

Received 10/10/2024  
LaChapelle Architecture PLLC



RECEIVED

OCT 16 2024

VILLAGE OF GREENPORT  
BUILDING DEPARTMENT

## Building Department

Notice of Disapproval

To: Jake LaChapelle  
P.O. Box 1251  
Mattituck, NY 11952

PLEASE TAKE NOTICE that your application dated June 20<sup>th</sup>, 2024 and plans dated June 18<sup>th</sup>, 2024 proposed addition and renovations at existing property located at 151 Central Avenue, Greenport, NY 11944 in the R2 Historic District, is returned herewith and disapproved on the following grounds:

### 1. Front Yard Setback Requirements

§150-12 Schedule Regulations

R-2 District: minimum front yard requirement: 30 feet.

§150-13(D)(3) Residence District Regulations

Average of two greatest setbacks: 27.3 feet.

The plans show an existing front yard setback of 10.5 feet.

This would require an area variance of 16.8 feet.

### 2. Side Yard Setback Requirements

§150-12 Schedule Regulations

R-2 District: minimum side yard requirement: 10 feet.

The plans show an existing side yard setback of 0.5 feet.

This would require an area variance of 9.5 feet.

### 3. Side Yard Setback Requirements

§150-12 Schedule Regulations

R-2 District: minimum side yard requirement: 10 feet.

The plans show a proposed side yard setback of 8.1 feet.

This would require an area variance of 2 feet.

**4. Combined Side Yard Setback Requirements**

§150-12 Schedule Regulations

R-2 District: minimum combined side yard requirement: 25 feet.

§150-13(E)(1) Residence District Regulations

Four tenths of the lot width: 14.2 feet.

The plans show a proposed combined side yard setback of 8.6 feet.

This would require an area variance of 5.6 feet.

This application is therefore denied, requiring the above-mentioned variances.

The premises to which this application applies are located at 151 Central Avenue,  
Greenport, NY 11944 in the R2 historic District.

Map: 1001      Section: 5      Block: 2      Lot: 4



George Pfriendler

NY State Certified Building Inspector



# ZONING BOARD OF APPEALS APPLICATION

## AREA VARIANCE

236 Third Street, Greenport, New York, 11944

(631) 477-0248

[www.villageofgreenport.org](http://www.villageofgreenport.org)

Date of Application Sept. 24th, 2024

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VILLAGE OF GREENPORT  
BUILDING DEPARTMENT

All information below is to be completed by the applicant. This completed application is to be accompanied by the Notice of Disapproval, Copies of Covenants and/or Restrictions, where applicable, Environmental Assessment Form, building plans showing elevations, setbacks, floor plans, room dimensions, details of footings and foundation, and species of lumber and quality of material, where applicable.

### THE OWNER OF THE PROPERTY IS: (PLEASE PRINT CLEARLY)

Idanes	Sanchez	C&I Builders LLC	
First Name	Last Name	Business Name, if applicable	
265 17th Street	Brooklyn	NY	11215
Mailing Address	City/ Town/ Village	State	Zip
(917) 806-1884	idanes.sanchez@gmail.com		
Phone #	E-Mail Address		

### CONTACT PERSON (if different from owner)

*The person to receive all correspondence:*

Jake	LaChapelle	LaChapelle Architecture PLLC	
First Name	Last Name	Business Name, if applicable	
P.O. Box 1251	Mattituck	NY	11952
Mailing Address	City/ Town/ Village	State	Zip
(646) 251-5058	jake@lachapellearchitecture.com		
Phone #	E-Mail Address		

**IF ANYONE OTHER THAN THE OWNER COMPLETES THIS APPLICATION, WRITTEN CONSENT FROM THE OWNER MUST BE SUBMITTED WITH THIS APPLICATION.**

### Location:

Suffolk County Tax Map Number: 1001 Section: 5 Block: 2 Lot 4

Street Address: 151 Central Avenue Greenport, New York, 11944

Zoning District:  WC  R1  R2  PD  CR  CG

Is property located within the Historic District?  Yes  No



# ZONING BOARD OF APPEALS APPLICATION

## AREA VARIANCE

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(631) 477-0248  
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The Code Official reviewed and denied an application dated June 15th, 2024 for a Building Permit for the location specified on this application.

### Provisions of the Zoning Code appealed:

(Indicate Article, Section and Subsection of Zoning Code by numbers)

Article: V. Section: 150 - 12 Subsection: A.

### Type of appeal made for:

A Variance to the Zoning Code or Zoning Map.

An interpretation of the Village Code Article: \_\_\_\_\_ Section: \_\_\_\_\_ Subsection: \_\_\_\_\_

Has a prior appeal been made at any time with respect to this property?  Yes  No  I Don't Know

If yes, please provide the date appeal was made: 1977.

### Project Description:

#### For Demolition of Existing Building Areas:

Please describe area being removed:

Non-historic 1-story kitchen addition at rear of house, rear deck, and non-historic garage at rear of house are to be demolished. All are in poor condition due to the low quality of initial construction and neglect.

#### New Construction Areas (New Dwelling or New Addition/Extensions)

Dimensions of First Floor (Addition/Extension): 24'-8" x 13'-11"

Dimensions of Second Floor: 19'-6" x 13'-11"

Height (from finished grade to top of ridge): ~27 - Feet, \_\_\_\_\_ - Inches

Is basement or lowest floor area being constructed?  Yes  No

If yes, please provide height (above ground) measured from natural existing grade to first floor:

~1 - Feet, 7 - Inches.





# **ZONING BOARD OF APPEALS APPLICATION**

## **AREA VARIANCE**

236 Third Street, Greenport, New York, 11944

(631) 477-0248

[www.villageofgreenport.org](http://www.villageofgreenport.org)

### **Project Description: (CONTINUED)**

#### **Proposed Construction Description: (Alteration or Structural Changes)**

Number of floors BEFORE alterations: 2

Describe General Characteristics BEFORE alterations:

Timber framed 2-story house with full basement, plus 1-story kitchen addition with crawl space.  
Rear deck and attached 1-story garage at rear.

Number of floors AFTER Alterations: \_\_\_\_\_

Describe General Characteristics AFTER alterations:

Timber framed 2-story house with full basement, plus 2-story addition with crawl space.  
New rear deck and accessory garden shed at rear.

#### **Calculations of Building Areas and Lot Coverage:**

Existing Square Footage of Building(s) on this property: 1,573 SF

Proposed Increase in Building Coverage: -118 SF decrease

Square Footage of this Lot: 4,591 SF

Percentage of Coverage of this Lot by Building Area: 31.7 %

#### **Purpose of New Construction:**

*Please describe:* First floor kitchen is poorly constructed and in poor condition. The house did not originally have a bathroom on the 2nd floor so when one was added it was too small, it made the bedrooms small, and is the cause of a insufficiently wide (23.25") hallway. The new first floor will house a contemporary kitchen and the new foundation will provide sufficient support for the new second floor. The new second floor will fit adequately sized rooms. The new rear deck replaces the existing deteriorated deck there.



## **ZONING BOARD OF APPEALS APPLICATION** **AREA VARIANCE**

236 Third Street, Greenport, New York, 11944

(631) 477-0248

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### **Area Variance Reasons for Appeal:**

Please answer in detail. *Additional sheets may be submitted with preparers signature.*

#### **Will an undesirable change occur in the characteristics of the neighborhood or will a detriment to nearby properties be created by the granting of this area variance?**

The proposed variance is needed for the existing location of this historic house on this undersized lot. In no case are we requesting to increase nonconformance - only for permission for work on this existing non-conforming structure. No undesirable change will occur in the neighborhood - preservation of this contributing historic structure will be the result, supporting the interests of neighbors and the Village.

#### **Can the benefit sought by the Applicant be achieved by another method, feasible for the Applicant to pursue, other than an Area Variance?**

The benefit sought cannot be achieved by another method, as the original historic house violates both side yard setbacks. Moving the house backwards in order to resolve the front yard setback is too costly to justify.

#### **Is the requested Area Variance substantial?**

The requested relief on setback requirements are numerically significant but typical of nearby homes.

#### **Will the requested Area Variance have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district?**

The requested relief on setback requirements will not have an adverse effect on the physical or environmental conditions in the neighborhood or district. The neighborhood will be further enhanced by making the renovation of this historic home viable.

#### **Was the alleged difficulty self-created, which consideration shall be relevant to the decision of the Zoning Board of Appeals, but shall not necessarily preclude the granting of the Area Variance?**

The difficulty is not self-created, in that the house was built in 1870 in a configuration not in conformance with the future front and side yard setback requirements of §150-12.

