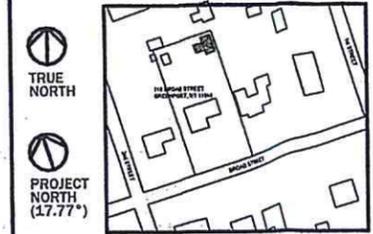


PLUMBING RISER DIAGRAM



GARAGE ALTERATIONS

1.18 BROAD STREET
GREENPORT, NY 11944



TAX MAP NO. 1001-2-527

#	ISSUE / REVISION	DATE
.00	HPC DRAWINGS	01.04.2023
-	-	-
-	-	-
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DRAWN BY: J. LACHAPPELLE

CHECKED BY: J. LACHAPPELLE

NOTE: DRAWING MAY BE PRINTED AT REDUCED SCALE

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NAILING SCHEDULE,
PLUMBING RISER
DIAGRAM

SHEET NO:

A3.00

SHEET 3 OF 8

118 BROAD STREET GARAGE

GREENPORT, NY

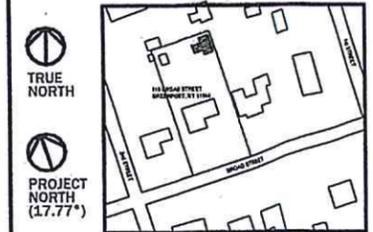
DRAWING LIST

- A1.00 DRAWING LIST, ABBREVIATIONS, & SYMBOLS
 A2.00 NOTES & ENERGY CODE
 A3.00 NAILING SCHEDULE, PLUMBING RISER DIAGRAM
 A4.00 FIRST & SECOND FLOOR PLANS

NOTE: DO NOT SCALE FROM DRAWINGS.

GARAGE ALTERATIONS

118 BROAD STREET
 GREENPORT, NY 11944



TAX MAP NO. 1001-2-5-27

#	ISSUE / REVISION	DATE
.00	HPC DRAWINGS	01.04.2023
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CHECKED BY: J. LACHAPELLE

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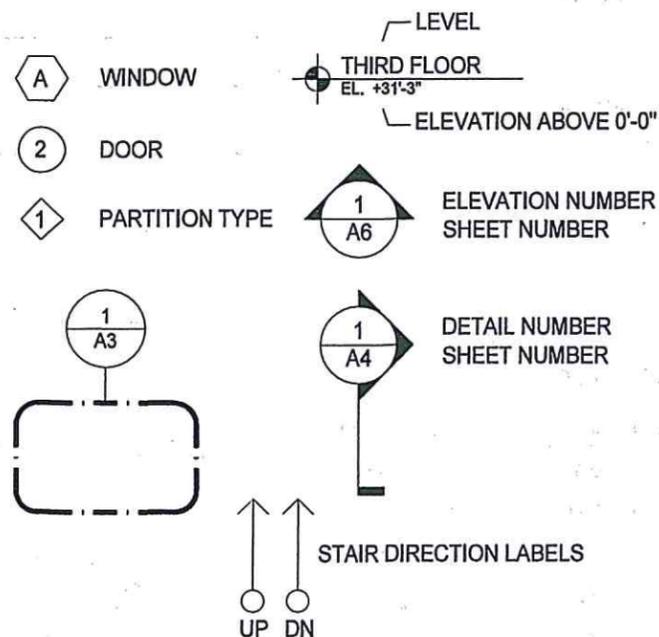
DRAWING LIST,
 ABBREVIATIONS, &
 SYMBOLS

SHEET NO:

A1.00

SHEET 1 OF 8

SYMBOLS



SC SMOKE + CARBON MONOXIDE DETECTOR
 SMOKE AND CO DETECTORS SHALL COMPLY WITH UL 268, 7th ADDITION



REGULATORY NOTES

- THIS WORK IS FILED WITH THE VILLAGE OF GREENPORT BUILDING DEPARTMENT, IN CONFORMANCE WITH VILLAGE CODE CHAPTER 65.
- THE CONTROLLING CODE IS THE 2020 BUILDING CODE OF NEW YORK STATE AND THE 2020 ENERGY CONSERVATION CODE OF NEW YORK STATE, IN COMBINATION WITH THE VILLAGE CODE.
- REFERENCE HEREIN TO 'BC' SHOULD BE CONSTRUED TO MEAN THE APPLICABLE BUILDING CODES OF NEW YORK STATE.
- THIS SINGLE-FAMILY HOME OCCUPANCY CLASSIFICATION OF THE MAIN STRUCTURE IS RESIDENTIAL GROUP R-3 UNDER BC CHAPTER 3. THE GARAGE FALLS UNDER THAT CLASSIFICATION FOR ALL PURPOSES OTHER THAN ENERGY CODE.
- THIS GARAGE STRUCTURE IS CLASSIFIED AS CONSTRUCTION TYPE V(B) (UNPROTECTED WOOD FRAME) UNDER BC TABLES 601 AND 602.
- TO THE BEST OF MY KNOWLEDGE THE WORK PROPOSED HEREIN IS COMPLIANT WITH ALL APPLICABLE LAWS, CODES, AND REGULATIONS.

