

ISSUE/REVISION	DATE
1 Revision 1	08/04/2021
2 Rev 2	04/06/22

225 MONSELL PLACE

GREENPORT, NY

SCHEMATIC DESIGN

ARCHITECT
THE TURETT COLLABORATIVE
 277 BROADWAY, SUITE 1300
 NEW YORK, NY, 10007
 212.965.1244

SHEET LIST

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CONSULTANTS

ARCHITECT
THE TURETT
 277 BROADWAY, SUITE 1300
 NEW YORK, NY, 10007
 212.965.1244

STRUCTURAL ENGINEER
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MECHANICAL ENGINEER
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THE TURETT COLLABORATIVE

277 BROADWAY STUDIO 1300 | NEW YORK, NY 10007
T: 212.965.1244 | E: INFO@TURETTARCH.COM

DRAWING TITLE

COVER SHEET

	PROJ. NO.: 2018
	DATE: 01/22/2020
	SCALE:
	SHT. NO.:
T-000	

GENERAL NOTES

- 1 THE CONSTRUCTION MANAGER/GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK, AND SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS TO THE ARCHITECT.
- 2 MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.
- 3 THE GENERAL CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF LOCAL AUTHORITIES.
- 4 ALL DIMENSIONS ARE FROM FINISHED WALLS AND PARTITIONS UNLESS OTHERWISE INDICATED. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. WALLS SHOWN TO ALIGN SHALL BE FINISHED FLUSH AND SMOOTH WITH EXISTING WORK. AFTER THE PARTITION WALLS HAVE BEEN LAID OUT THE ARCHITECT IS TO BE NOTIFIED SO THAT WORK MAY BE INSPECTED AND APPROVED FOR CONFORMANCE WITH DESIGN BEFORE PROCEEDING WITH ADDITIONAL CONSTRUCTION.
- 5 ALL WORK TO BE COORDINATED BY GENERAL CONTRACTOR UNLESS OTHERWISE NOTED. ANY SUBSTITUTE IN SPECIFICATIONS MUST BE SUBMITTED TO THE ARCHITECT FOR APPROVAL. SHOULD THE CONTRACTOR FIND ANY DISCREPANCIES, OMISSIONS, AMBIGUITIES, OR CONFLICTS IN ANY OF THE CONSTRUCTION DRAWINGS, OR BE IN DOUBT AS TO THEIR MEANING, THEY MUST BRING THE QUESTION TO THE ATTENTION OF THE ARCHITECT PRIOR TO START OF CONSTRUCTION. THE ARCHITECT SHALL REVIEW THE QUESTION AND WHERE INFORMATION SOUGHT IS NOT CLEARLY INDICATED OR SPECIFIED, WILL ISSUE A CLARIFYING ADDENDUM. NEITHER THE OWNER NOR THE ARCHITECT WILL BE RESPONSIBLE FOR VERBAL INSTRUCTIONS.
- 6 WRITTEN REQUEST MUST SUBMITTED FOR ANY PROPOSED CHANGES IN SCOPE OF THE WORK BY THE GENERAL CONTRACTOR TO THE CLIENT AND ARCHITECT BEFORE ANY WORK IS STARTED, SUCH REQUESTS SHALL INDICATE SCOPE OF WORK, COST, AND POSSIBLE DELAYS TO THE PROJECT.
- 7 THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA AND ALL COMMON SPACES LEADING TO AND FROM THE CONSTRUCTION AREA. GENERAL CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION.

THE DRAWINGS MAY NOT SHOW ALL ITEMS OR OBJECTS EXISTING AT THE SITE. THE CONTRACTOR MUST VERIFY AT THE SITE ALL OBJECTS TO BE PRESERVED AND REPORT TO THE ARCHITECT ANY DISCREPANCIES OR QUESTIONABLE ITEMS.

USE ALL MEANS NECESSARY TO PROTECT EXISTING OBJECTS DESIGNED TO REMAIN AND IN THE EVENT OF DAMAGE, IMMEDIATELY MAKE ALL REPAIRS AND REPLACEMENT NECESSARY TO THE APPROVAL OF THE ARCHITECT AT NO ADDITIONAL EXPENSE TO THE OWNER.

PRIOR TO COMMENCEMENT, CAREFULLY INSPECT THE ENTIRE SITE AND ALL OBJECTS DESIGNATED TO BE REMOVED AND TO BE PRESERVED, AS WELL AS ALL EXISTING UTILITIES. THE GENERAL CONTRACTOR SHALL REMOVE, REROUTE/OR CAP OFF ALL UNUSED UTILITIES AFTER CHECKING WITH THE ARCHITECT. THESE ITEMS SHALL BE CAPPED OFF WITHIN EXISTING WALLS OR FLOORS.

- 8 PARTITIONS:
 - A ALL OUTSIDE CORNERS AT MASONRY AND DRYWALL PARTITIONS SHALL HAVE METAL CORNER BEADS. TAPE AND SPACKLE SMOOTH WHERE REQUIRED. THREE COAT SPACKLE FINISH MIN.
 - B ALL DEFECTIVE PLASTER AND/OR DRYWALL ON ADJACENT EXISTING WALLS SHALL BE CHOPPED OFF AND/OR PATCHED FREE OF IRREGULARITIES AND SHALL MATCH ADJACENT WALLS IN FINISH AND THICKNESS.
 - C ALIGNMENT OF NEW WALL CONSTRUCTION TO EXISTING WALLS AND COLUMNS SHALL BE DONE IN A MANNER AS TO VISIBLY ELIMINATE THE POINT OF CONTACT OR JOINT OF NEW AND EXISTING MATERIALS.
 - D WHERE DEMOLITION HAS OCCURRED, CONTRACTOR SHALL FILL ALL HOLES, PATCH SMOOTH AND LEVEL ALL REMAINING SURFACES, INCLUDING WALLS, FLOORS, AND CEILINGS, SQUARE ALL CORNERS AND PROPERLY PREPARE ALL SURFACES TO RECEIVE FINISHES.
- 9 CLEAN UP: THE GENERAL CONTRACTOR SHALL KEEP THE SITE FREE FROM ACCUMULATION OF MATERIAL AND DEBRIS. PREMISES SHALL BE LEFT BROOM CLEAN AT THE CLOSE OF EVERY WORK DAY. CONTRACTORS MUST PROVIDE THEIR OWN DUMPSTERS. ALL PAINT BRUSHES, ETC. MUST BE CLEANED IN SLOP SINKS LOCATED EITHER IN THE BACK HALLWAYS OR IN THE BASEMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL UNWANTED EQUIPMENT AND DEBRIS AT THE COMPLETION OF CONSTRUCTION. AT THE COMPLETION OF THE WORK, THE GENERAL CONTRACTOR SHALL PERFORM THE FOLLOWING CLEANING:
 - A. CLEAN FIXTURES, EQUIPMENT, FINISH HARDWARE, PAINTED AND DECORATED SURFACES, AND REMOVE MARKS, STAINS, PAINT, DIRT, AND OTHER SOILING RESULTING FROM THE WORK OF THIS CONTRACT.
- 10 FIRE SAFETY:
 - A ALL BUILDING MATERIALS STORED AT CONSTRUCTION AREA ARE TO BE SECURED IN A LOCKED AREA WITH ACCESS CONTROLLED BY THE OWNER AND/OR GENERAL CONTRACTOR.
 - B ALL FLAMMABLE MATERIALS ARE TO BE KEPT TIGHTLY SEALED IN THEIR ORIGINAL CONTAINERS. SUCH MATERIALS SHALL BE KEPT AWAY FROM HEAT OR OPEN FLAMES.
 - C ALL FLAMMABLE MATERIALS TO BE USED AND STORED IN AN ADEQUATELY VENTILATED SPACE.
 - D ALL ELECTRICAL POWER IS TO BE SHUT OFF WHERE THERE IS AN EXPOSED CONDUIT.
 - E ALL ELECTRICAL POWER IN THE CONSTRUCTION AREA IS TO BE SHUT OFF AFTER WORKING HOURS.GENERAL CONTRACTOR AT ALL TIMES SHALL MAKE SURE THERE IS NO LEAKAGE OF NATURAL GAS IN BUILDING, OR ANY OTHER FLAMMABLE GAS USED IN CONSTRUCTION.
GENERAL CONTRACTOR SHALL NOT BURN ANY DEBRIS OR MAINTAIN ANY OPEN FLAMES ON THE SITE.

PLUMBING NOTES

- 1 ALL PLUMBING WORK SHALL BE PERFORMED BY A LICENSED PLUMBER.
- 2 PLUMBER MUST CHECK EXISTING WASTE AND VENT LINES TO BE FREE OF OBSTRUCTION.
- 3 PROVIDE NEW ISOLATION VALVES AND BRANCH LINES FOR HOT AND COLD WATER SUPPLY FOR RENOVATED BATHROOMS AND KITCHEN. ALL NEW COPPER PIPING SHALL BE PROVIDED FROM THE ISOLATION VALVE TO EACH FIXTURE. ALL NEW SHUTOFF VALVES TO BE PROVIDED AT EACH FIXTURE.

ELECTRICAL NOTES

- 1 ALL ELECTRICAL WORK SHALL BE PERFORMED BY A NY STATE LICENSED ELECTRICIAN AND ALL WORK SHALL BE IN ACCORDANCE WITH LOCAL JURISDICTION.

CARBON MONOXIDE ALARM NOTES

- 1 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS REQUIRED BY R315-CARBON MONOXIDE ALARMS

SMOKE DETECTOR NOTES (DWELLING UNITS)

- 1 SMOKE DETECTORS SHALL BE INSTALLED AS REQUIRED BY R314 SMOKE ALARMS AND HEAT DETECTION.
- 2 DETECTORS SHALL BE EITHER IONIZATION CHAMBERS OR PHOTOELECTRIC TYPES.
- 3 UNITS TO BE APPROVED BY BOARD OF STANDARDS AND APPEALS ACCEPTED PURSUANT TO RULES AND REGULATIONS PROMULGATED BY THE COMMISSIONER OR LISTED BY AN ACCEPTABLE TESTING LABORATORY, SUCH AS:

UNDERWRITER'S LABORATORY, NORTHBROOK, ILLINOIS, MEA LAB;
CANADIAN STANDARD ASSOCIATION, ONTARIO, CANADA;
UNDERWRITER'S LAB. OF CANADA, ONTARIO, CANADA, MEA LAB.

- 4 UNITS SHALL BE INSTALLED IN AREAS DESIGNATED ON PLANS; THEY SHALL BE LOCATED ON OR NEAR THE CEILINGS AND WITHIN 15'-0" OF ANY ROOMS USED FOR SLEEPING PURPOSES; FOR DWELLING UNITS WITH MULTIPLE LEVELS, WHEN ANY LEVEL HAS ONLY ONE MEANS OF EGRESS, UNITS SHALL BE PROVIDED AT ALL LEVELS.
- 5 UNITS SHALL BE INSTALLED IN AREAS DESIGNATED ON PLANS; THEY SHALL BE LOCATED ON OR NEAR THE CEILINGS AND WITHIN 15'-0" OF ANY ROOMS USED FOR SLEEPING PURPOSES; FOR DWELLING UNITS WITH MULTIPLE LEVELS, WHEN ANY LEVEL HAS ONLY ONE MEANS OF EGRESS, UNITS SHALL BE PROVIDED AT ALL LEVELS.