**Are there Covenants or Restrictions concerning this land?**  Yes  No


*If yes, please furnish copies.*


**AFFIDAVIT**

Village of Greenport )  
Town of Southold )  
County of Suffolk ) ss  
State of New York )

I swear that to the best of my knowledge and belief that the statements contained in this application, together with the plans and specifications submitted, are true and complete statements of proposed work to be done on the described premises and that all provisions of the Building Code, Zoning Code, and all other laws pertaining to the proposed work shall be complied with, whether specified or not, and that such work and inspections are authorized by the owner. The Village of Greenport is hereby granted permission to enter the property listed as the "Location" for the purposes of inspecting my property for a site visit. I understand that if approved, this Area Variance will be granted and accepted on condition that the provisions of Federal, State and Local rules and regulations, and any additional requirements of the Area Variance are complied with. Any violation of all applicable codes, or deviations from the approved plans may result in the immediate revocation of this Area Variance & legal action taken against me. No responsibility rests upon the Village of Greenport, Code Enforcement, the Fire Marshal or the Fire Department by reason of this application and permit.

Sworn to be before this 3 day  
of October 20 21

Signature   
Owner or Applicant

  
Notary Public, ~~Suffolk~~ Kings County, New York

MARINA OVTCHINNIKOVA  
Notary Public, State of New York  
No. 01OV6077008  
Qualified in Kings County  
Commission Expires July 1, 20 26





## Village of Greenport Building Department

236 Third Street, Greenport, New York, 11944

(631) 477-0248

[www.villageofgreenport.org](http://www.villageofgreenport.org)

### ZONING BOARD OF APPEALS – AREA VARIANCE

#### INSTRUCTIONS FOR AREA VARIANCE APPLICATIONS:

Please submit the following in six (6) sets collated into separate packets, with original signed set and check for filing fee clipped on top.

- Yes 1. Current Notice of Disapproval from the Building Department dated within the last 60 days, together with survey, site plan and building plans.
- Yes 2. Completed Application signed and notarized.
- n/a 3. Copies of noted Covenants and/or Restrictions, if applicable.
- Yes 4. Environmental Assessment Form.

#### Area Variance Fee Schedule:

Residential - \$400.00

Commercial - \$500.00

Each additional Variance Requested - \$100.00

Property Divisions: \$500.00 initial fee and \$1,000.00 per lot.

#### All Board of Appeals filings and examinations will require a deposit for Village Expenses, as follows:

Residential: \$200.00

Commercial: \$1,000.00

#### Please Note:

If this application is applied for by an LLC, a list of acting members of that LLC must be provided with this application.



617.20  
Appendix B  
Short Environmental Assessment Form


**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: 151 Central Avenue			
Project Location (describe, and attach a location map): 151 Central Avenue, Greenport, NY 11944 - see enclosed site plan			
Brief Description of Proposed Action:  Renovation of existing two-story single-family home. Demolition of non-historic 1-story kitchen addition at rear of house, rear deck, and non-historic garage at rear of house. Construction of new rear addition in same footprint as existing, with second floor. Construction of new deck in approximate footprint of existing. New garden shed in rear yard.			
Name of Applicant or Sponsor: C&I Builders; Idanes Sanchez		Telephone: (917) 806-1884 E-Mail: idanes.sanchez@gmail.com	
Address: 265 17th Street			
City/PO: Brooklyn		State: NY	Zip Code: 11215
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO	YES
		<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: Village of Greenport Building Department, Historic Preservation Commission, Zoning Board of Appeals		NO	YES
		<input type="checkbox"/>	<input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		0.105 acres	
b. Total acreage to be physically disturbed?		0.020 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0.105 acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			



18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Idanes Sanchez</u>	Date: <u>10/16/2024</u>	
Signature: <u></u>		

**Part 2 - Impact Assessment.** The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:	<input type="checkbox"/>	<input type="checkbox"/>
a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

**Part 3 - Determination of significance.** The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)



**SURVEY OF  
PROPERTY**

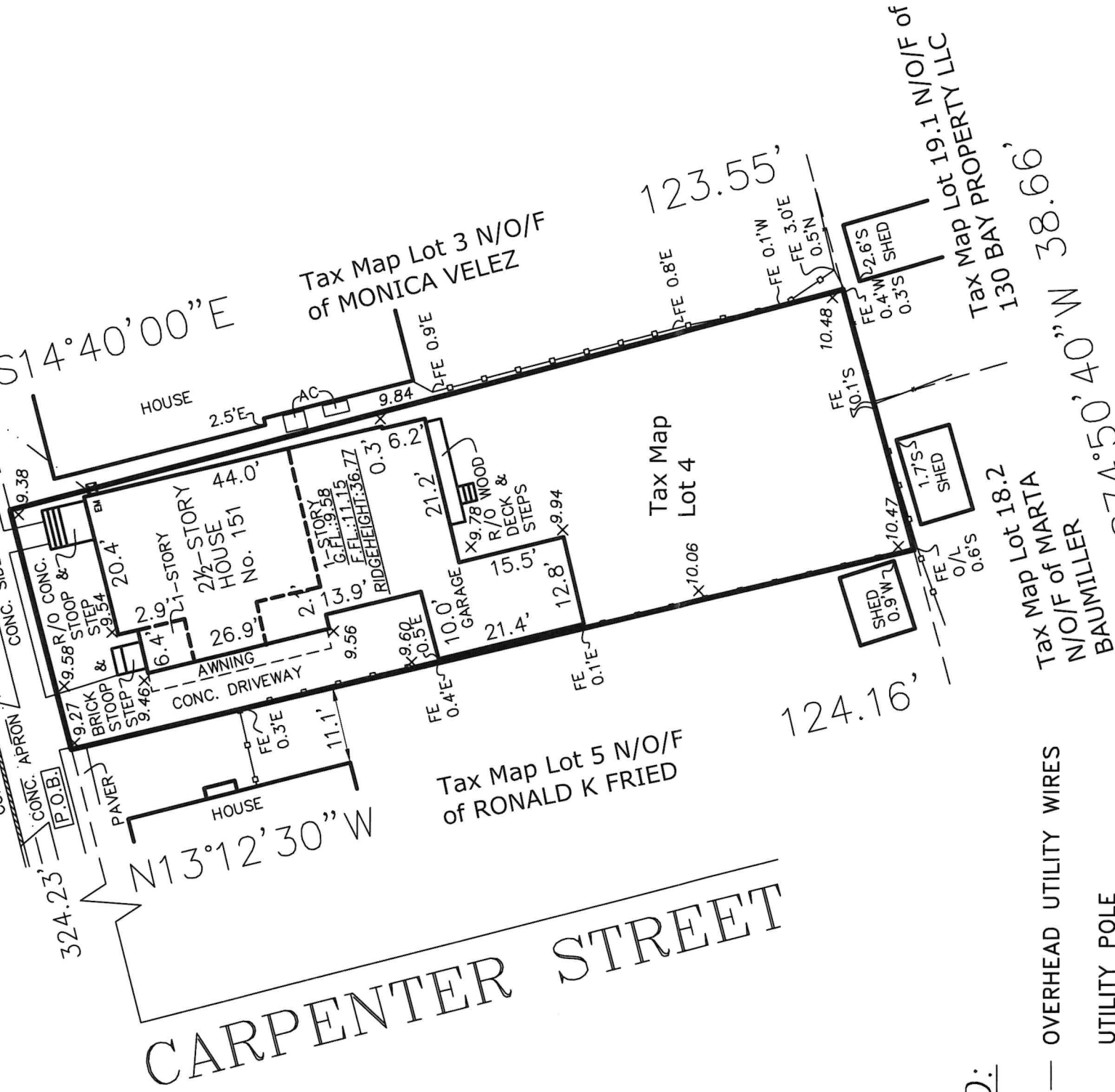
SITUATE  
INCORPORATED VILLAGE OF  
GREENPORT, TOWN OF SOUTHOOLD  
SUFFOLK COUNTY, NEW YORK  
TAX No. 1001-00500-0200-004000  
SCALE 1"=20'  
MAY 1, 2024

AREA = 4,591 sq. ft.  
0.105 ac.