INSPECTIONS

SPECIAL INSPECTIONS MUST BE PROVIDED IN CONFORMANCE WITH THE REQUIREMENTS OF BCNYS 1704 & 1705.

- | | |
|----------------------------|------------------------|
| FRAMING/TIE-DOWN/STRAPPING | INSULATION/CAULKING |
| PLUMBING | ENERGY CODE COMPLIANCE |
| PERIMETER INSULATION | FINAL |
| ROUGH ELECTRIC | |

ABBREVIATIONS

- | | | | |
|--------|-----------------------|--------|------------------------|
| A.F.F. | ABOVE FINISH FLOOR | GWB | GYPSUM WALL BOARD |
| ALT | ALTERNATE | HM | HOLLOW METAL |
| APP. | APPLIANCE(S) | HT | HEIGHT |
| B.O. | BY OTHER | HW | HOT WATER |
| C/C | CENTER TO CENTER | MECH. | MECHANICAL |
| CLG | CEILING | MTL | METAL |
| CMU | CONCRETE MASONRY UNIT | PTD | PAINTED |
| CONC | CONCRETE | RCP | REFLECTED CEILING PLAN |
| CONT. | CONTINUOUS | O.C. | ON CENTER |
| CONT'D | CONTINUED | SIM. | SIMILAR |
| D.H. | DOUBLE HUNG | S.S. | STAINLESS STEEL |
| DIM. | DIMENSION | STL. | STEEL |
| DIA. | DIAMETER | TYP. | TYPICAL |
| DISC. | DISCONTINUOUS | V.I.F. | VERIFY IN FIELD |
| DWG | DRAWING | W/ | WITH |
| ELEC. | ELECTRIC | WD. | WOOD |
| ENG. | ENGINEER | | |
| EQ. | EQUAL | | |
| EXIST. | EXISTING | | |
| FL | FLOOR | | |

SCOPE OF WORK

THE GENERAL INTENT OF THE WORK IS TO MAKE ALTERATIONS TO THIS ACCESSORY STRUCTURE AT THE REAR OF THE PROPERTY IN ORDER TO OPTIMIZE IT FOR USE AS A PERSONAL SHOP. THE WORK INCLUDES NEW WINDOWS AND DOORS, INSULATION, WALLBOARD, AND SHOP SINK. NO CHANGE OF USE OR OCCUPANCY IS PROPOSED.

GENERAL NOTES

- ALL WORK TO BE PERFORMED BY LICENSED TECHNICIANS TO ACCOMPLISH THE WORK AS OUTLINED IN THIS SET OF DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL PLUMBING AND ELECTRICAL WORK SHALL BE CERTIFIED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGN-OFFS. ALL WORK SHALL BE DONE CAREFULLY AND NEATLY, IN A SYSTEMATIC MANNER.
- IN ADDITION TO THE REQUIREMENTS OF THE APPLICABLE BUILDING CODES, ALL WORK MUST CONFORM TO FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND BEST TRADE PRACTICES.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK, AND SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS TO THE ARCHITECT.
- MINOR DETAILS NOT SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.
- CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF LOCAL AUTHORITIES AND OWNER.

