

TRANSMITTAL

Date: 07/17/2024	Enclosed:	Via:	
BUILDING DEPARTMENT VILLAGE OF GREENPORT 236 THIRD STREET GREENPORT, NY 11944 ATTN: MIKE NOONE	<input type="checkbox"/> Specifications <input type="checkbox"/> Prints <input type="checkbox"/> Drawings <input type="checkbox"/> Change Orders <input type="checkbox"/> Shop Drawings <input type="checkbox"/> Samples <input checked="" type="checkbox"/> Other <u>HPC SUBMISSION</u>	<input type="checkbox"/> Express-Mail <input type="checkbox"/> US-Mail <input type="checkbox"/> Electronic-Mail <input type="checkbox"/> Messenger	
To:			
From: ANOUSH HOVHANNESIAN	Project No. 20933A		
Re: 238 MAIN STREET			

DESCRIPTION	REMARKS
SIGNED APPLICATION x6	
11X17 DRAWINGS x6	
ROOF / PAINT SAMPLES	
REVIEW FEE CHECK \$75.00	

These are transmitted as checked below:

- | | | |
|--|---|--|
| <input checked="" type="checkbox"/> For Approval | <input type="checkbox"/> Approved as submitted | <input type="checkbox"/> Resubmit ____ copies for approval |
| <input type="checkbox"/> For your use | <input type="checkbox"/> Approved as noted | <input type="checkbox"/> Resubmit ____ corrected prints |
| <input type="checkbox"/> For review and comment | <input type="checkbox"/> Returned for corrections | <input type="checkbox"/> For signature |

Remarks:

Attached please find our initial HPC submission for ROOF REPLACEMENT at CHASE BANK located at 238 MAIN STREET in Greenport.

If you need any additional information or require clarification, please feel free to contact me at [REDACTED] ext 224 or [REDACTED]

Thank you,
Anoush



BUILDING DEPARTMENT
 VILLAGE OF GREENPORT
 236 Third Street, Greenport, NY 11944

HISTORIC PRESERVATION COMMISSION REVIEW

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

PURSUANT TO THE PROVISIONS OF CHAPTER 48
 HISTORIC PRESERVATION LAW OF THE VILLAGE OF GREENPORT

DATE OF APPLICATION: 07/16/2024

LOCATION OF PROPERTY: 238 MAIN STREET. GREENPORT, NY

SUFFOLK COUNTY TAX MAP NUMBER: _____

PROPERTY OWNER: JPMORGANCHASE BANK, NA

ADDRESS: _____ PHONE: _____

EMAIL ADDRESS: _____@CHASE.COM

ARCHITECT/DESIGNER: CHRISTOPHER J. KREPCIO, PE - MERRITT ENGINEERING CONSULTANT, DPC

ADDRESS: _____ PHONE: _____

EMAIL ADDRESS: _____COM

Type of Proposed Work

COMMERCIAL RESIDENTIAL

Site Work

- ___ FENCE AND GATES
- ___ DRIVEWAY, WALK, PATIO, OTHER PAVEMENT
- ___ MAJOR EXCAVATION OR REGRADING, OR BERM
- ___ SWIMMING POOL, TENNIS COURT
- ___ OTHER STRUCTURAL LANDSCAPE ELEMENT
- ___ SIGNAGE AND AWNINGS - SUBMIT SCALE DRAWINGS TO INDICATING TO FOLLOWING:
 - SIZE OF EACH SIGN
 - COLOR
 - FONT
 - LOCATIONS OF ALL SIGNAGE AND AWNINGS ON BUILDING
 - PROPOSED MATERIALS
- ___ MODERN FEATURES
 - SOLAR PANELS
 - SKYLIGHTS
 - OUTDOOR SHOWERS
- ___ OTHER

Landscape Planting

- ___ HEDGE ALONG STREET AND/OR PROPERTY BOUNDARY LINES
- ___ PLANTINGS INTENDED TO SCREEN OTHER WORK DESCRIBED IN THIS APPLICATION

Buildings

- NEW CONSTRUCTION
- ADDITION
- DEMOLITION
- REMOVAL
- ACCESSORY BUILDING

Building Alterations

- EXTERIOR WALL MATERIAL
- ROOF MATERIAL AND COLOR
- CHIMNEY MATERIAL
- FOUNDATION MATERIAL
- DOORWAYS (INCLUDING STORM/SCREEN DOORS)
- WINDOWS (INCLUDING STORM/SCREEN SASH) AND SHUTTERS
- PORCHES AND STEPS
- TRIM AND DECORATIVE DETAIL
- GUTTERS AND LEADERS
- PAINT AND STAIN
- EXTERIOR LIGHTING
- OTHER

PROVIDE A GENERAL DESCRIPTION OF THE PROPOSED WORK (USE ADDITIONAL SHEETS IF NECESSARY, REFER TO THE ACCOMPANYING EXHIBITS).