BUILDING CODE NOTES

- 1 ALL CONSTRUCTION WORK SHALL BE DONE IN ACCORDANCE WITH REQUIREMENTS OF THE FOLLOWS:
 - 2020 RESIDENTIAL CODE(RC) CODE OF NEW YORK STATE
 - 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE (ECCCNYS)
 - 2020 EXISTING BUILDING CODE OF NEW YORK STATE
 - SOUTHOLD TOWN CODE
- 2 PER RC OF NEW YORK STATE R102.7.1 ADDITIONS, ALTERATIONS OR REPAIRS TO ANY STRUCTURE SHALL CONFORM TO THE REQUIREMENTS FOR A NEW STRUCTURE WITHOUT REQUIRING THE EXISTING STRUCTURE TO COMPLY WITH THE REQUIREMENTS OF THE CODE. ADDITIONS, ALTERATIONS, REPAIRS AND RELOCATIONS SHALL NOT CAUSE AN EXISTING STRUCTURE TO BECOME UNSAFE OR ADVERSELY AFFECT THE PERFORMANCE OF THE BUILDING.
- 3 ALL ELECTRICAL WORK TO CONFORM TO LOCAL, STATE, AND N.E.C. AND UNDERWRITERS REQUIREMENTS.
- 4 ALL PLUMBING TO CONFORM TO LOCAL AND STATE CODES AND HEALTH DEPARTMENT REQUIREMENTS.
- 5 ALL FRAMING TO CONFORM THE INTERNATIONAL BUILDING CODE, FOR HIGH WIND ZONE 3, 120 MPH, 3 SECOND GUST, SITE EXPOSURE B. ALL FRAMING HARDWARE TO BE SIMPSON STRONG-TIE WITH A CONTINUOUS LOAD TRANSFER PATH FROM THE RAFTERS TO THE FOUNDATION. SHEATHING MUST BE NAILED TO TOP PLATE, OTHER PLATES, ALL STUD AND HEADERS, ROOF RAFTERS TO BE CLIPPED ACROSS THE PLATE TO THE STUD.
- 6 REQUIRED INSPECTIONS:
 - FOOTING AND FOUNDATION INSPECTION
 - FRAMING AND ROUGH-IN INSPECTION
 - PLUMBING ROUGH-IN INSPECTION
 - GAS ROUGH-IN INSPECTION
 - MECHANICAL ROUGH-IN INSPECTION
 - ELECTRICAL INSPECTION
 - FINAL INSPECTION
- 7 THE CONTRACTOR SHALL NOTIFY THE CODE OFFICIAL WHEN WORK IS READY FOR INSPECTION, AND SHALL PROVIDE ACCESS TO AND MEANS FOR INSPECTIONS.

ENERGY CODE NOTES

- 1 (U.O.N. ALL CODE SECTIONS REFERENCED REFER TO 10 ECCCNYS)
- 2 TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE (ECCCNYS)
- 3 ALSO SEE THE ENERGY CODE ANALYSIS CHART.
- 4 ALL ALTERATIONS WORK SHALL COMPLY WITH 2020 NYSECC.
- 5 PER ECCCNYS SECTION R503.1, ALTERATIONS SHALL CONFORM TO ENERGY CODE REQUIREMENTS WITHOUT REQUIRING THE UNALTERED PORTIONS OF THE EXISTING BUILDING OR EXISTING SYSTEM TO COMPLY. ALTERATIONS SHALL NOT CREATE AN UNSAFE OR HAZARDOUS CONDITION OR OVERLOAD EXISTING BUILDING SYSTEMS. ALTERATIONS SHALL BE SUCH THAT THE EXISTING BUILDING USES NOT MORE ENERGY THAN PRIOR TO ALTERATIONS.
- 6 PER 907.1 OF EXISTING BUILDING CODE OF NEW YORK STATE, LEVEL 3 ALTERATIONS TO EXISTING BUILDINGS OR STRUCTURES ARE PERMITTED WITHOUT REQUIRING THE ENTIRE BUILDING OR STRUCTURE TO COMPLY WITH THE ENERGY REQUIREMENTS OF THE ECCCNYS. THE ALTERATIONS SHALL CONFORM TO THE ENERGY REQUIREMENTS OF THE ECCCNYS AS THEY RELATE TO NEW CONSTRUCTION ONLY.
- 7 PER R108, REQUIRED ENERGY CODE INSPECTIONS INCLUDE:
 - FRAMING AND ROUGH-IN INSPECTION
 - PLUMBING AND ROUGH-IN INSPECTION
 - MECHANICAL AND ROUGH-IN INSPECTION
 - FINAL INSPECTION
- 8 THE CONTRACTOR SHALL NOTIFY THE CODE OFFICIAL WHEN WORK IS READY FOR INSPECTION, AND SHALL PROVIDE ACCESS TO AND MEANS FOR INSPECTIONS.
- 9 PER R303.1.1, AN R-VALUE IDENTIFICATION MARK SHALL BE APPLIED BY THE MANUFACTURER TO EACH PIECE OF BUILDING THERMAL ENVELOPE INSULATION THAT IS 12 INCHES OR GREATER IN WIDTH. ALTERNATELY, THE INSULATION INSTALLERS SHALL PROVIDE A CERTIFICATION THAT INDICATES THE TYPE, MANUFACTURER AND R-VALUE ON INSULATION INSTALLED IN EACH ELEMENT OF THE BUILDING THERMAL ENVELOPE. FOR BLOWN-IN OR SPRAYED FIBERGLASS AND CELLULOSE INSULATION, THE INITIAL INSTALLED DENSITY, COVERAGE AREA AND NUMBER OF BAGS INSTALLED SHALL BE INDICATED ON THE CERTIFICATION. FOR SPRAYED POLYURETHANE FOAM(SFP) INSULATION, THE INSTALLED THICKNESS SHALL BE INDICATED ON THE CERTIFICATION. THE INSULATION INSTALLER SHALL SIGN, DATE AND POST THE CERTIFICATION IN A CONSPICUOUS LOCATION ON THE JOB SITE.
- 10 PER R303.1.1, AN R-VALUE MAINTENANCE INSTRUCTIONS SHALL BE FURNISHED FOR EQUIPMENT AND SYSTEMS THAT REQUIRE PREVENTIVE MAINTENANCE. REQUIRED REGULAR MAINTENANCE ACTIONS SHALL BE CLEARLY STATES AND INCORPORATED ON A READILY ACCESSIBLE LABEL. THE LABEL SHALL INCLUDE THE TITLE OR PUBLICATION NUMBER FOR THE OPERATION AND MAINTENANCE MANUAL FOR THAT PARTICULAR MODEL AND TYPE OF PRODUCT.
- 11 THE PERMANENT CERTIFICATE RE ENERGY EFFICIENT SHALL BE COMPLETED BY THE BUILDER OR OTHER APPROVED PARTY AND POSTED PER THE REQUIREMENTS OF ECCCNYS R401.3.
- 12 AT CEILINGS WITHOUT ATTIC SPACES, R VALUE OF ROOF / CEILING INSULATION MAY BE REDUCED TO R-30 AS PER R402.2.2 AND LIMITATIONS SET FORTH IN THAT SECTION.
- 13 PER R402.4.5, RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES, AND SHALL BE IC-RATED AND LABELED AS HAVING AND AIR LEAKAGE OF NOT GREATER THAN 2.0 CFM WHEN TESTED IN ACCORDANCE WITH ASTM E283 AT A PRESSURE DIFFERENTIAL OF 1.57 PSF. RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULKED BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING.

ENERGY CODE ANALYSIS

THE CHART DEMONSTRATES COMPLIANCE OF THIS PROJECT WITH APPLICABLE REQUIREMENTS OF THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE(ECCCNYS) (U.O.N. ALL CODE SECTIONS REFERENCED REFER TO ECCCNYS)

BUILDING TYPE: RESIDENTIAL

CLIMATE ZONE: 4A

COMPLIANCE: PRESCRIPTIVE - SECTIONS R401 THROUGH R404

ITEM DESCRIPTION	PROPOSED VALUE	ECCCNYS PRESCRIBED VALUE
CEILING ROOF R-VALUE	R-04 (4" CLOSED CELL INSULATION (R-6.5INCH) + R-15 COMFORT BATT INSULATION)	PER TABLE R402.1.2, MIN:4.0
WOOD FRAME WALL R-VALUE	R-08.6 (R-2) ROCKWOOL INSULATION - R SHEATHING (R-3.6)	PER TABLE R402.1.2, MIN: R-20 CAVITY OR R-13 (CAVITY) + R-5 (CONTRADUOS)
FLOOR R-VALUE	R-21	PER TABLE R402.1.2, MIN: R-19
CRACK SPACE WALL R-VALUE	R-13	R-13
FENESTRATION U-FACTOR AND SOLAR HEAT GAIN	FENESTRATION U-FACTOR: MAX U-0.32 GLAZED FENESTRATION SHGC: MAX. SHGC 0.40	PER TABLE R402.1.2, FENESTRATION U-FACTOR: MAX U-0.32 PER TABLE R402.1.2, GLAZED FENESTRATION SHGC: MAX. SHGC 0.40
AIR LEAKAGE	WHERE APPLICABLE AT AREAS OF NEW WORK, THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH R402.4 AIR LEAKAGE AND CRITERIA AS INDICATED IN TABLE R402.4.1.1. JOINTS, PENETRATIONS, SEAMS, CONNECTIONS TO BE SEALED, W/RAISED CAULKED, GASKETED, TAPED IN APPROVED MANNER TO MINIMIZE AIR LEAKA	PER TABLE R402.4, THE BUILDING THERMAL ENVELOPE SHALL LIMIT AIR LEAKAGE IN ACCORDANCE WITH REQUIREMENTS OF SECTION R402.4, AND CRITERIA INDICATED IN TABLE R402.4.1.1
FENESTRATION AIR LEAKAGE	WINDOWS, SKYLIGHTS AND SLIDING DOORS SHALL HAVE AN AIR INFILTRATION RATE OF NOT GREATER THAN 0.3 CFM PER SQUARE FOOT SLIDING DOORS SHALL HAVE AN AIR LEAKAGE OF NOT GREATER THAN 0.5 CFM PER SQUARE FOOT WHEN TESTED AS NOTED IN THE NEXT COLUMN ->	PER TABLE R402.4.3, WINDOWS, SKYLIGHTS AND SLIDING DOORS SHALL HAVE AN AIR INFILTRATION RATE OF NOT GREATER THAN 0.3 CFM PER SQUARE FOOT, AND FOR SLIDING DOORS SHALL HAVE AN AIR LEAKAGE OF NOT GREATER THAN 0.5 CFM PER SQUARE FOOT. WHEN TESTED IN ACCORDANCE WITH NFRC 400 OR AAMA W400M/CAS 111/LS 2040 BY AN ACCREDITED, INDEPENDENT LAB, AND LISTED AND LABELED BY THE MANUFACTURER
ELECTRICAL POWER AND LIGHTING SYSTEMS	NOT LESS THAN 90% OF NEW PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH EFFICIENCY LAMPS.	PER R404.1, NOT LESS THAN 90% OF NEW PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH EFFICIENCY LAMPS.