**CENTRAL AVENUE**  
CL8.97,  
X CL8.97,  
CL9.23  
N75°44'20"E 35.50'  
BC8.76  
TC8.97 CONC. CURB

EDGE OF PAVEMENT BC8.75  
CURB CUT TC9.30

CONC. APRON  
CONC. SIDEWALK



**LEGEND:**

--- OVERHEAD UTILITY WIRES

○ UTILITY POLE

EM ELEC. METER

○ TREE

**NOTES:**

- ELEVATIONS ARE REFERENCED TO N.A.V.D. 1988 DATUM EXISTING ELEVATIONS ARE SHOWN THUS: 000.00



**AERIAL LAND SURVEYING, D.P.C.**  
53 PROBST DRIVE  
SHIRLEY, NY 11967  
PHONE: 833-787-8393  
E-MAIL: SURVEYS@AERIALLANDSURVEYING.COM  
WEBSITE: WWW.AERIALLANDSURVEYING.COM

DISTRICT: 1001 LOT: 004.000 BLOCK: 02.00 SECTION: 005.00  
MAP/FILE NO.: N/A

MAP OF: "NOT ON A FILED SUBDIVISION MAP"

TITLE NO.: N/A

MAP FILED DATE: N/A

COUNTY TAX MAP ID: 1001-00500-0200-004000

SITUATED AT: INCORPORATED VILLAGE OF GREENPORT,  
TOWN OF SOUTHOOLD

SUBDIVISION MAP LOT & BLOCK #'S: N/A

CERTIFIED TO  
Idanes Sanchez and Stella Zinger Sanchez  
Fidelity National Title Insurance Company  
Cardinal Financial Company, Limited Partnership

NOTE: LOCATIONS AND EXISTENCE OF ANY  
SUBSURFACE UTILITIES AND/OR STRUCTURES NOT  
READILY VISIBLE, ARE NOT CERTIFIED. THE  
CERTIFICATIONS HEREON ARE NOT TRANSFERABLE.

THIS SURVEY IS SUBJECT TO ANY EASEMENT OF RECORD AND ANY OTHER  
PERTINENT FACTS WHICH A TITLE SEARCH MIGHT DISCLOSE

"UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A  
LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF ARTICLE 13-A,  
SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW

"Copies from the original of this survey map not marked with an original  
of the land surveyor's inked seal or his embossed seal shall not be  
considered a valid true copy." "Certification indicated hereon signify that  
this survey was prepared in accordance with the existing Code of Practice  
for Land Surveys adopted by the New York State Association of  
Professional Land Surveyors. Said certifications shall run only to the  
person for whom the survey is prepared, and on his behalf to the title  
company, governmental agency and lending institution. Certifications are  
not transferable to additional institutions or subsequent owners."

COPYRIGHT 2024 RALPH HEIL  
AERIAL LAND SURVEYING, D.P.C.

JOB NO.: 24-884  
DATE: MAY 1, 2024

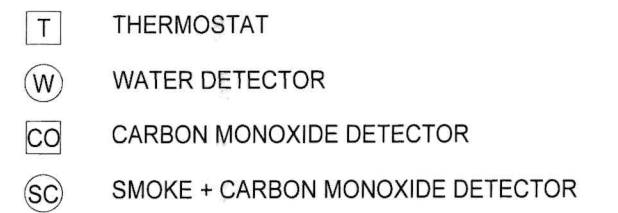
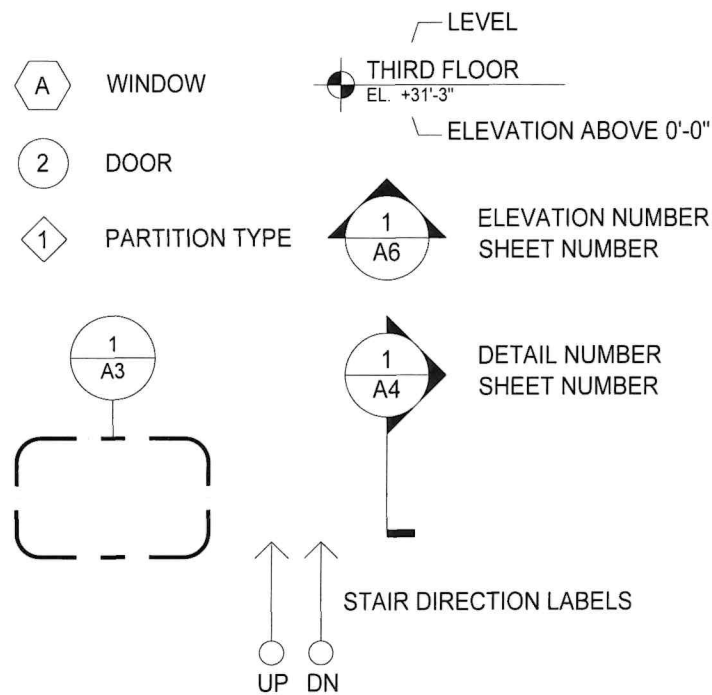
# 151 CENTRAL AVE

## GREENPORT, NY

SCTM#-1001-5.-2-4

DO NOT SCALE FROM DRAWINGS

### SYMBOLS



SMOKE AND CO DETECTORS SHALL COMPLY WITH UL 268, 7th ADDITION



### SCOPE OF WORK

THE GENERAL INTENT OF THE WORK IS TO RENOVATE THIS EXISTING HOUSE, DEMOLISH AND REBUILD THE NON-HISTORIC REAR FIRST FLOOR ADDITION, ADD ON TO THE REAR OF THE SECOND FLOOR, DEMOLISH AND REBUILD THE BACK DECK, AND DEMOLISH THE EXISTING GARAGE. NO CHANGE OF USE OR OCCUPANCY IS PROPOSED.

### REGULATORY NOTES

1. THIS APPLICATION FOR BUILDING PERMIT IS FILED WITH THE VILLAGE OF GREENPORT BUILDING DEPARTMENT, IN CONFORMANCE WITH THE VILLAGE CODE CHAPTER 65.
2. THE CONTROLLING CODE IS THE 2020 BUILDING CODE OF NEW YORK STATE AND THE 2020 ENERGY CONSERVATION CODE OF NEW YORK STATE, IN COMBINATION WITH THE VILLAGE CODE.
3. REFERENCE HEREIN TO 'BC' SHOULD BE CONSTRUED TO MEAN THE APPLICABLE BUILDING CODES OF NEW YORK STATE.
4. THIS SINGLE-FAMILY HOME OCCUPANCY CLASSIFICATION IS RESIDENTIAL GROUP R-3 UNDER BC CHAPTER 3.
5. THIS STRUCTURE IS CLASSIFIED AS CONSTRUCTION TYPE V(B) (UNPROTECTED WOOD FRAME) UNDER BC TABLES 601 AND 602.
6. TO THE BEST OF MY KNOWLEDGE THE WORK PROPOSED HEREIN IS COMPLIANT WITH ALL APPLICABLE LAWS, CODES, AND REGULATIONS.

### INSPECTIONS

SPECIAL INSPECTIONS MUST BE PROVIDED IN CONFORMANCE WITH THE REQUIREMENTS OF BCNYS 1704 & 1705.

- FOOTING
- FOUNDATION
- FRAMING, TIE-DOWN/STRAPPING AND PLUMBING
- PERIMETER INSULATION
- ROUGH ELECTRIC
- INSULATION AND CAULKING
- ENERGY CODE COMPLIANCE
- FINAL

### DRAWING LIST

- A1.00 DRAWING LIST, ABBREVIATIONS, & SYMBOLS
- A2.00 NOTES
- A3.00 WINDOW SCHEDULE & ENERGY CODE COMPLIANCE
- A4.00 DOOR SCHEDULE
- A5.00 NAILING SCHEDULE & STRAPPING DETAILS
- A6.00 SITE PLAN
- A7.00 EXISTING BASEMENT & FIRST FLOOR PLANS
- A8.00 EXISTING SECOND FLOOR, ATTIC, & ROOF PLANS
- A9.00 PROPOSED BASEMENT & FIRST FLOOR PLANS
- A10.00 PROPOSED SECOND FLOOR & ATTIC PLANS
- A11.00 PROPOSED ROOF PLANS
- A12.00 EXISTING NORTH & EAST ELEVATIONS
- A13.00 EXISTING SOUTH & WEST ELEVATIONS
- A14.00 PROPOSED NORTH & EAST ELEVATIONS
- A15.00 PROPOSED SOUTH & WEST ELEVATIONS
- ~~A16.00 SECTIONS~~
- ~~A17.00 PART PLANS~~
- ~~A18.00 INTERIOR ELEVATIONS~~
- ~~A19.00 REFLECTED CEILING PLANS~~
- ~~A20.00 REFLECTED CEILING PLANS~~
- ~~A21.00 ADDITION DETAILS~~
- ~~A22.00 ADDITION DETAILS~~
- ~~A23.00 SCREENED PORCH DETAILS~~
- ~~A24.00 REAR DECK DETAILS~~
- ~~A25.00 MISC. DETAILS~~