MAIN AND SMALL SHINGLED ROOF REPLACEMENT. THROUGH WALL FLASHING REPLACEMENT AT SMALL ROOF. ONE VENT REPLACEMENT AT MAIN ROOF. SCRAPING, PRIMING AND PAINTING OF ROOF VENT AT MAIN ROOF. ROUTING AND POINTING OF CHIMNEY MORTAR JOINTS. REPAIR/REPLACE AND PAINTING OF ALL SOFFITS AND FASCIAS. REPLACE EXISTING GUTTERS AND LEADERS WITH NEW SEAMLESS GUTTERS, GUTTER GUARDS, LEADERS AND SPLASH BOXES.


LIST ALL EXHIBITS SUBMITTED WITH THIS APPLICATION. ACTUAL SAMPLES OF MATERIALS AND/OR DESCRIPTIONS OF ACTUAL MATERIALS ARE REQUIRED. (REFER TO THE INSTRUCTIONS FOR THE REQUIRED SUBMISSIONS).

-ASPHALT SHINGLED ROOF
-SOFFIT AND FASCIA PAINT

OTHER APPROVALS REQUIRED:

SIGNATURE OF OWNER OR AUTHORIZED AGENT:

DATE:



07/16/2024

GAF Camelot® II
Designer Lifetime Shingles



Camelot® II Shingles

Camelot® II Shingles complete a home with their classic, artisan-crafted look — at a surprisingly affordable price. Now with GAF Time-Release Algae-Fighting Technology for long-lasting algae-fighting power so strong it allows us to offer a 25-year StainGuard Plus™ Algae Protection Limited Warranty against blue-green algae discoloration.⁴



Camelot® II Shingles

Benefits:

- **Affordable Luxury** — Camelot® II Shingles are only a fraction of the cost of traditional slate or wood shakes
- **Sophisticated Design** — Artisan-crafted shapes combined with a dimensional design result in a sophisticated beauty unmatched by typical shingles
- **Custom Color Palette** — Specially formulated color palette is designed to accentuate the shingle's natural appeal
- **High-Performance** — Designed with Advanced Protection® Shingle Technology, which reduces the use of natural resources while providing excellent protection for your home (visit gaf.com/aps to learn more)
- **StainGuard Plus™ Algae Protection Limited Warranty** — Specially engineered capsules release copper over time for long-lasting algae-fighting power. It's protection so strong, it allows us to offer a 25-year limited warranty against blue-green algae discoloration.⁴
- **Highest Roofing Fire Rating** — UL Class A, Listed to ANSI/UL 790
- **Stays in Place** — Dura Grip™ Adhesive seals each shingle tightly and reduces the risk of shingle blow-offs; shingles warranted to with-stand winds up to 130 mph (209 km/h)³
- **The Ultimate Peace of Mind** — Lifetime† limited transferable warranty with Smart Choice® Protection (non-prorated material and installation labor coverage) for the first ten years
- **Perfect Finishing Touch** — Use TimberTex® Premium Ridge Cap Shingles or TimberCrest® Premium SBS-Modified Ridge Cap Shingles⁵

Colors:



Product details:

- Product/System Specifics**
- Fiberglass asphalt construction
 - **Dimensions (approx.):** 17" x 34 1/2" (432 x 876 mm)
 - **Exposure:** 7.5" (190.5 mm)
 - **Bundles/Square:** 4
 - **Pieces/Square:** 56
 - **Nails/Square:** 280 (336 where 6 nails per shingle is required)⁵
 - **StainGuard Plus™ Algae Protection Limited Warranty¹**
 - **Hip/Ridge:**^{5,6} TimberTex®; TimberCrest®
 - **Starter:** WeatherBlocker™

Applicable Standards & Protocols

- UL Listed to ANSI/UL 790 Class A
- Miami-Dade County Product Control approved
- State of Florida approved
- Classified by UL in accordance with ICC-ES AC438
- Meets ASTM D7158, Class H
- Meets ASTM D3161, Class F
- Meets ASTM D3018, Type 1
- Meets ASTM D3462¹
- ICC-ES Evaluation Reports ESR-1475 and ESR-3267
- Texas Department of Insurance listed
- Meets CSA A123.5²

Installation

Detailed installation instructions are provided on the inside of each bundle wrapper of Camelot® II Shingles. Installation instructions may also be obtained at gaf.com.