225 MONSELL PLACE

ISSUE/REVISION

DATE

CONSULTANTS

ARCHITECT

THE TURETT COLLABORATIVE
277 BROADWAY, SUITE 1300
NEW YORK, NY, 10007
212.965.1244

STRUCTURAL ENGINEER

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MECHANICAL ENGINEER

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AV + IT CONSULTANT

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ACOUSTICAL CONSULTANT

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CONSULTANT 6 TYPE

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CONSULTANT 7 TYPE

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THE TURETT COLLABORATIVE

277 BROADWAY STUDIO 1300 | NEW YORK, NY 10007
T: 212.965.1244 | E: INFO@TURETTARCH.COM

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GENERAL NOTES

STAMP & SIGNATURE	PROJ. NO.: 2018
	DATE: 01/08/20
	SCALE:
	SHT. NO.:
G-001	

Tax Map # 1001-2-226

Existing

AREA OF HOUSE + DECK = 957 SF

LOT AREA = 2,640 SF

LOT COVERAGE = 36 %

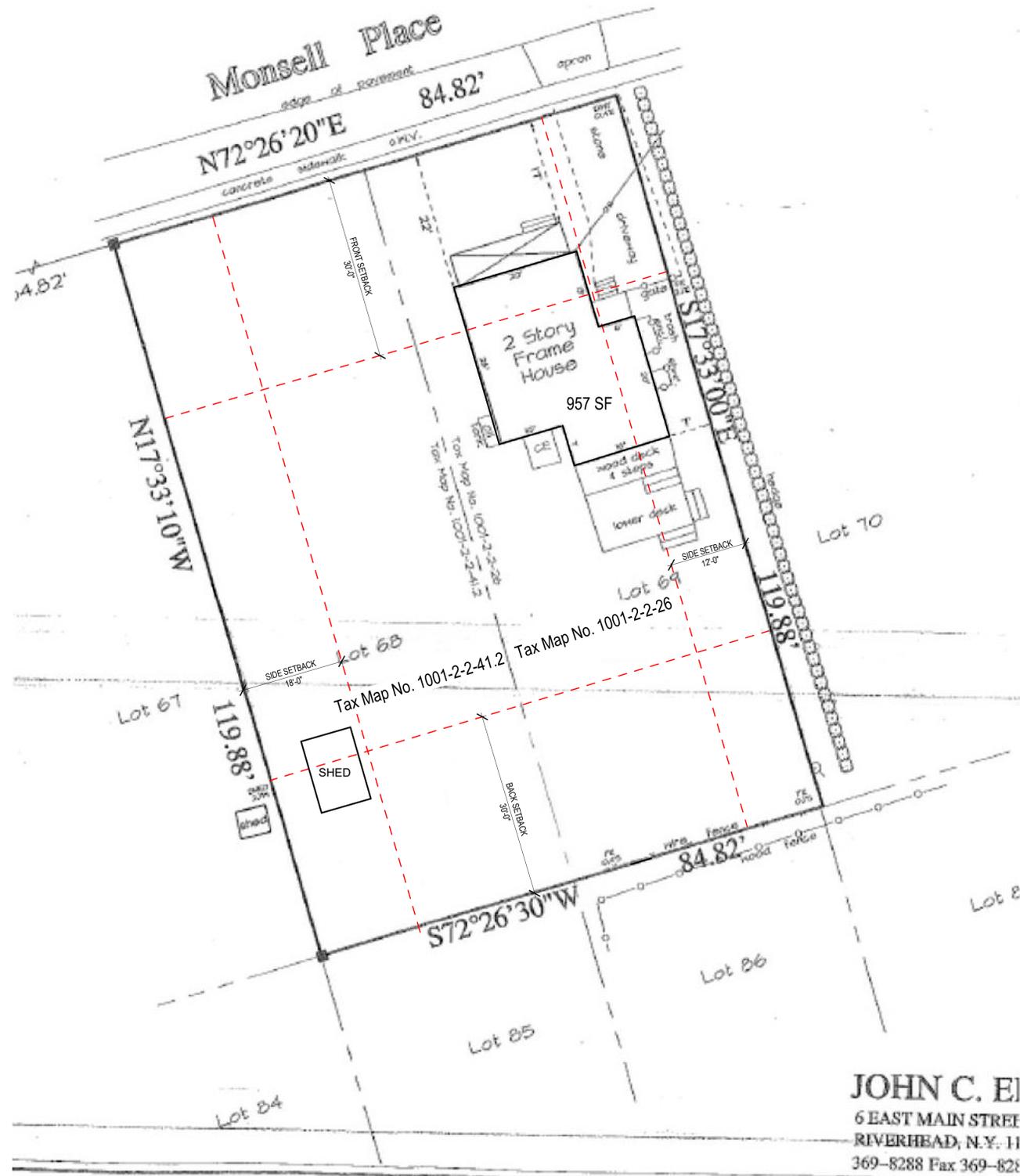
Proposed design

AREA OF HOUSE AND DECK = 1,540 SF

LOT AREA 2,640 SF

LOT COVERAGE 58%

PROPERTY OF JOHN A. MONSELL



JOHN C. EI
 6 EAST MAIN STREET
 RIVERHEAD, N.Y. 11
 369-8288 Fax 369-828



225 MONSELL PLACE

ISSUE/REVISION	DATE
2 Rev 2	04/06/22

CONSULTANTS

ARCHITECT
THE TURETT COLLABORATIVE
 277 BROADWAY, SUITE 1300
 NEW YORK, NY, 10007
 212.965.1244

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AV + IT CONSULTANT
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ACOUSTICAL CONSULTANT
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CONSULTANT 6 TYPE
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EXISTING SURVEY

	STAMP & SIGNATURE	PROJ. NO.: 2018
		DATE: 03/17/21
		SCALE:
		SHT. NO.:
		Z-001

ISSUE/REVISION	DATE
1. deleted Bilco Dr	033022

CONSULTANTS

ARCHITECT
 THE TURETT COLLABORATIVE
 277 BROADWAY, SUITE 1300
 NEW YORK, NY, 10007
 212.965.1244

STRUCTURAL ENGINEER
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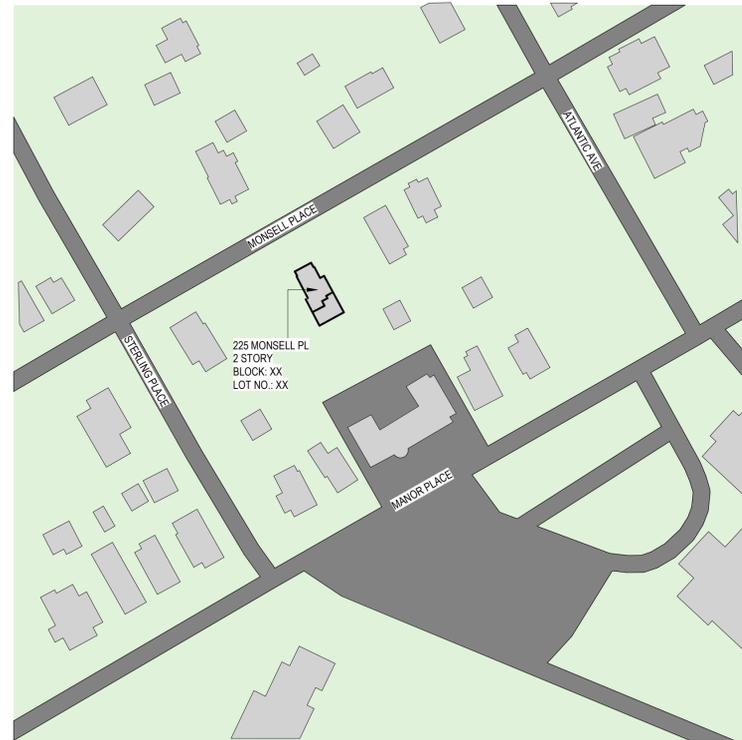
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NEW PROPOSED SITE PLAN

	STAMP & SIGNATURE	PROJ. NO.: 2018
		DATE: 01/08/20
	SCALE: As indicated	SHT. NO.:
		Z-002



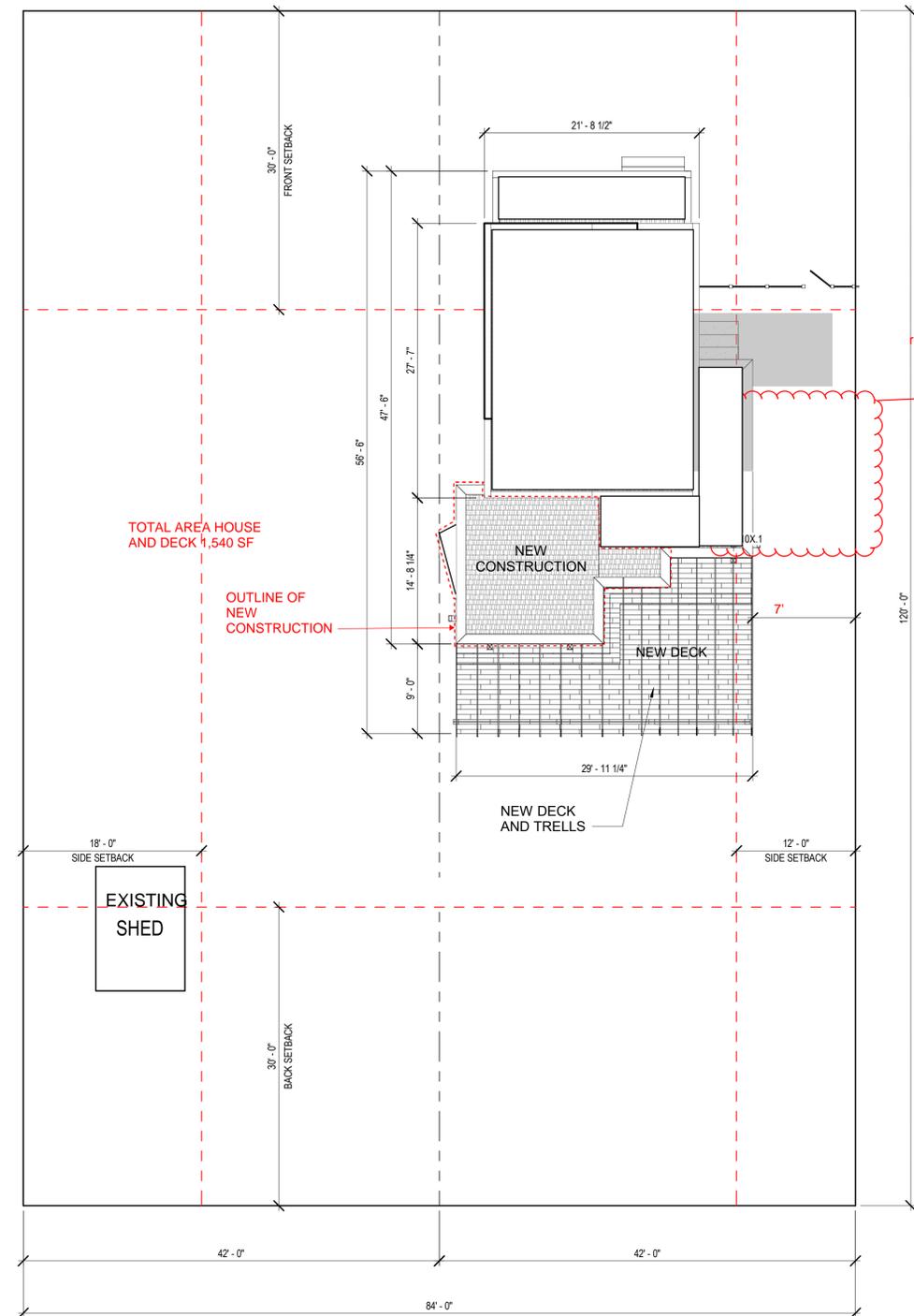
1 Location Plan
 1" = 80'-0"

BULK REQ.	ii
DISTRICT	R-1
MINIMUM REQUIREMENTS FOR 1-FAMILY DETACHED...	
LOT SIZE (SQUARE FEET)	10,080
LOT WIDTH (FEET)	84
LOT DEPTH (FEET)	120
FRONT YARD (FEET)	30
SIDE YARD (FEET)	15
BOTH SIDE YARDS (FEET)	30
REAR YARD (FEET)	30
LIVABLE FLOOR AREA (SQUARE FEET PER DWELLING UNIT)	850
MAXIMUM PERMITTED DIMENSIONS:	
LOT COVERAGE (PERCENT)	11.3
BUILDING HEIGHT (FEET)	31.6
NUMBER OF STORIES	2

Existing First Floor = 874 SF
 Proposed First Floor = 1,142 SF

Existing Second Floor = 599 SF
 Proposed Second Floor = 599 SF

Existing Deck = 246 SF
 Proposed Deck = 398 SF



2 SITE PLAN
 1/8" = 1'-0"



ISSUE/REVISION	DATE
Rev 1 - delete Bilco door	033022
Rev 2 - revised baywindow to be on one lot.	060122