GENERAL NOTES

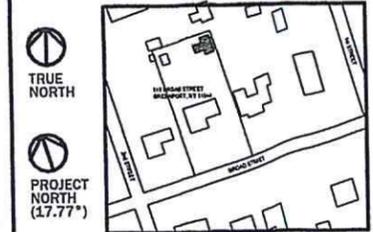
- THE STRUCTURAL MODIFICATIONS TO THE HOUSE INCLUDED HEREIN MAKE THIS A LEVEL 2 ALTERATION UNDER EXISTING BUILDING CODE (EBC) CHAPTER 6. REQUIREMENTS OF BC CHAPTER 7 AND 8 APPLY AS A RESULT. CONTRACTOR SHALL CAREFULLY OBSERVE THE REQUIREMENTS OF SECTION 806.
- STRUCTURAL OBSERVATION IS NOT REQUIRED UNDER BC 1704.6 BECAUSE THE BUILDING IS NOT IN THE INDICATED RISK CATEGORIES AND NOT A HIGH-RISE BUILDING.
- PROPOSED GWB FINISHES MUST COMPLY WITH BC CHAPTER 8. TAPED, PRIMED, AND PAINTED GWB IS ALLOWED UNDER BC 803 AND QUALIFIES AS A CLASS-A MATERIAL WITH FLAME SPREAD INDEX LESS THAN 25 AND SMOKE-DEVELOPED INDEX BELOW 450. THIS EXCEEDS THE REQUIREMENTS OF BC TABLE 803.13 FOR THIS OCCUPANCY R-3.
- INTERCONNECTED SMOKE AND CARBON MONOXIDE DETECTION EQUIPMENT MUST BE ADDED IN CONFORMANCE WITH 'EXISTING BUILDING CODE' SECTION 804, IF NOT ALREADY PRESENT IN THE BUILDING.
- THE WORK PROPOSED HERE MUST CONFORM TO ECCNYS R503 REQUIREMENTS FOR ALTERATIONS, AND AS A CONDITIONED SPACE USING HEATING EQUIPMENT.
- IN ACCORDANCE WITH R503.1.1.2 EXISTING CEILING, WALL, OR FLOOR CAVITIES EXPOSED DURING CONSTRUCTION OF AN ALTERATION NEED NOT MEET THE REQUIREMENTS OF THE ECCNYS, PROVIDED THAT THE EXPOSED CAVITIES ARE FILLED w/ INSULATION.

GENERAL NOTES

- AS REQUIRED BY ECCNYS R503.1.4 NEW LIGHTING SYSTEMS MUST CONFORM TO SECTION R404.1: ALL NEW FIXTURES WILL CONTAIN HIGH-EFFICIENCY LAMPS.
- CONTRACTOR TO SCHEDULE AND PROVIDE ACCESS REQUIRED FOR ALL INSPECTIONS. WORK MUST REMAIN ACCESSIBLE AND EXPOSED UNTIL INSPECTED AND ACCEPTED IN WRITING BY THE INSPECTOR.
- CONTRACTOR MUST COMPLY WITH ALL BUILDING DEPARTMENT RULES OF OPERATION (SUCH AS HOURS OF ACTIVITY) AND INSURANCE REQUIREMENTS.
- CONTRACTOR SHALL NEITHER INTERRUPT NOR RELOCATE BUILDING SERVICES WITHOUT WRITTEN REQUEST TO THE OWNER AND RECEIPT OF WRITTEN CONSENT.
- CONTRACTOR SHALL FILE ALL NECESSARY CERTIFICATES WITH THE DEPARTMENT OF BUILDINGS, PAY ALL FEES, OBTAIN ALL PERMITS AND PROVIDE ANY AND ALL BONDS REQUIRED BY ANY CITY AGENCY IN ORDER TO DO THE WORK HEREIN DESCRIBED.
- PRIOR TO COMMENCING OPERATIONS ON SITE THE CONTRACTOR SHALL PROVIDE BOTH OWNER AND ARCHITECT 'ACORD' INSURANCE FORM LISTING THE FOLLOWING PARTIES AS ADDITIONALLY INSURED:
LACHAPPELLE ARCHITECT PLLC
GEORGE T. & KATHERINE BEATTY
THE CONTRACTOR MAY NOT BEGIN SITE OPERATIONS OF ANY KIND UNTIL THE ABOVE IS PROVIDED.

GARAGE ALTERATIONS

118 BROAD STREET
GREENPORT, NY 11944



TAX MAP NO. 1001-2-527

#	ISSUE / REVISION	DATE
.00	HPC DRAWINGS	01.04.2023
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NOTES & ENERGY CODE

SHEET NO:

A2.00

SHEET 2 OF 8

ENERGY CODE COMPLIANCE, WINDOW & DOOR SCHEDULE

ID	ASSEMBLY	MAKE/MODEL	DIMENSIONS	HARDWARE	NOTES	QTY	U-FACTOR / R-VALUE		SHGC	
							ECCNYS	PROPOSED	ECCNYS	PROPOSED
A	DOUBLE HUNG WINDOW	ANDERSON 400	24"w x 36"h	PER OWNER	LOW-E4	2	0.32	0.30 (PASS)	0.40	0.28 (PASS)
B	INSWING HOPPER WINDOW	ANDERSON 400	36"w x 22"h	PER OWNER	LOW-E4	2	0.32	0.30 (PASS)	0.40	0.28 (PASS)
C	AWNING WINDOW	ANDERSON 400	29"w x 21"h	PER OWNER	LOW-E4	1	0.32	0.30 (PASS)	0.40	0.28 (PASS)
D	SKYLIGHT	VELUX GXU	22"w x 39"h	PER OWNER	OPERABLE	2	0.55	0.42 (PASS)	0.40	0.21 (PASS)
E	SKYLIGHT	VELUX GXU	20"w x 28"h	PER OWNER	OPERABLE	2	0.55	0.42 (PASS)	0.40	0.21 (PASS)
1	ENTRY DOOR (GLAZED)	TBD	30"w x 80"h	PRIVACY, DEADBOLT	-	1	0.32	.30 (PASS)	0.40	.32 (PASS)
2	DBL. OUTSWING DOOR (GLAZED)	TBD	60"w x 80"h	PRIVACY, DEADBOLT	-	1	0.32	.30 (PASS)	0.40	.32 (PASS)
3	EXISTING GARAGE DOOR	-	108w" x 80"h	PER OWNER	EXIST. DOOR TO REMAIN	1	0.32	N/A		
1	NOM. 6" EXTERIOR PARTITION				5.5" SPRAY FOAM	-	20 or 13+5 ^a	32 (PASS) ^b		
-	ROOF				7" SPRAY FOAM	-	49	49 (PASS) ^b		
-	SLAB-ON-GRADE				EXISTING - NO CHANGE	-				