¹ Lifetime refers to the length of warranty coverage provided and means as long as the original individual owner(s) of a single-family detached residence (or eligible second owner(s)) owns the property where the qualifying GAF products are installed. For other owners/structures, Lifetime coverage is not applicable. Lifetime coverage on shingles requires the use of GAF Lifetime Shingles only. See the *GAF Shingle & Accessory Limited Warranty* for complete coverage and restrictions. Visit gaf.com/LRS for qualifying GAF products.

² Periodically tested by independent and internal labs to ensure compliance with ASTM D3462 at time of manufacture.

³ Refers to shingles sold in Canada only.

⁴ 15-year 130 mph wind speed coverage requires special installation and use of GAF Starter Strip Shingles; see *GAF Shingle & Accessory Limited Warranty* for complete coverage and restrictions.

⁵ 25-year StainGuard Plus™ Algae Protection Limited Warranty against blue-green algae discoloration is available only on products sold in packages bearing the StainGuard Plus™ logo. See *GAF Shingle & Accessory Limited Warranty* for complete coverage and restrictions, and qualifying products.

⁶ Required by some local codes and required for enhanced wind coverage on certain products.

⁷ These products are not available in all areas. See gaf.com/RidgeCapAvailability for details.

Note: It is difficult to reproduce the color clarity and actual color blends of these products. Before selecting your color, please ask to see several full-size shingles.



We protect what matters most™





TPGArchitecture

TPG ARCHITECTURE, LLP

100 WALL STREET, 5TH FLOOR, NEW YORK, NY 10001
 [REDACTED].COM

PROJECT

CHASE GREENPORT
 EXTERIOR REFRESH
 GREENPORT, NY 11944

DRAWING

EXISTING EXTERIOR
 DESIGN SKETCH

PROJECT NO.

1524858-00

DRAWN BY

JH

DATE

07/26/24

SCALE

NTS

FLOOR

EXTERIOR

DRAWING

DSK-01



PROPOSED FINISHES:

- PT-1: BENJAMIN MOORE DECORATOR'S WHITE (CC-20)
(GENERAL PAINT)
- PT-2: BENJAMIN MOORE SIDEWALK GRAY (2133-60)
(REVEAL BRICK LINTELS)
- PT-3: BENJAMIN MOORE CHARCOAL LINEN (2133-40)
(ROSETTES, DENTILS, WINDOW SILLS, CHIMNEY)
- PT-4: BENJAMIN MOORE ONYX (2133-10)
(WINDOW FRAMES/SPANDRELS, ROOF EDGE, BRICK BASE)

TPG Architecture

TPG ARCHITECTURE, LLP
 100 WALL STREET, SUITE 2000, NEW YORK, NY 10001

PROJECT
CHASE GREENPORT
 EXTERIOR REFRESH
 GREENPORT, NY 11944

DRAWING
PROPOSED EXTERIOR RENDER
 DESIGN SKETCH

PROJECT NO.
 1524858-00

DRAWN BY
 JH

DATE
 07/26/24

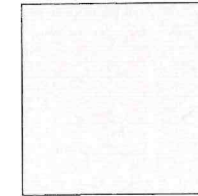
SCALE
 NTS

FLOOR
EXTERIOR

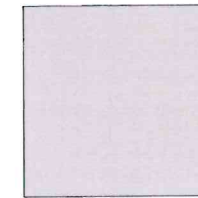
DRAWING
DSK-02



PT-1: BENJAMIN MOORE DECORATOR'S WHITE (CC-20)



PT-2: BENJAMIN MOORE SIDEWALK GRAY (2133-60)



PT-3: BENJAMIN MOORE CHARCOAL LINEN (2133-40)



PT-4: BENJAMIN MOORE ONYX (2133-10)



TPGArchitecture

TPG ARCHITECTURE, LLP

211 [REDACTED] NEW YORK, NY 10001

PROJECT

CHASE GREENPORT
EXTERIOR REFRESH
GREENPORT, NY 11944

PROJECT NO.