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ARCHITECT
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CONSULTANT 6 TYPE
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CONSULTANT 7 TYPE
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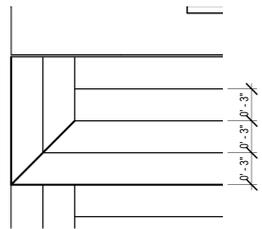
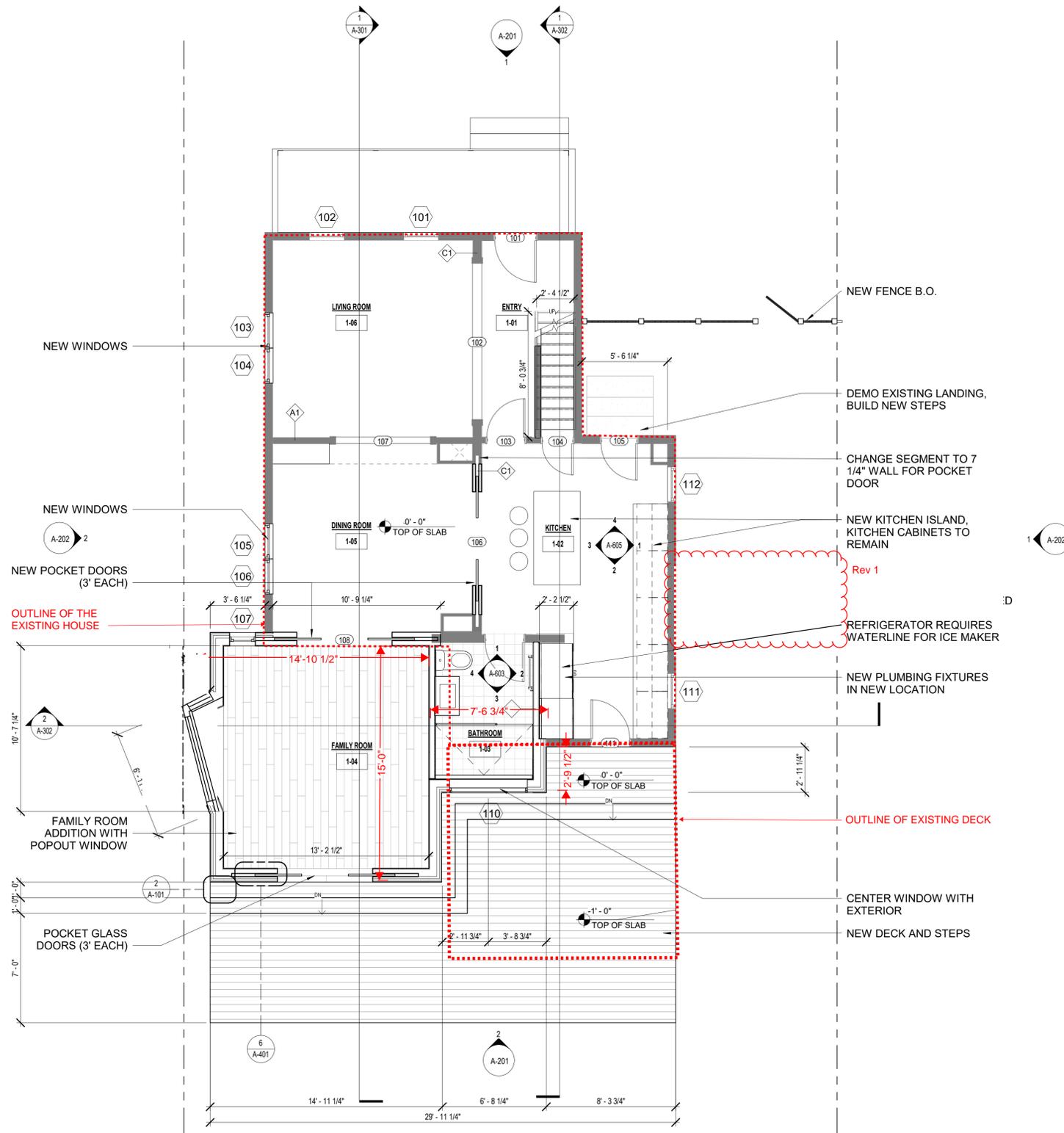
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CONSTRUCTION PLAN -
 LEVEL 1

	STAMP & SIGNATURE	PROJ. NO.: 2018
		DATE: 01/07/20
	SCALE: As indicated	SHT. NO.:
		A-101



2 PLAN DETAIL - WOOD DECK
 1 1/2" = 1'-0"

1 CONSTRUCTION PLAN - LEVEL 1
 1/4" = 1'-0"

ISSUE/REVISION	DATE
1 Revision 1	08/04/2021

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ARCHITECT
 THE TURETT COLLABORATIVE
 277 BROADWAY, SUITE 1300
 NEW YORK, NY, 10007
 212.965.1244

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ACOUSTICAL CONSULTANT
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CONSULTANT 6 TYPE
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CONSULTANT 7 TYPE
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THE TURETT COLLABORATIVE:

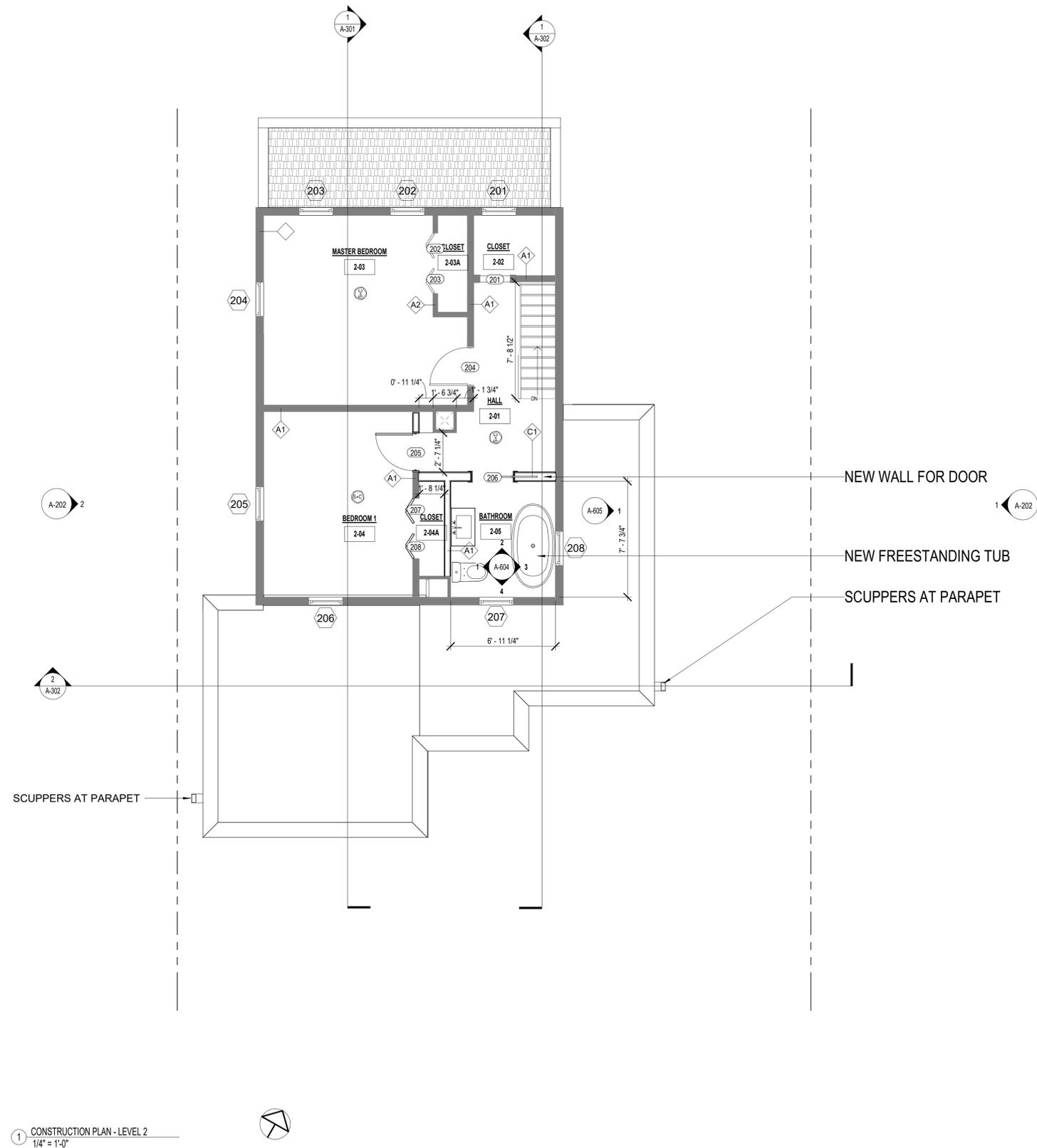
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CONSTRUCTION PLAN -
 LEVEL 2

	STAMP & SIGNATURE	PROJ. NO.: 2018
		DATE: 09/15/19
		SCALE: 1/4" = 1'-0"
		SHT. NO.: 40

A-102



1 CONSTRUCTION PLAN - LEVEL 2
 1/4" = 1'-0"



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212.965.1244

STRUCTURAL ENGINEER
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MECHANICAL ENGINEER
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AV + IT CONSULTANT
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ACOUSTICAL CONSULTANT
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DRAWING TITLE