a - R20 CAVITY OR R13 CAVITY + R5 CONTINUOUS

b - SEE GENERAL NOTE 11 ABOVE

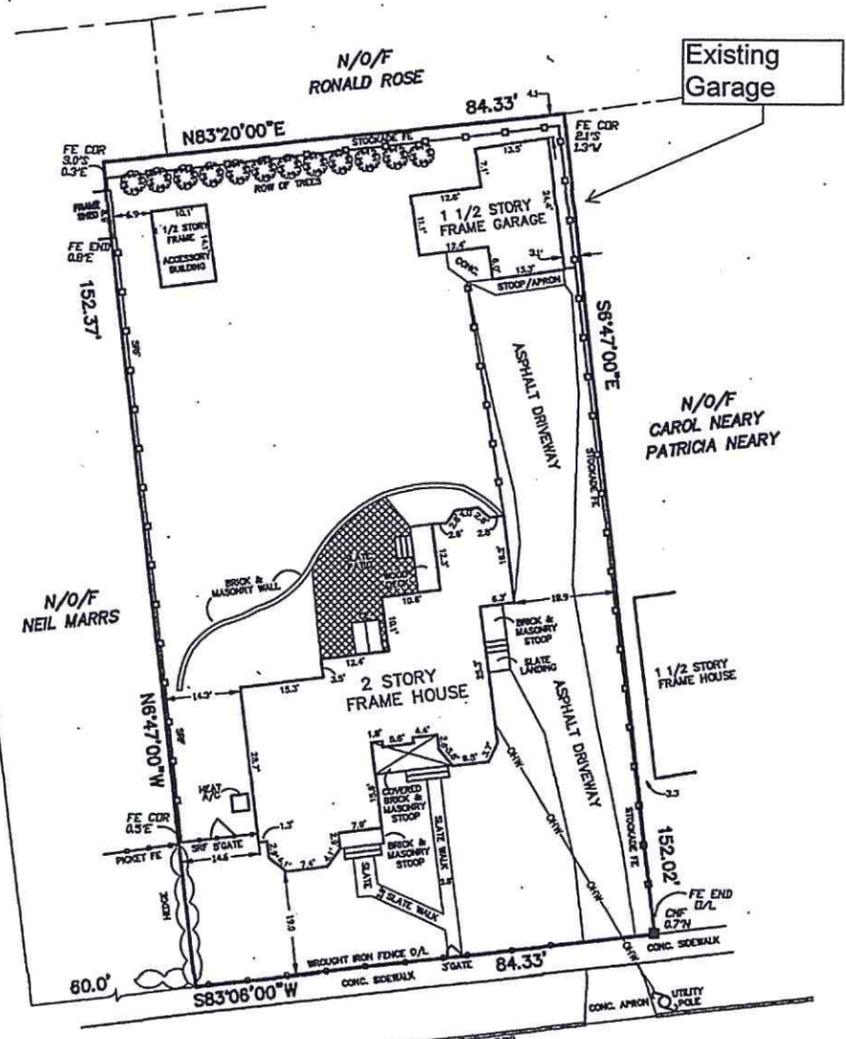
STREET ADDRESS: 118 BROAD STREET

**SURVEY OF PROPERTY
AT GREENPORT
TOWN OF SOUTHOLD
SUFFOLK COUNTY, NEW YORK**

1001-02-05-27
SCALE: 1"=20'
AUGUST 25, 2022



SECOND STREET



BROAD STREET



Donald A. Metzger
N.Y.S. E.C. NO. 49618
N.Y.S. L.I.C. NO. 051132-01
PECONIC SURVEYORS, P.C.
(631) 765-5020 FAX (631) 765-1797
Email: peconicsurvey@optonline.net
P.O. BOX 909
1230 TRAVELER STREET
SOUTHOLD, N.Y. 11971

○ = UTILITY POLE
■ = MONUMENT

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22-022