### ABBREVIATIONS

- A.F.F. ABOVE FINISH FLOOR
- ALT ALTERNATE
- APP. APPLIANCE(S)
- B.O. BY OTHER
- BOT. BOTTOM
- C/C CENTER TO CENTER
- CLG CEILING
- CMU CONCRETE MASONRY UNIT
- CONC CONCRETE
- CONT. CONTINUOUS
- CONT'D CONTINUED
- D.H. DOUBLE HUNG
- DIM. DIMENSION
- DIA. DIAMETER
- DISC. DISCONTINUOUS
- DWG DRAWING
- ELEC. ELECTRIC
- ENG. ENGINEER
- EQ. EQUAL
- EXIST. EXISTING
- FL FLOOR
- GWB GYPSUM WALL BOARD
- HM HOLLOW METAL
- HT HEIGHT
- HW HOT WATER
- MECH. MECHANICAL
- MTL METAL
- PTD PAINTED
- RCP REFLECTED CEILING PLAN
- O.C. ON CENTER
- SIM. SIMILAR
- S.S. STAINLESS STEEL
- STL. STEEL
- TYP. TYPICAL
- V.I.F. VERIFY IN FIELD
- W/ WITH
- WRB WEATHER RESISTIVE BARRIER
- WD. WOOD

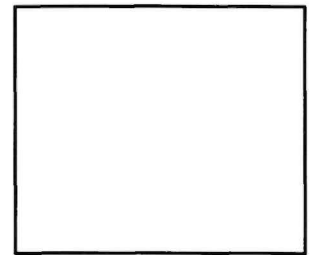
RECEIVED

OCT 16 2024

VILLAGE OF GREENPORT  
BUILDING DEPARTMENT

### SANCHEZ RESIDENCE

151 CENTRAL AVENUE  
GREENPORT, NY 11944



TAX MAP NO. 1001-5.-2-4

#	ISSUE / REVISION	DATE
.00	FILING DRAWINGS	06.18.2024
-	-	-
-	-	-

DRAWN BY: J. LACHAPPELLE

CHECKED BY: J. LACHAPPELLE

NOTE: THIS IS AN 11" x 17" SHEET  
DRAWINGS MAY BE PRINTED NOT TO SCALE

LaChapelle Architecture PLLC  
P.O. Box 1251  
Mattituck, NY 11952  
(646) 251-5058 jake@lachellearchitecture.com



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### DRAWING LIST, ABBREVIATIONS, & SYMBOLS

SHEET NO:

**A1**

SHEET 1 OF 15



SCTM: 1001-5.-2-4					
ZONE: R-2 (ONE & TWO FAMILY RESIDENTIAL DISTRICT) w/ HISTORIC DISTRICT OVERLAY					
LOT INFORMATION:	CODE	EXISTING	PROPOSED	COMMENTS	REFERENCE
LOT AREA (SF)	7,500	4,591	NO CHANGE	NONCONFORMING	§ 150-12
LOT WIDTH (FT)	60	35.5	NO CHANGE	NONCONFORMING	"
LOT LENGTH (FT)	100	145.0	NO CHANGE	CONFORMS	"
EXISTING HOUSE AREA (SF)	--	608	NO CHANGE	--	
FRONT STOOP AREA (SF)	--	36	NO CHANGE	--	EXCEPTED FROM YARD REQ'S PER § 150-13(D)(2)
GARAGE AREA (SF)	--	274	0	--	VARIANCE FOR CARPORT APPROVED JUNE 6, 1977
KITCHEN ADDITION	--	343	NO CHANGE	--	
BACK DECK AREA (SF)	--	140	296	--	
SCR. PORCH AREA (SF)	--	172	NO CHANGE	--	
TOTAL COVERAGE (SF)		1,573	1,455	(1,607 ALLOWED)	
	35%	34.3%	31.7%	CONFORMS	§ 150-12
SETBACKS:					
FRONT YARD (FT)*	27.3 / 30	10.5	NO CHANGE	NONCONFORMING	SEE NOTE REGARDING § 150-13(D)(3) / (§ 150-12)
SIDE YARD (FT)	10	0.5	0.5	NONCONFORMING	§ 150-12
BOTH SIDE YARDS (FT)**	14.2 / 25	1.0	8.6	NONCONFORMING	SEE NOTE REGARDING § 150-13(E)(1) / (§ 150-12)
REAR YARD (FT)	30	48.1	57.4	CONFORMS	§ 150-12
HEIGHT					
NUMBER OF STORIES	30	27.2	NO CHANGE	CONFORMS	§ 150-12
PARKING:					
OFF-STREET SPACES	2.5	2.5	NO CHANGE	CONFORMS	"
	2	2+	NO CHANGE	CONFORMS	§ 150-12; 10 FT x 20 FT PER § 150-16

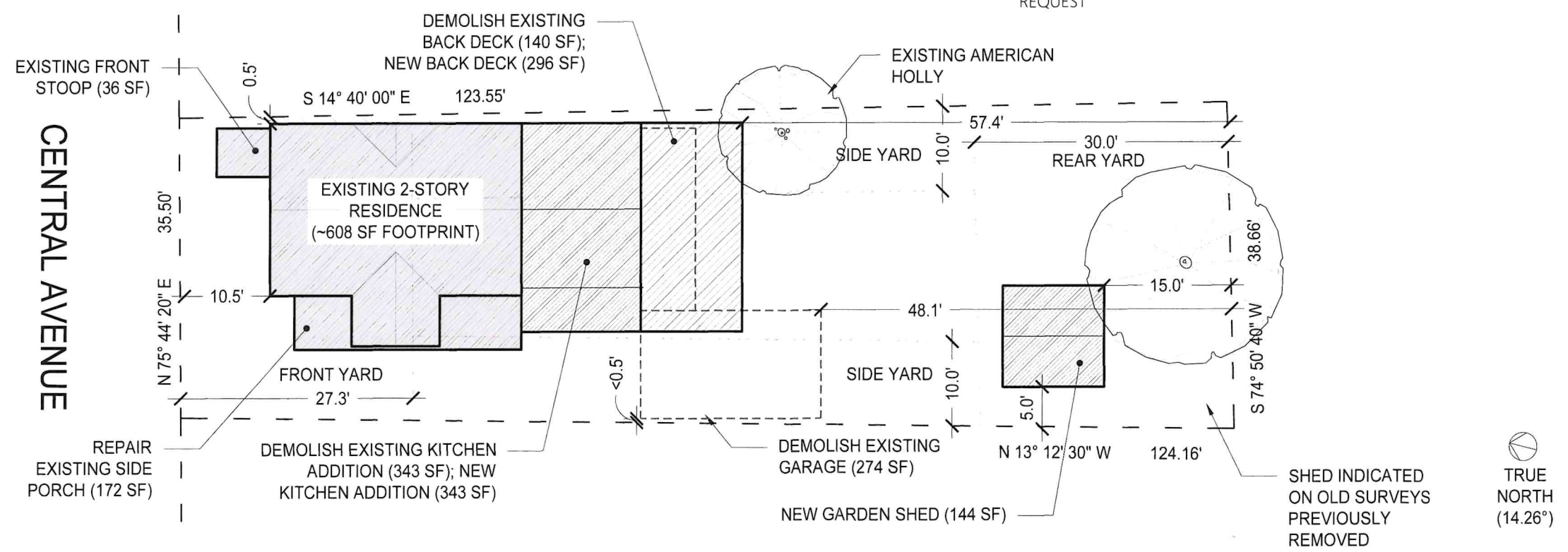
PROPERTY IS DEEMED A NONCONFORMING BUILDING WITH CONFORMING USE(S) UNDER § 150-21:  
 "NOTHING IN THIS ARTICLE SHALL BE DEEMED TO PREVENT NORMAL MAINTENANCE AND REPAIR, STRUCTURAL ALTERATION, MOVING, RECONSTRUCTION OR ENLARGEMENT OF A NONCONFORMING BUILDING, PROVIDED THAT SUCH ACTION DOES NOT INCREASE THE DEGREE OF OR CREATE ANY NEW NONCOMPLIANCE WITH REGARDS TO THE REGULATIONS PERTAINING TO SUCH BUILDINGS."