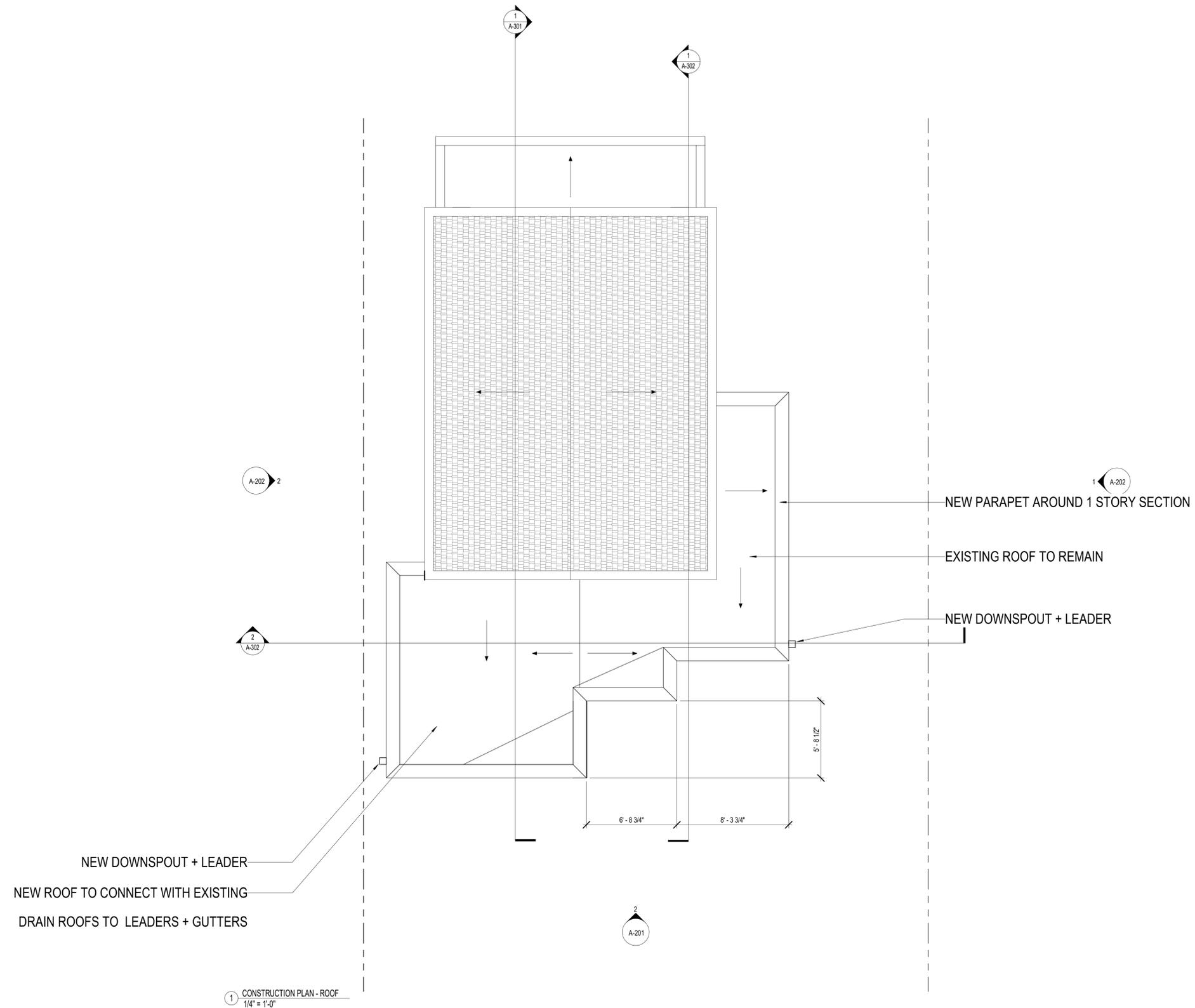
CONSTRUCTION PLAN - ROOF

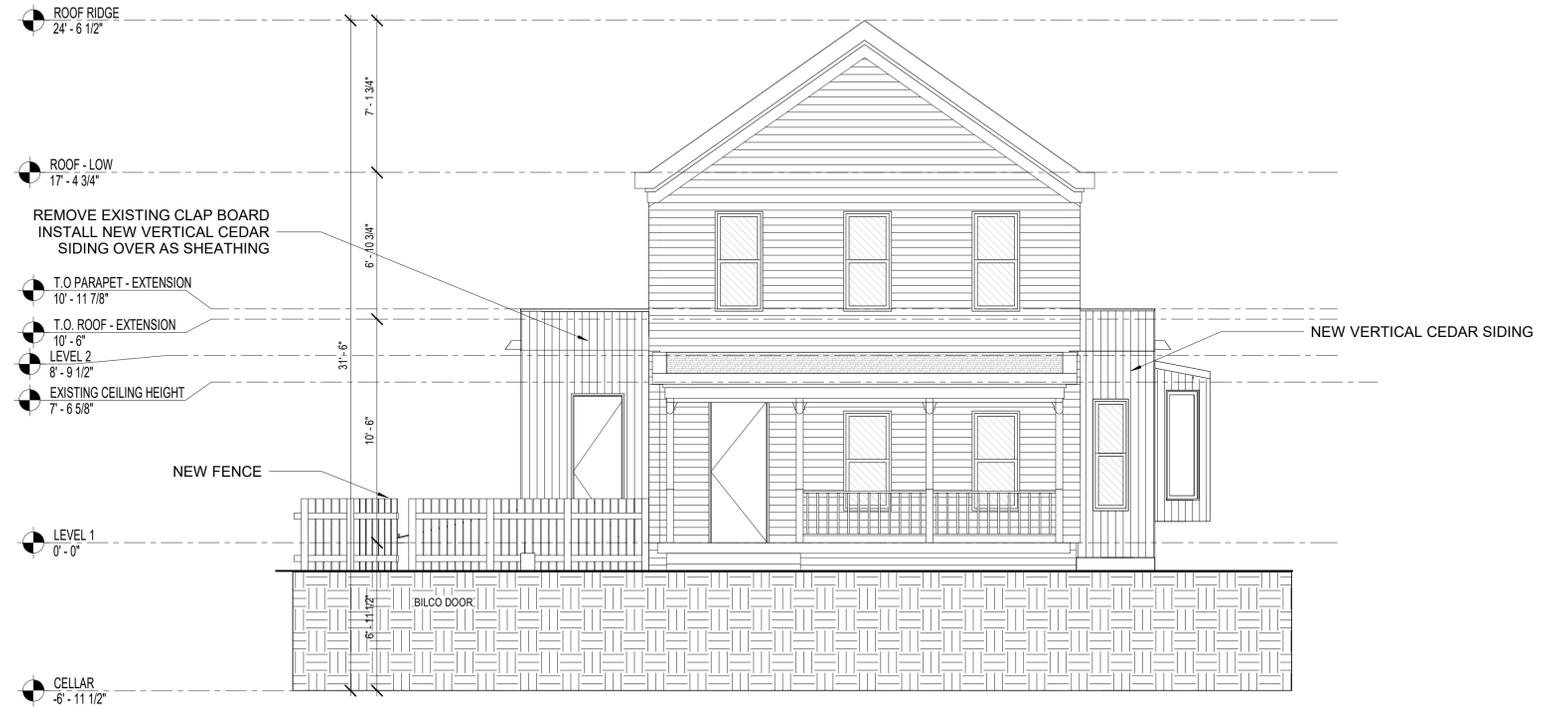
STAMP & SIGNATURE



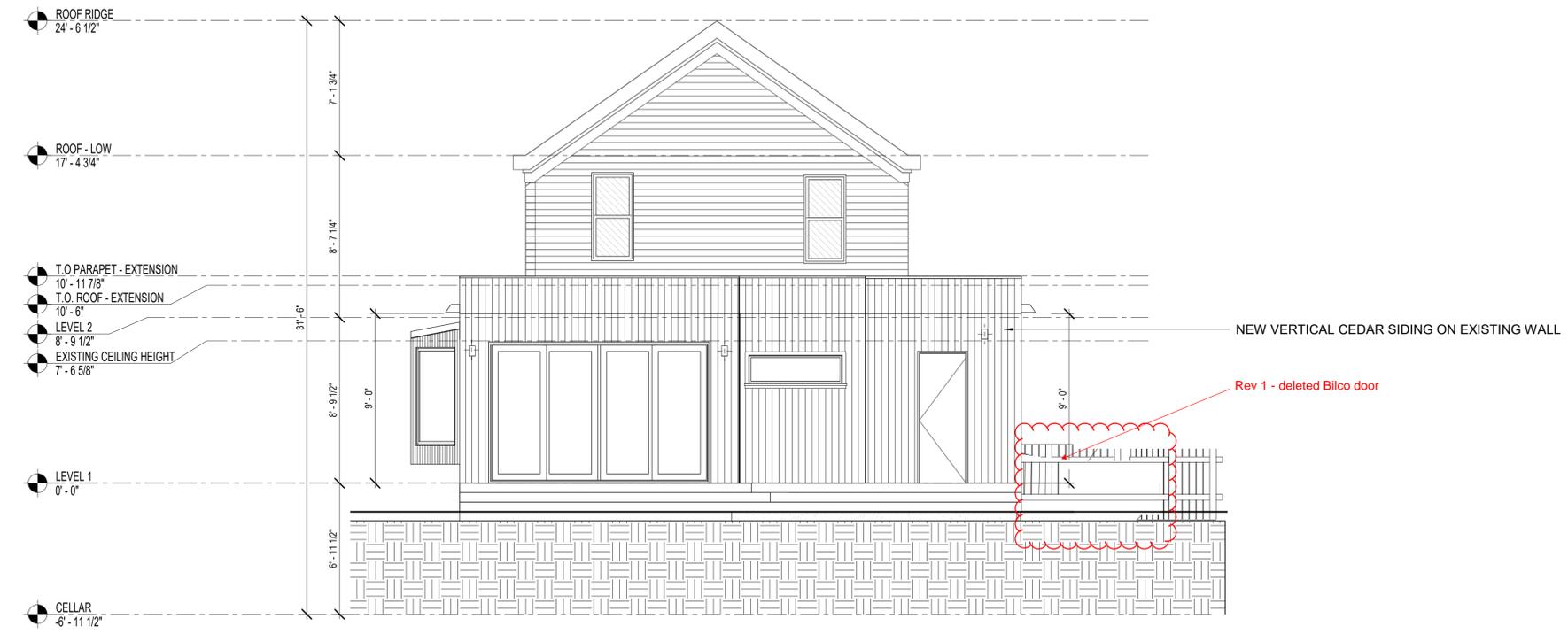
PROJ. NO.: 2018
DATE: 01/07/20
SCALE: 1/4" = 1'-0"
SHT. NO.:

A-103





1 PROPOSED NORTH (FRONT) ELEVATION
1/4" = 1'-0"



2 PROPOSED SOUTH (REAR) ELEVATION
1/4" = 1'-0"

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STRUCTURAL ENGINEER
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MECHANICAL ENGINEER
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AV + IT CONSULTANT
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CONSULTANT 7 TYPE
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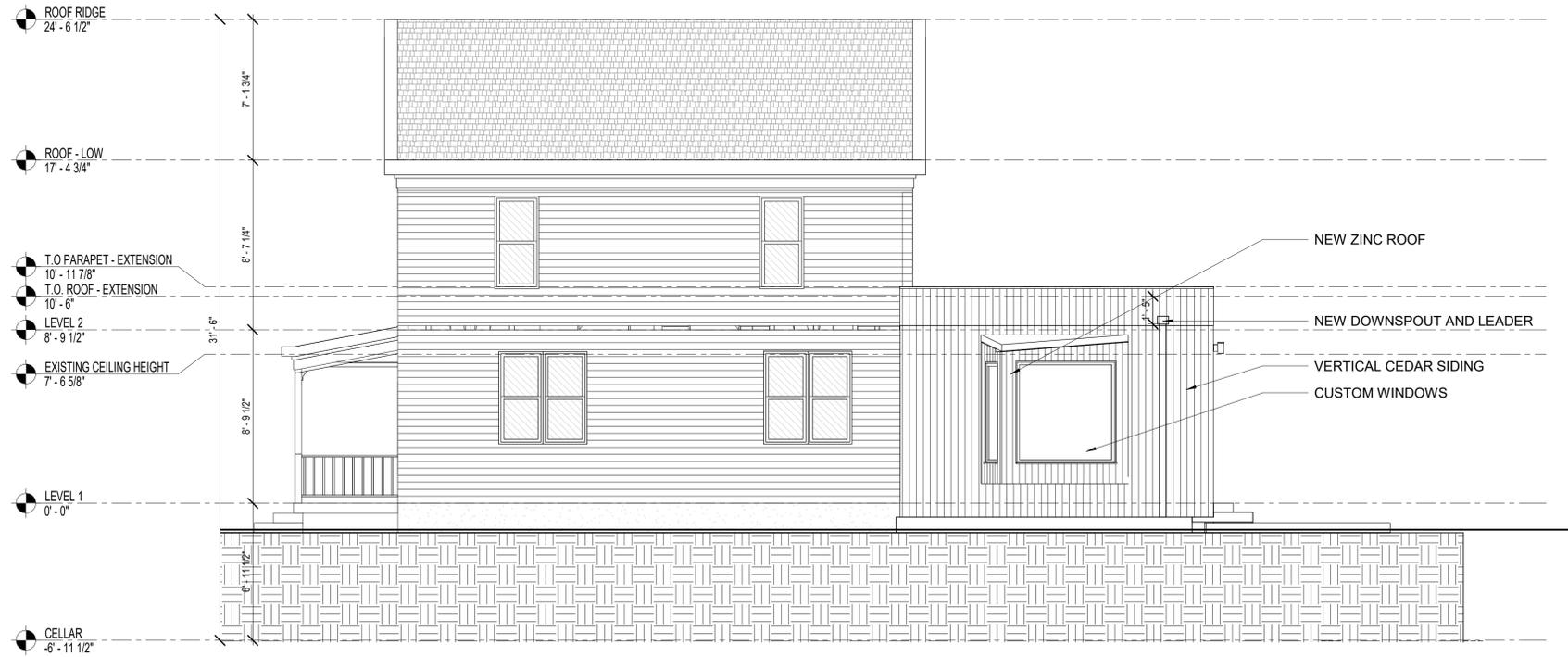
BUILDING ELEVATIONS -
 NORTH & SOUTH

STAMP & SIGNATURE

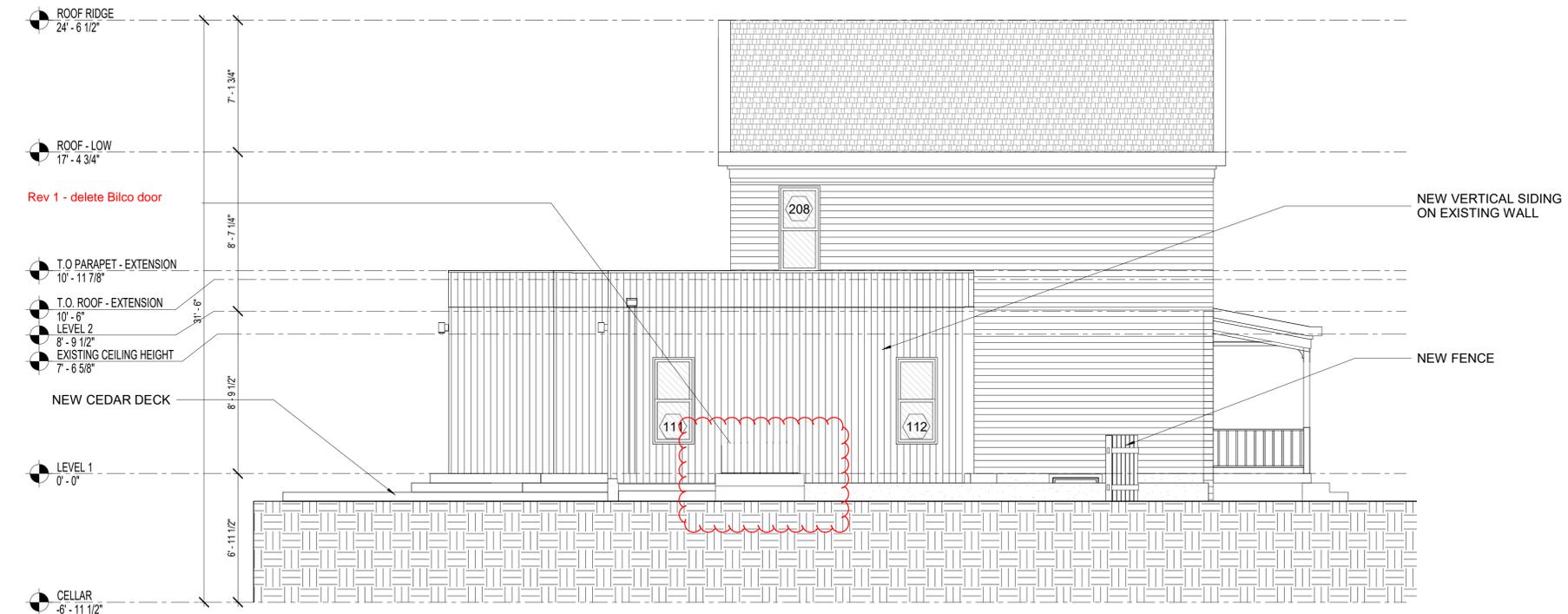


PROJ. NO.: 2018
 DATE: 09/23/19
 SCALE: 1/4" = 1'-0"
 SHT. NO.: 5 of 85

A-201



2 PROPOSED WEST ELEVATION
1/4" = 1'-0"



1 PROPOSED EAST ELEVATION
1/4" = 1'-0"

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STRUCTURAL ENGINEER
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AV + IT CONSULTANT
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ACOUSTICAL CONSULTANT
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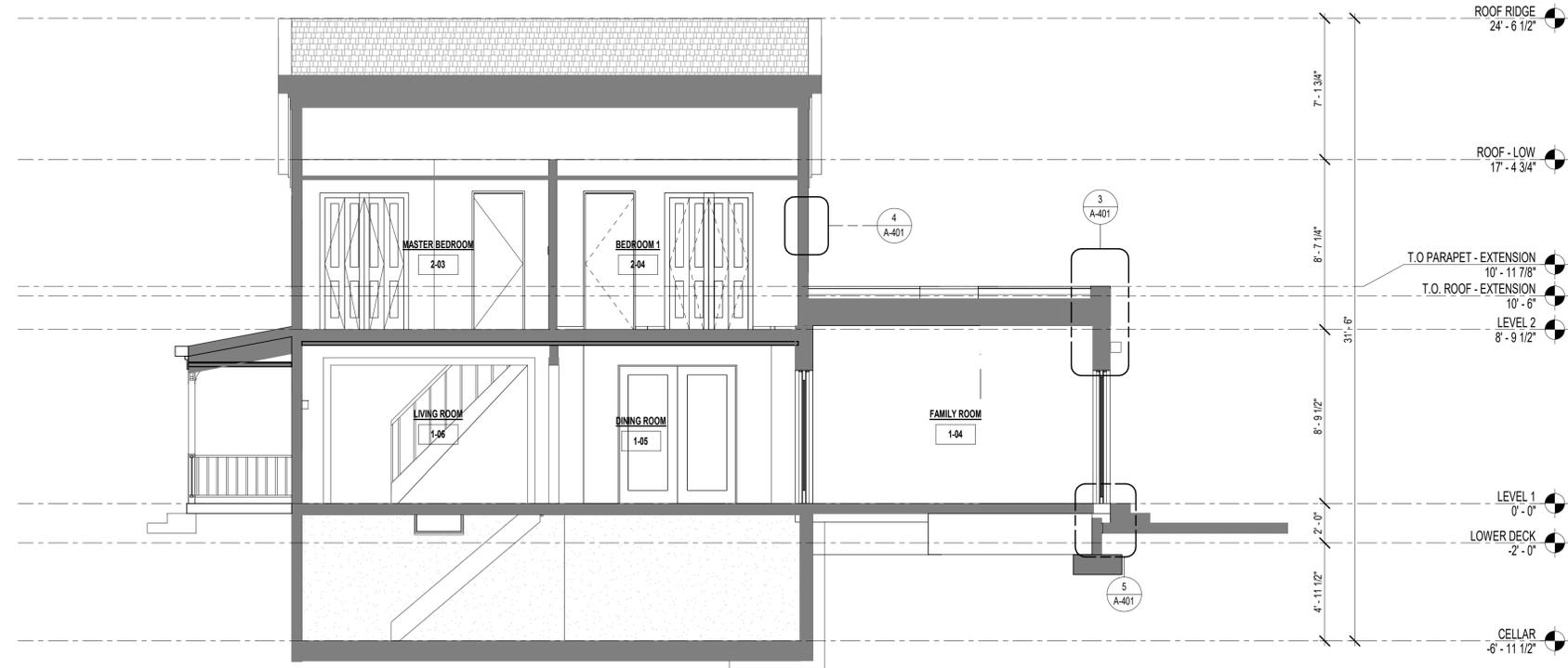
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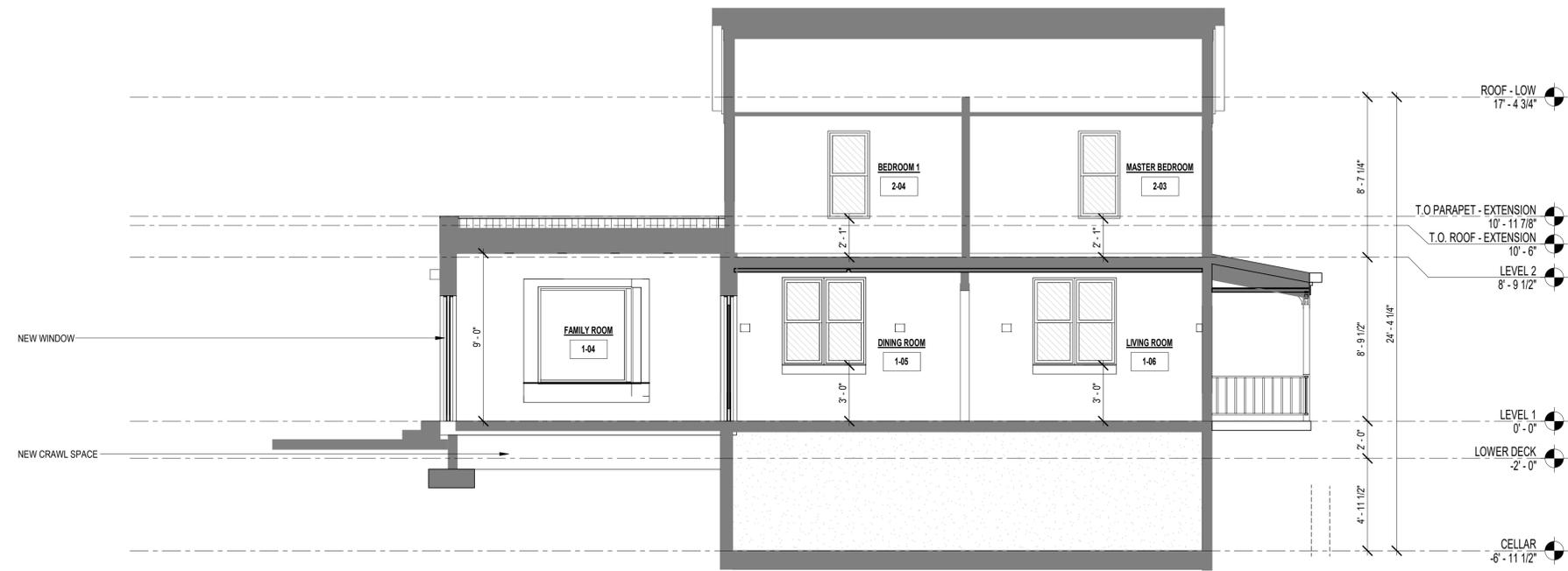
DRAWING TITLE

BUILDING ELEVATIONS -
 EAST & WEST

STAMP & SIGNATURE 	PROJ. NO.: 2018
	DATE: 01/04/21
	SCALE: 1/4" = 1'-0"
	SHT. NO.: A-202



1 Section 9
1/4" = 1'-0"



2 BUILDING SECTION
1/4" = 1'-0"

CONSULTANTS

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STRUCTURAL ENGINEER
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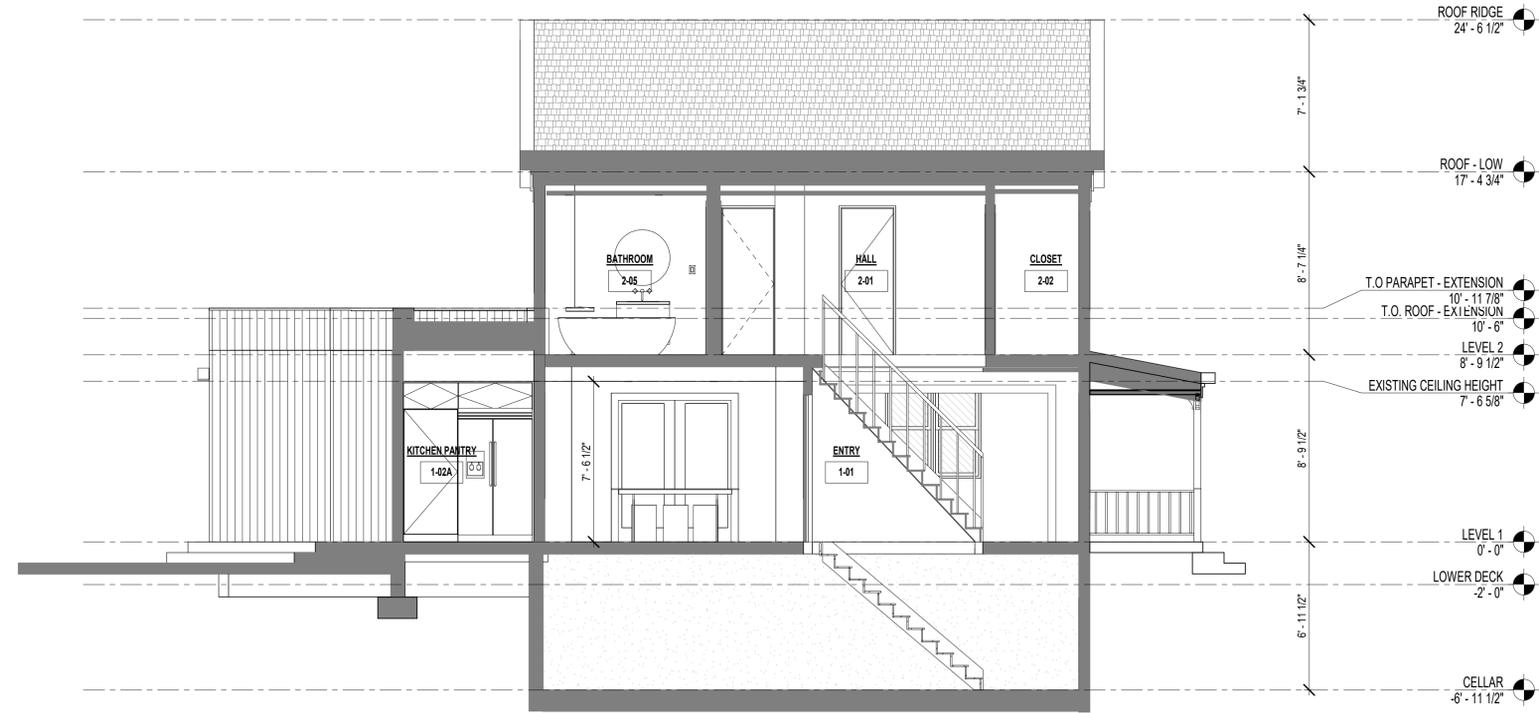
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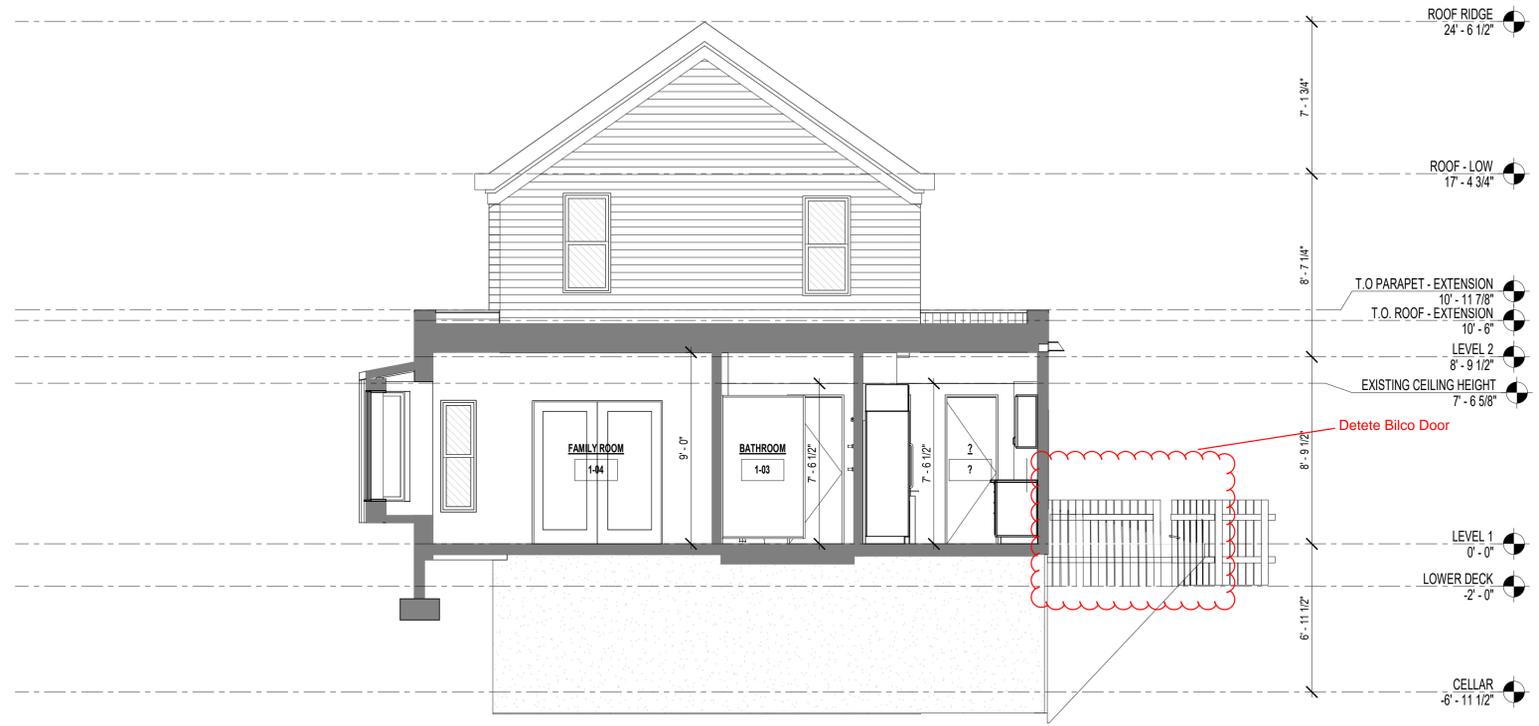
DRAWING TITLE