PERMITTED ACCESSORY USES:  
 "GARDEN HOUSE, TOOLHOUSE, PLAYHOUSE, WADING POOL OR SWIMMING POOL INCIDENTAL TO THE RESIDENTIAL USE OF THE PREMISES AND NOT OPERATED FOR GAIN..." § 150-7(C)(3)  
 "PRIVATE GARAGES. TWO PASSENGER AUTOMOBILE SPACES IN SUCH GARAGES MAY NOT BE LEASED..." § 150-7(C)(4)  
 --> ACCESSORY STRUCTURE SHALL BE LOCATED IN THE REQUIRED REAR YARD 5 FT FROM ANY LOT LINE AND 10 FT FROM THE PRINCIPLE RESIDENCE. LIMIT ACCESSORY STRUCTURE HEIGHT TO 15 FT. § 150-13 (A)(1)

\* "EXISTING SETBACK: NO PROPOSED ONE- OR TWO-FAMILY DWELLING NEED HAVE A SETBACK GREATER THAN THE AVERAGE SETBACK OF THE TWO EXISTING DWELLINGS WITH THE GREATER SETBACKS WITHIN 200 FEET ON EACH SIDE OF SAID PROPOSED DWELLING, ON THE SAME SIDE OF THE STREET AND WITHIN THE SAME BLOCK AND THE SAME DISTRICT." § 150-13(D)(3)

\*\* "THE TOTAL DIMENSIONS OF BOTH SIDE YARDS FOR A PRINCIPAL BUILDING SHALL BE COMPUTED ON THE BASIS OF FOUR-TENTHS (0.4) OF THE LOT WIDTH; HOWEVER, NO SIDE YARD DIMENSION SHALL BE LESS THAN FOUR-TENTHS (0.4) OF THE TOTAL DIMENSIONS OF BOTH SIDE YARDS COMPUTED AS AFORESAID; AND NO SIDE YARD DIMENSION SHALL BE LESS THAN 10 FEET." § 150-13(E)(1)

CALCULATIONS FOR § 150-13(D)(3) & § 150-13(E)(1) AVAILABLE UPON REQUEST

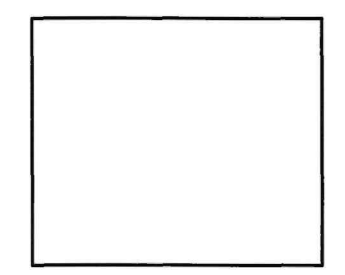


DIMENSIONAL AND AREA DATA ARE FROM SURVEY BY AERIAL LAND SURVEYING P.C. DATED 5/1/2024.

1 SITE PLAN  
 SCALE: 1/16" = 1'-0"

# SANCHEZ RESIDENCE

151 CENTRAL AVENUE  
 GREENPORT, NY 11944



TAX MAP NO. 1001-5.-2-4

#	ISSUE / REVISION	DATE
.00	FILING DRAWINGS	06.18.2024
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SITE PLAN

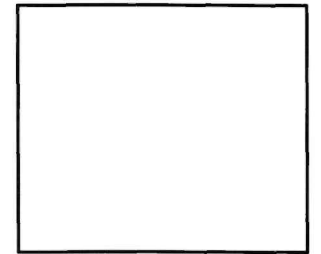
SHEET NO:  
**A6**  
 SHEET 6 OF 15

TRUE NORTH (14.26°)  
 PROJECT NORTH



# SANCHEZ RESIDENCE

151 CENTRAL AVENUE  
GREENPORT, NY 11944



TAX MAP NO. 1001-5-2-4

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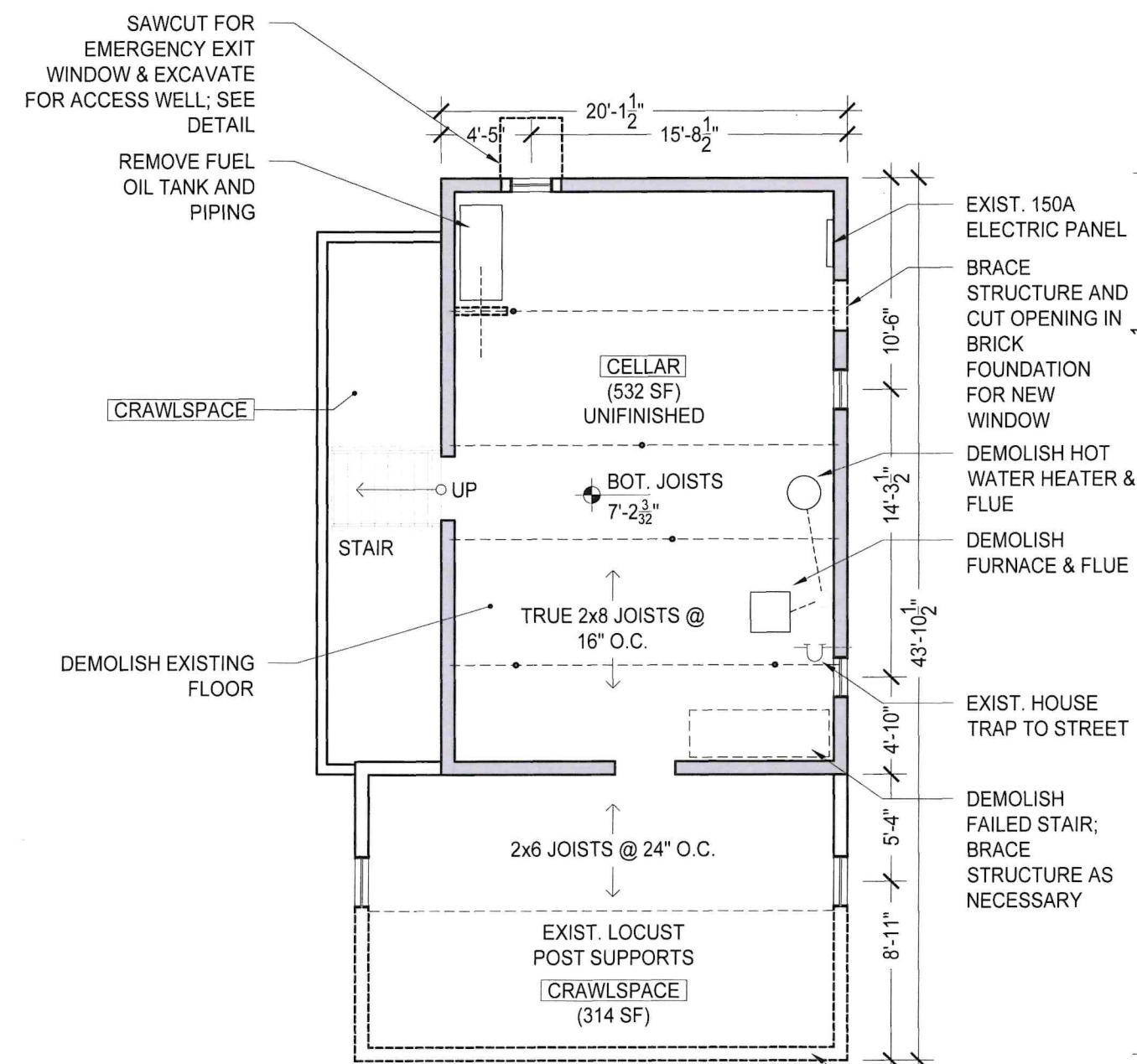
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EXISTING  
BASEMENT AND FIRST  
FLOOR PLANS

SHEET NO:

## A7

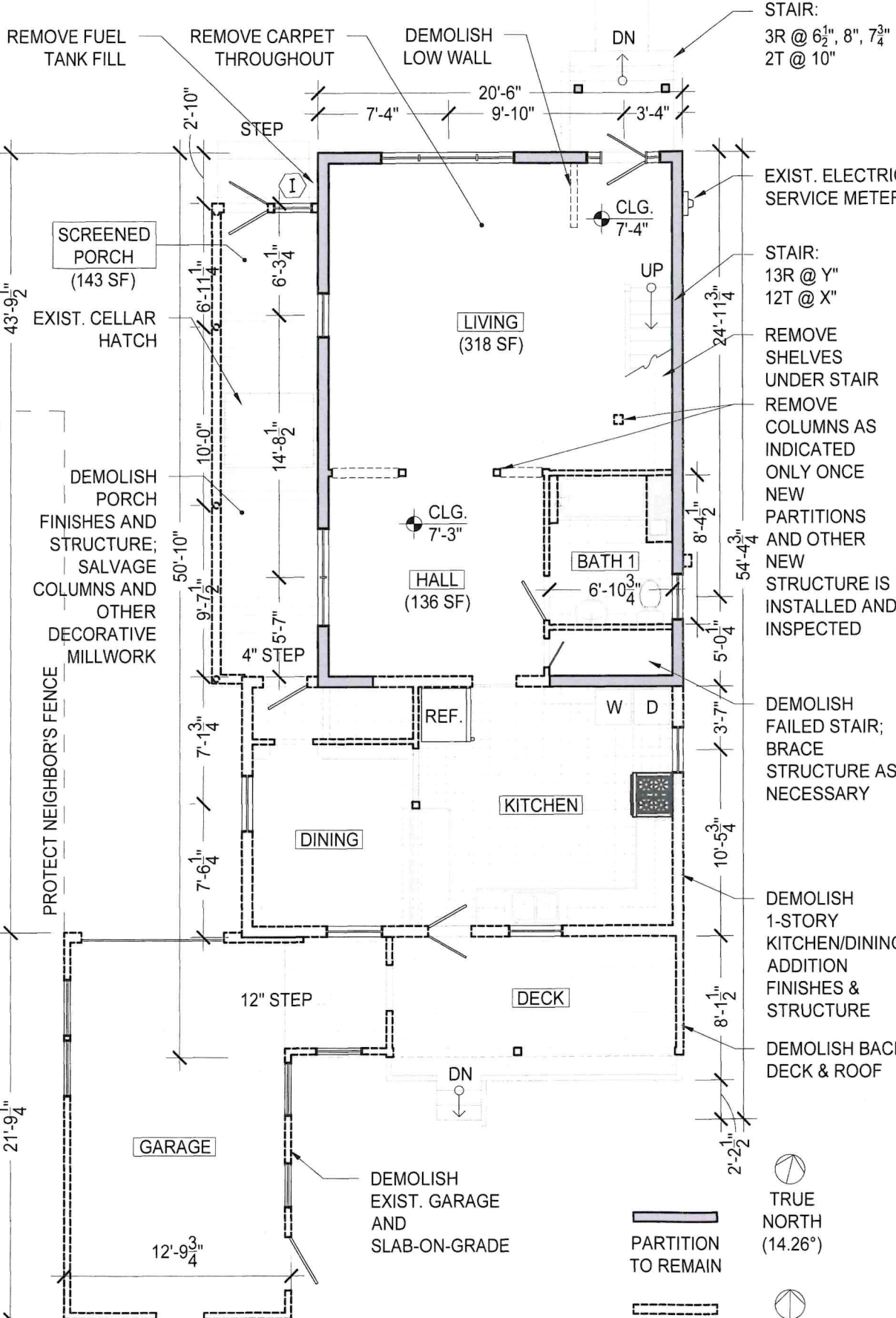
SHEET 7 OF 15



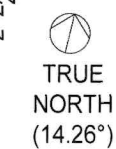
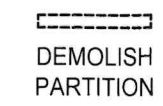
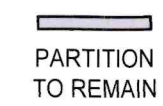
**SCOPE NOTES:**

1. DEMOLISH INTERIOR TRIM AT WINDOWS, DOORS, BASE, CROWN, ETC.
2. DEMOLISH GWB AT WALLS AND CEILINGS, AND ANY APPLIED FINISHES SUCH AS ACOUSTIC TILE AND WALLPAPER
3. REMOVE AND SALVAGE EXTERIOR TRIM AS FEASIBLE
4. DEMOLISH WINDOWS AND DOORS AS INDICATED

① EXISTING BASEMENT PLAN  
SCALE: 1/8" = 1'-0"



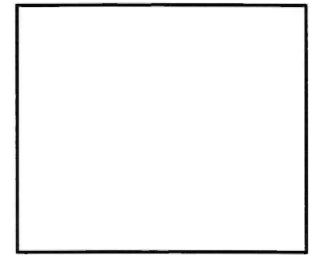
② EXISTING FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"





# SANCHEZ RESIDENCE

151 CENTRAL AVENUE  
GREENPORT, NY 11944



TAX MAP NO. 1001-5-2-4

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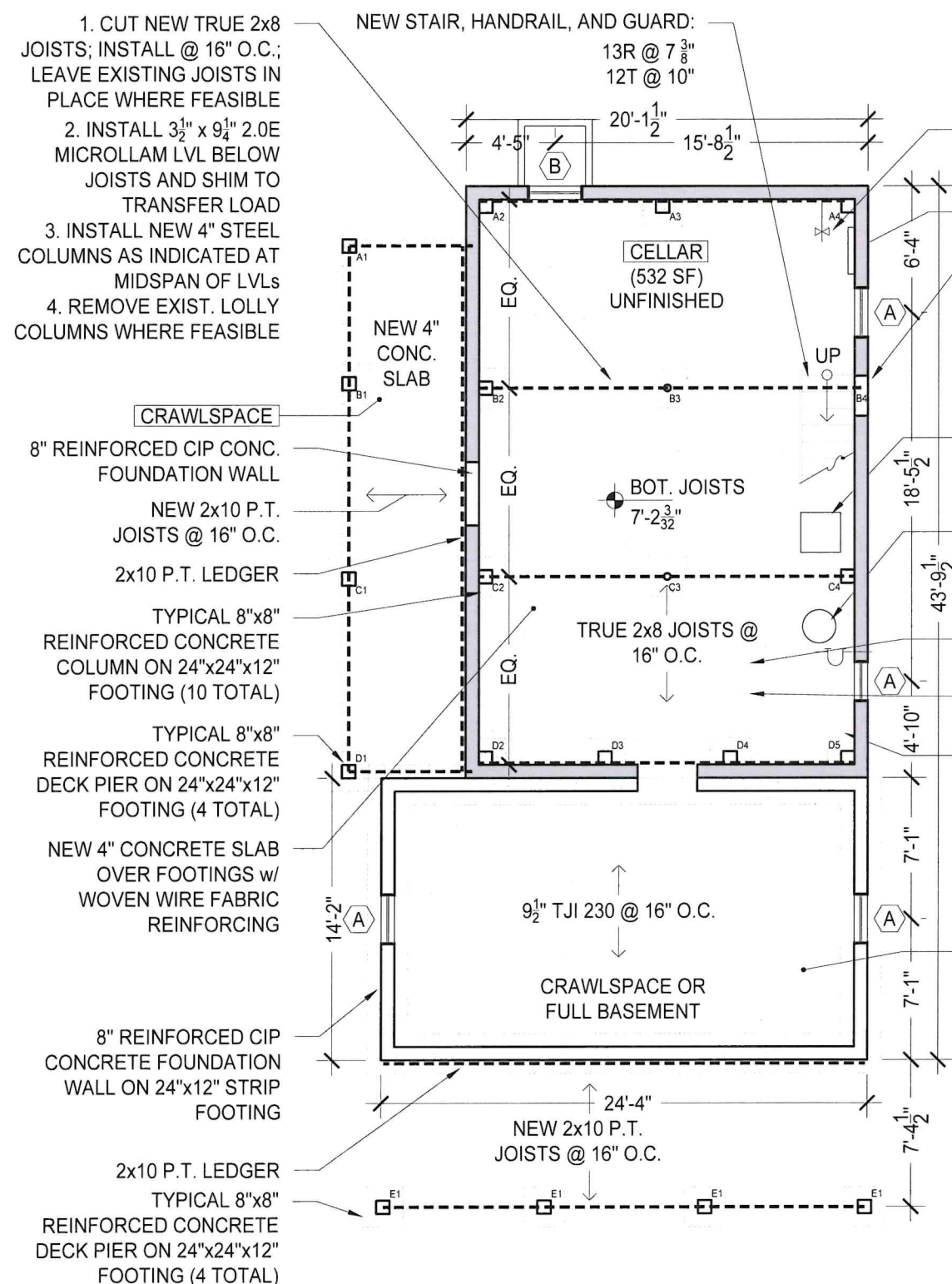
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## PROPOSED BASEMENT AND FIRST FLOOR PLANS