BUILDING SECTION

	STAMP & SIGNATURE	PROJ. NO.: 2018
		DATE: 01/04/21
		SCALE: 1/4" = 1'-0"
		SHT. NO.:
		A-301



1 Section 10
1/4" = 1'-0"



2 Section 8
1/4" = 1'-0"

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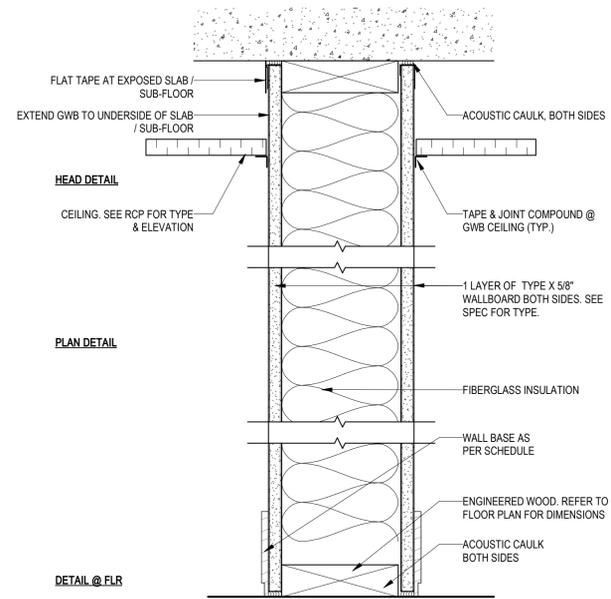
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BUILDING SECTION B

	STAMP & SIGNATURE	PROJ. NO.: 2018
		DATE: 07/20/21
		SCALE: 1/4" = 1'-0"
		SHT. NO.:
		A-302

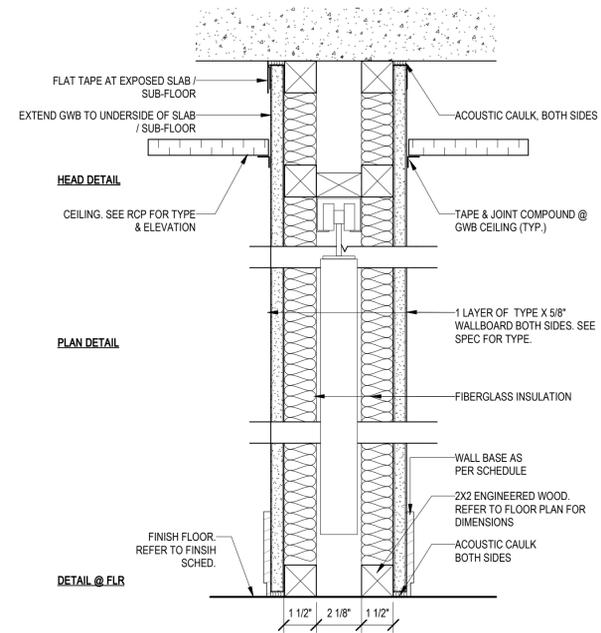
ISSUE/REVISION	DATE
1 Revision 1	08/04/2021



PARTITION TYPE	STUD SIZE	OVERALL DIMENSION	STC RATING	UL DESIGN NO.
A1	2 X 4	SEE PLANS		
A2	2 X 6	SEE PLANS		

* PROVIDE CEMENT BOARD AT WET AREA. TYP.

① PARTITION TYPE A NON-RATED2
3' = 1'-0"



PARTITION TYPE	STUD SIZE	OVERALL DIMENSION	STC RATING	UL DESIGN NO.
C1	2x2	SEE PLANS		

② PARTITION TYPE C - NON-RATED POCKET DOOR
3' = 1'-0"

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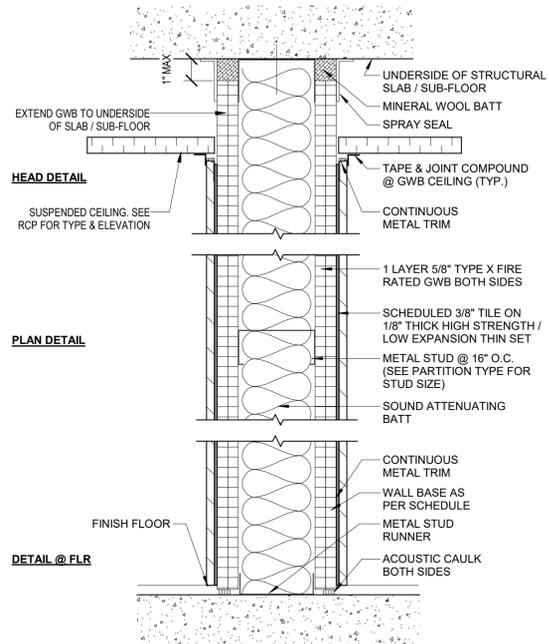
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PARTITION TYPES

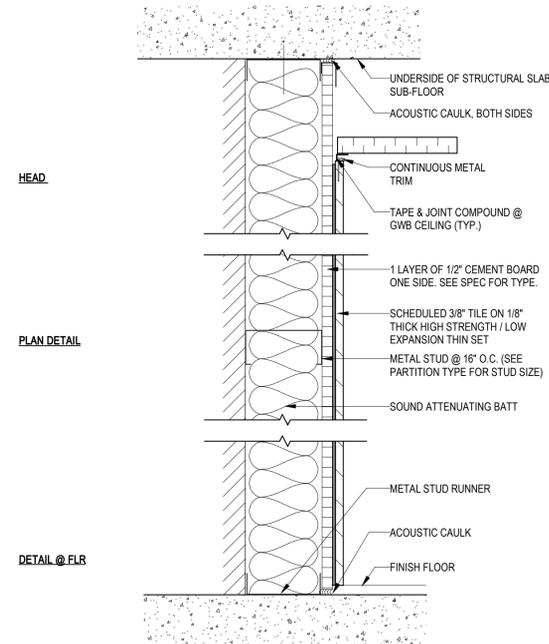
	STAMP & SIGNATURE	PROJ. NO.: 2018
		DATE: 04/15/2021
		SCALE: 3" = 1'-0"
		SHT. NO.:

A-601



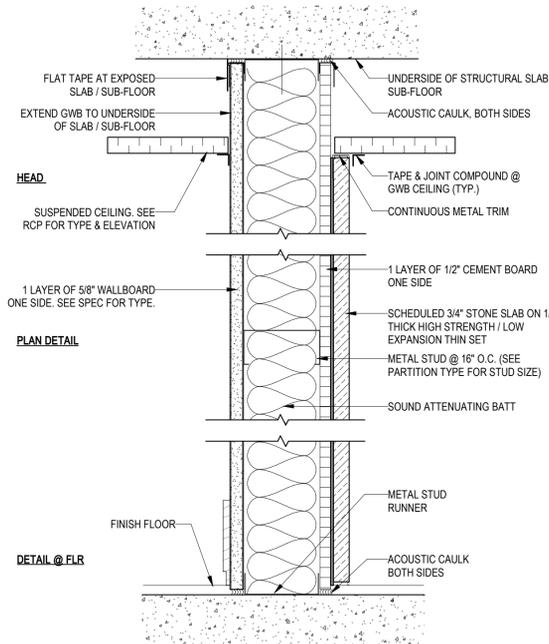
PARTITION TYPE	STUD SIZE	OVERALL DIMENSION	STC RATING	UL DESIGN NO.
I1	1 5/8"	4 7/8"	-	-
I2	2 1/2"	5 3/4"	-	-
I3	3 5/8"	6 7/8"	-	U404 (2 Hr. Config. C)
I4	2x 1 5/8" w/ 2 3/4" CAV.	9 1/4"	-	-
I6	6"	9 1/4"	-	U404 (2 Hr. Config. C)

1 PARTITION TYPE I DOUBLE SIDED TILE - FIRE RATED
3" = 1'-0"



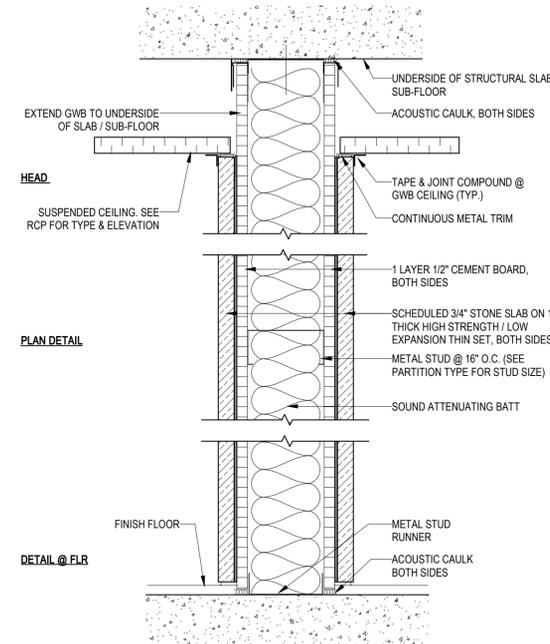
PARTITION TYPE	STUD SIZE	OVERALL DIMENSION	STC RATING	UL DESIGN NO.
J1	1 5/8"	2 5/8"	-	-
J2	2 1/2"	3 1/2"	-	-
J3	3 5/8"	4 5/8"	-	-
J4	2x 1 5/8" w/ 2 3/4" CAV.	7"	-	-
J6	6"	7"	-	-
J7	7/8" FURRING	1 7/8"	-	-

2 PARTITION TYPE J - FURRING - TILE
3" = 1'-0"



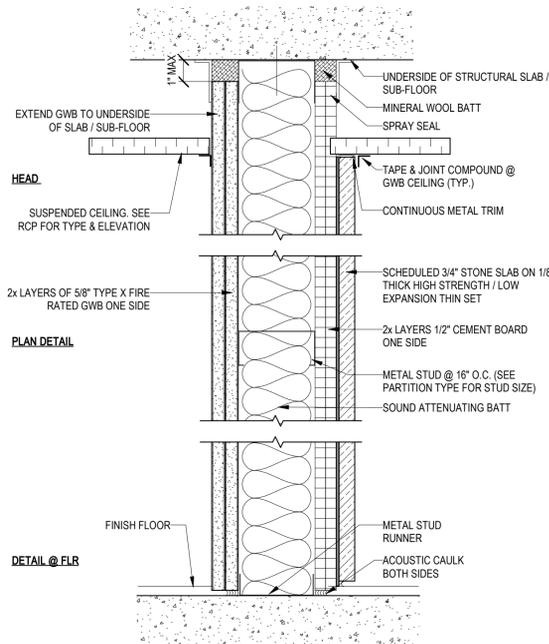
PARTITION TYPE	STUD SIZE	OVERALL DIMENSION	STC RATING	UL DESIGN NO.
K1	1 5/8"	3 5/8"	-	-
K2	2 1/2"	4 1/2"	-	-
K3	3 5/8"	5 5/8"	-	-
K4	2x 1 5/8" w/ 2 3/4" CAV.	8"	-	-
K6	6"	8"	-	-

3 PARTITION TYPE K SINGLE SIDED STONE
3" = 1'-0"



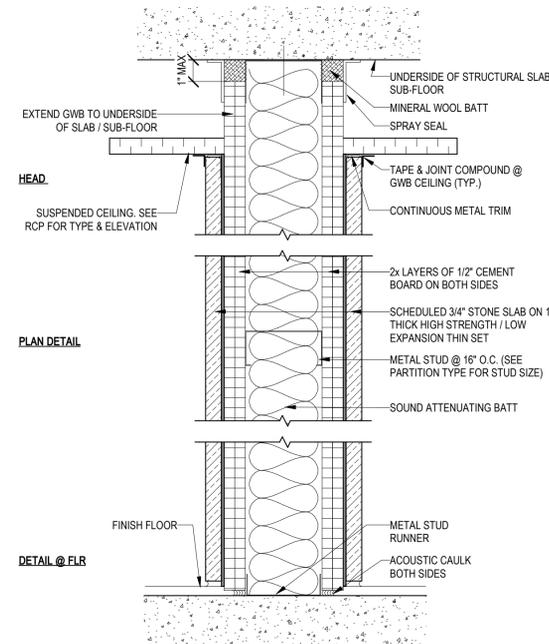
PARTITION TYPE	STUD SIZE	OVERALL DIMENSION	STC RATING	UL DESIGN NO.
L1	1 5/8"	4 3/8"	-	-
L2	2 1/2"	5 1/4"	-	-
L3	3 5/8"	6 3/8"	-	-
L4	2x 1 5/8" w/ 2 3/4" CAV.	8 3/4"	-	-
L6	6"	8 3/4"	-	-

4 PARTITION TYPE L DOUBLE SIDED STONE
3" = 1'-0"



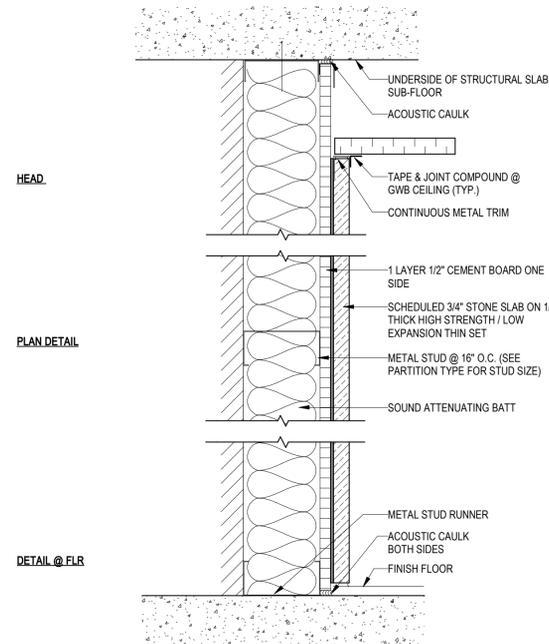
PARTITION TYPE	STUD SIZE	OVERALL DIMENSION	STC RATING	UL DESIGN NO.
M1	1 5/8"	4 3/4"	-	-
M2	2 1/2"	5 5/8"	-	-
M3	3 5/8"	6 3/4"	-	U404 (2 Hr. Config. B)
M4	2x 1 5/8" w/ 2 3/4" CAV.	9 1/8"	-	-
M6	6"	9 1/8"	-	U404 (2 Hr. Config. B)

5 PARTITION TYPE M SINGLE SIDED STONE - FIRE RATED
3" = 1'-0"



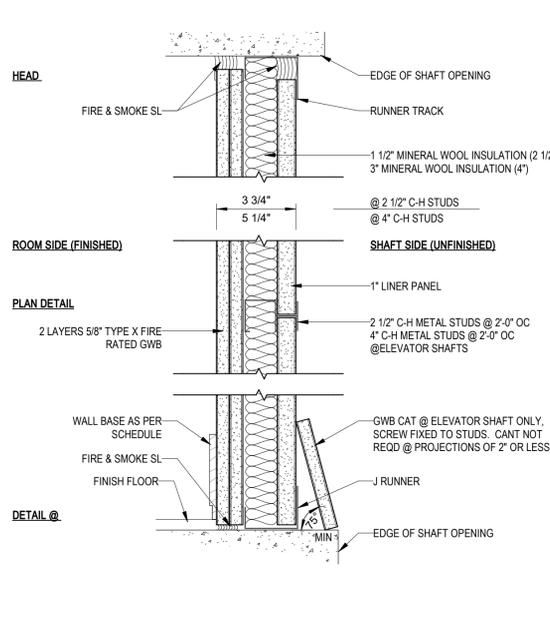
PARTITION TYPE	STUD SIZE	OVERALL DIMENSION	STC RATING	UL DESIGN NO.
N1	1 5/8"	5 5/8"	-	-
N2	2 1/2"	6 1/2"	-	-
N3	3 5/8"	7 5/8"	-	U404 (2 Hr. Config. B)
N4	2x 1 5/8" w/ 2 3/4" CAV.	10"	-	-
N6	6"	10"	-	U404 (2 Hr. Config. B)

6 PARTITION TYPE N DOUBLE SIDED STONE - FIRE RATED
3" = 1'-0"



PARTITION TYPE	STUD SIZE	OVERALL DIMENSION	STC RATING	UL DESIGN NO.
O1	1 5/8"	3"	-	-
O2	2 1/2"	3 7/8"	-	-
O3	3 5/8"	5"	-	-
O4	2x 1 5/8" w/ 2 3/4" CAV.	7 5/8"	-	-
O6	6"	7 5/8"	-	-
O7	7/8" FURRING	2 1/4"	-	-

7 PARTITION TYPE O FURRING - STONE
3" = 1'-0"



PARTITION TYPE	STUD SIZE	OVERALL DIMENSION	STC RATING	UL DESIGN NO.
S2	2 1/2"	3 3/4"	48	U415
S4	4"	5 1/4"	51	U415

8 PARTITION TYPE S SHAFT WALL - 2HR RATED
3" = 1'-0"

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ACOUSTICAL CONSULTANT

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CONSULTANT 7 TYPE

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PARTITION TYPES CONT.

	STAMP & SIGNATURE	PROJ. NO.: 2018
		DATE: 02/28/20
	SCALE: 3" = 1'-0"	
	SHT. NO.:	A-602

DOOR SCHEDULE				
101	2'-8"	6'-8"	0'-1 3/8"	EXISTING TO REMAIN
102	10'-0"	7'-0"	0'-1 3/4"	
103	2'-5 1/2"	6'-8"	0'-1 3/8"	
104	2'-0"	6'-8"	0'-1 3/8"	
105	2'-4"	6'-8"	0'-1 3/8"	
106	5'-4"	6'-8"	0'-1 1/2"	
107	6'-1"	7'-0"	0'-1 3/4"	
108	6'-0"	6'-8"	0'-1 1/2"	
111	2'-6"	7'-0"	0'-1 3/8"	
111	2'-6"	7'-0"	0'-1 3/8"	
112	2'-0"	6'-8"	0'-1 3/8"	
201	2'-0"	6'-8"	0'-1 3/4"	EXISTING TO REMAIN
202	2'-0"	6'-8"	0'-1 1/2"	EXISTING TO REMAIN
203	2'-0"	6'-8"	0'-1 1/2"	EXISTING TO REMAIN
204	2'-6"	7'-0"	0'-1 3/8"	EXISTING TO REMAIN
205	2'-5 1/2"	6'-8"	0'-1 3/8"	EXISTING TO REMAIN
205	2'-5 1/2"	6'-8"	0'-1 3/8"	EXISTING TO REMAIN
206	2'-10"	7'-0"	0'-1 3/4"	
207	2'-0"	6'-8"	0'-1 1/2"	EXISTING TO REMAIN
208	2'-0"	6'-8"	0'-1 1/2"	EXISTING TO REMAIN
209	2'-6"	7'-0"	0'-1 3/8"	
210	6'-0"	6'-8"	0'-1 1/2"	

WINDOW SCHEDULE				
101		4'-8 1/4"	2'-3"	EXISTING TO REMAIN
102		4'-8 1/4"	2'-3"	EXISTING TO REMAIN
103		4'-8 1/4"	2'-3"	
103		4'-8 1/4"	2'-3"	
104		4'-8 1/4"	2'-3"	
104		4'-8 1/4"	2'-3"	
105		4'-8 1/4"	2'-3"	
105		4'-8 1/4"	2'-3"	
106		4'-8 1/4"	2'-3"	
106		4'-8 1/4"	2'-3"	
107		5'-3"	1'-8"	
108		5'-2"	1'-8"	
109		4'-9 1/2"	2'-0"	
110		1'-6"	5'-0"	
111		4'-8 1/4"	2'-3"	
112		4'-8 1/4"	2'-3"	
114		1'-4"	2'-6"	
115		4'-8 1/4"	2'-3"	
201		4'-8 1/4"	2'-3"	EXISTING TO REMAIN
202		4'-8 1/4"	2'-3"	EXISTING TO REMAIN
203		4'-8 1/4"	2'-3"	EXISTING TO REMAIN
204		4'-8 1/4"	2'-3"	EXISTING TO REMAIN
205		4'-8 1/4"	2'-3"	EXISTING TO REMAIN
206		4'-8 1/4"	2'-3"	EXISTING TO REMAIN
207		4'-8 1/4"	2'-3"	EXISTING TO REMAIN
208		4'-8 1/4"	2'-3"	
209		4'-8 1/4"	2'-3"	

Finish Schedule						
Number	Name	Level	Base Finish	Wall Finish	Trim	Ceiling Finish
1-01	ENTRY	LEVEL 1				
1-02	KITCHEN	LEVEL 1				
1-02	KITCHEN	LEVEL 1				
1-02A	KITCHEN PANTRY	LEVEL 1				
1-03	BATHROOM	LEVEL 1	WOOD PTD TO MATCH	SAME AS EX'G PTD	PTD SAME AS EX'G	PTD
1-04	FAMILY ROOM	LEVEL 1	WOOD PTD TO MATCH EX'G	SHOWER TILE T-1 DRY WALL PTD	PTD SAME AS EX'G	PTD
1-05	DINING ROOM	LEVEL 1				
1-06	LIVING ROOM	LEVEL 1				
2-01	HALL	LEVEL 2				
2-02	CLOSET	LEVEL 2				
2-03	MASTER BEDROOM	LEVEL 2				
2-03A	CLOSET	LEVEL 2				
2-04	BEDROOM 1	LEVEL 2				
2-04A	CLOSET	LEVEL 2				
2-05	BATHROOM	LEVEL 2	WOOD PTD TO MATCH EX'G	WOOD WAINSCOT PTD		PTD

ISSUE/REVISION DATE

CONSULTANTS

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CONSULTANT 6 TYPE
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CONSULTANT 7 TYPE
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DOOR AND WINDOW
 SCHEDULE

	STAMP & SIGNATURE	PROJ. NO.: 2018
		DATE: 02/27/20
	SCALE:	
	SHT. NO.:	
		A-701