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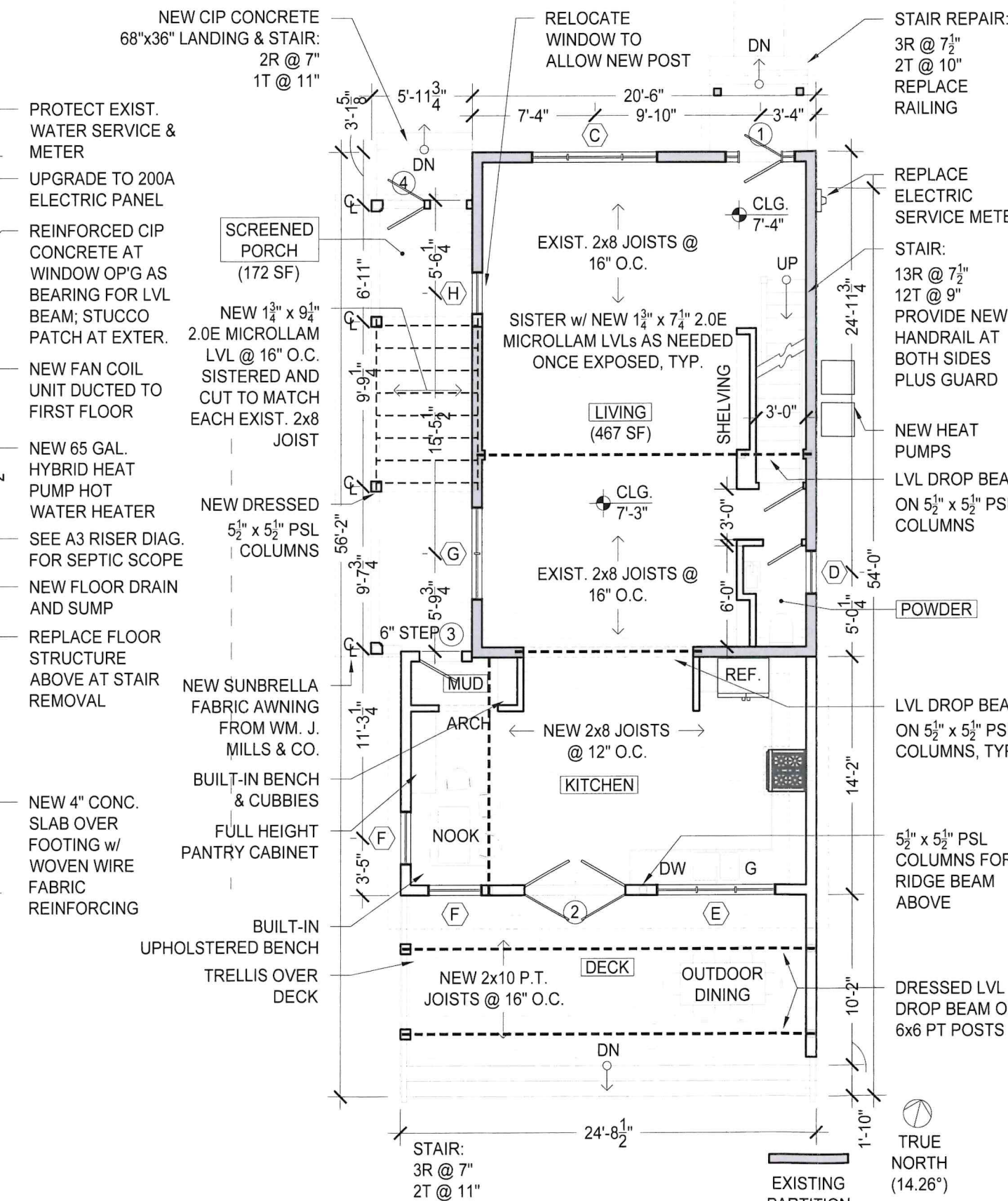
# A9

SHEET 9 OF 15



- SCOPE NOTES:**
1. PROVIDE NEW INTERIOR TRIM AT WINDOWS, DOORS, BASE, CROWN, ETC.
  2. PROVIDE NEW GWB AT WALLS AND CEILINGS
  3. PROVIDE NEW AND SALVAGED EXTERIOR TRIM
  4. PROVIDE NEW WINDOWS AND DOORS AS INDICATED

1 PROPOSED BASEMENT PLAN  
SCALE: 1/8" = 1'-0"

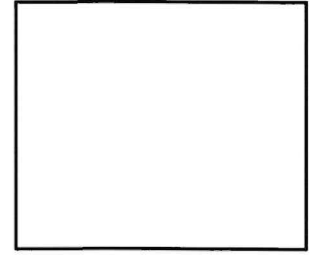


2 PROPOSED FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"



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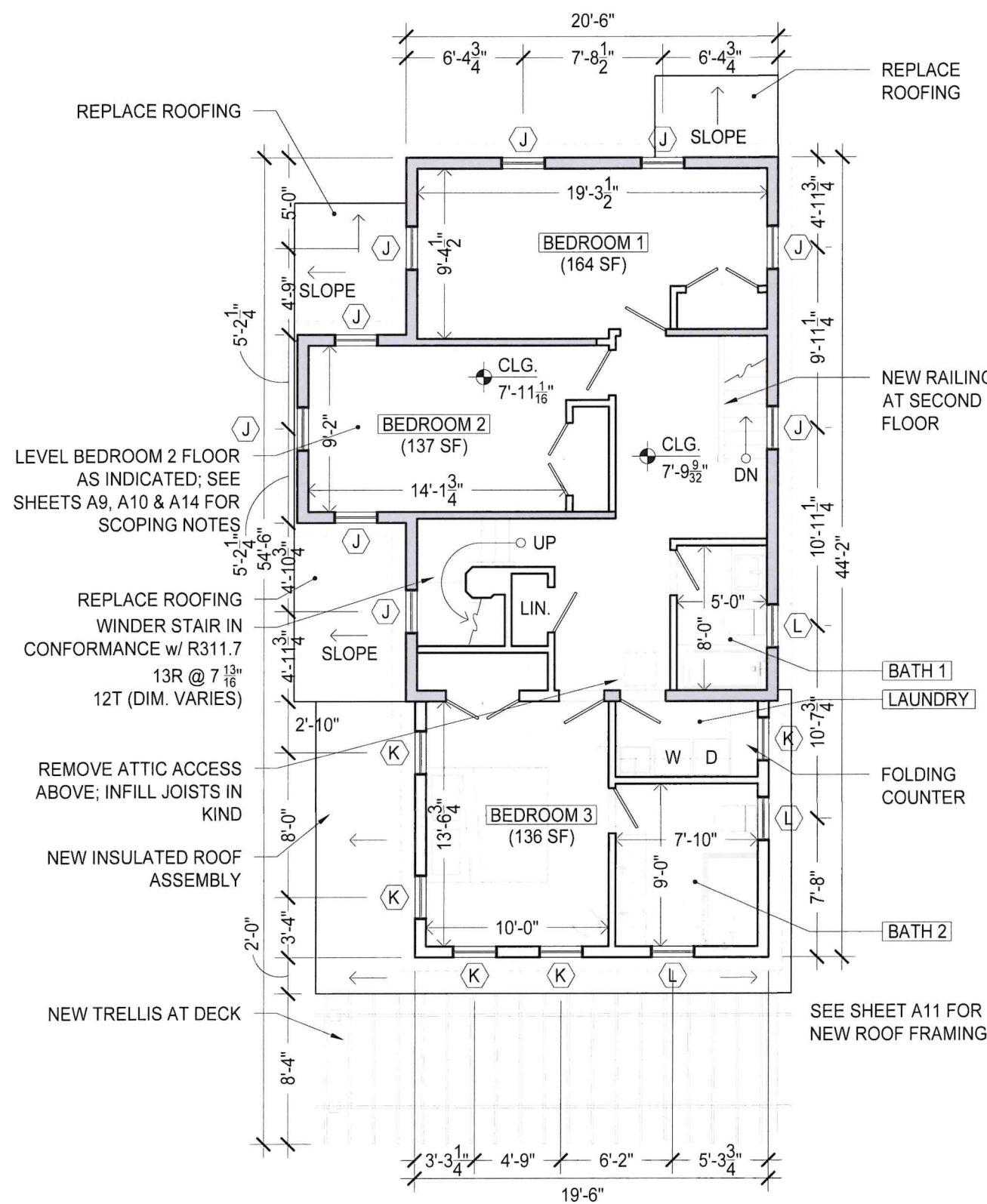
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**PROPOSED SECOND FLOOR, ATTIC, & ROOF PLANS**

SHEET NO:  
**A10**  
SHEET 10 OF 15

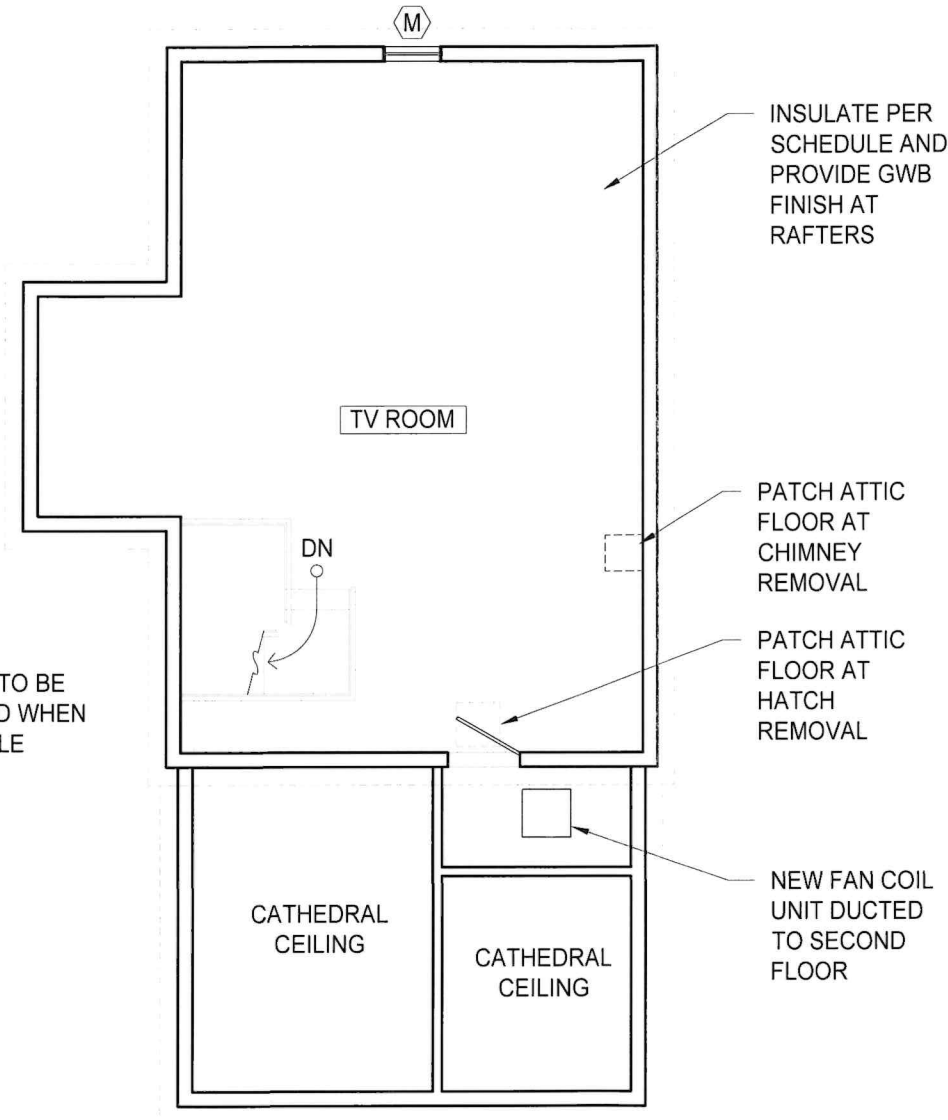


- SCOPE NOTES:
- PROVIDE NEW INTERIOR TRIM AT WINDOWS, DOORS, BASE, CROWN, ETC.
  - PROVIDE NEW GWB AT WALLS AND CEILINGS
  - PROVIDE NEW AND SALVAGED EXTERIOR TRIM
  - PROVIDE NEW WINDOWS AND DOORS

1 PROPOSED SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"

ATTIC DIMENSIONS TO BE CONFIRMED IN FIELD WHEN ACCESS IS AVAILABLE

2 PROPOSED ATTIC PLAN  
SCALE: 1/8" = 1'-0"



SEE SHEET A11 FOR NEW ROOF FRAMING

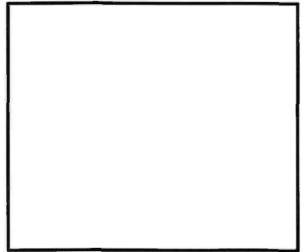
- EXISTING PARTITION
- NEW PARTITION

TRUE NORTH (14.26°)

PROJECT NORTH

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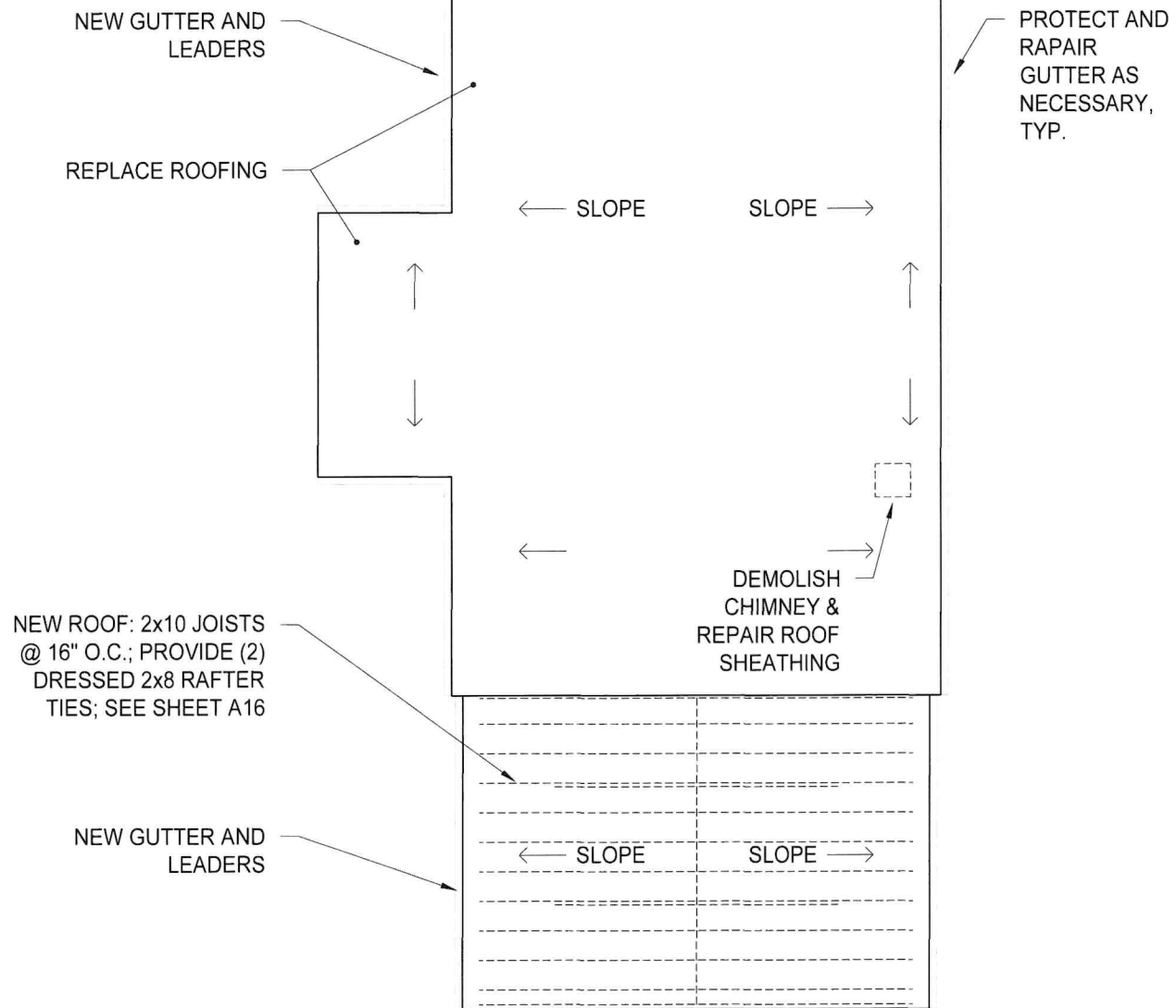
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EXISTING NORTH &  
EAST ELEVATIONS

SHEET NO:

# A11

SHEET 11 OF 15



1 PROPOSED UPPER ROOF PLAN  
SCALE: 1/8" = 1'-0"

TRUE NORTH  
(14.26°)

PROJECT NORTH