1524858-00

DRAWN BY

JH

DATE

07/26/24

DRAWING

PROPOSED EXTERIOR FINISHES
DESIGN SKETCH

SCALE

NTS

FLOOR

EXTERIOR

DRAWING

DSK-03



PHOTO NO. 01
NORTH ELEVATION



PHOTO NO. 02
EAST ELEVATION



PHOTO NO. 03
SOUTH ELEVATION



PHOTO NO. 04
WEST ELEVATION

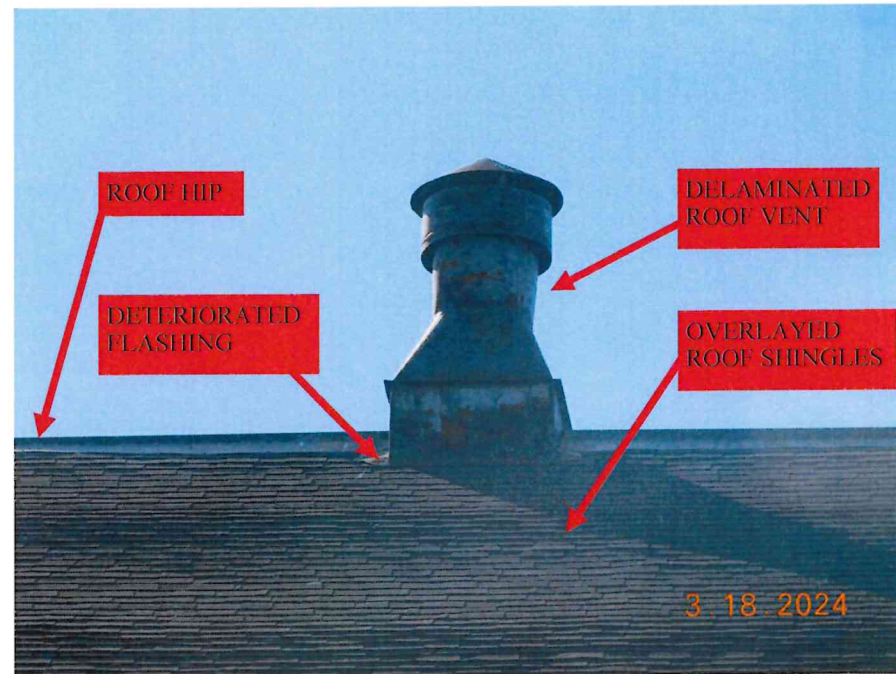


PHOTO NO. 05
MAIN ROOF

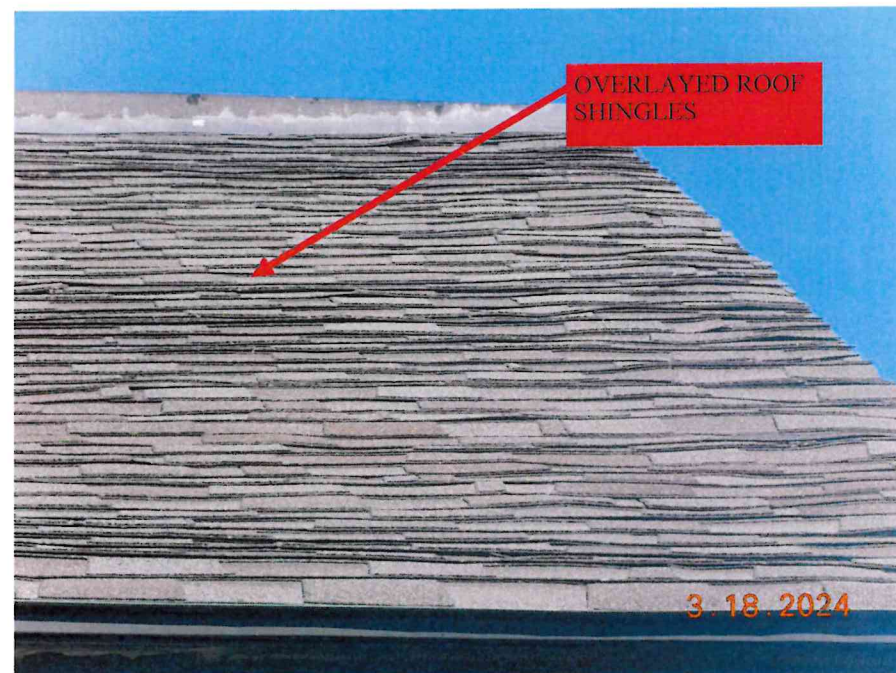


PHOTO NO. 06
MAIN ROOF

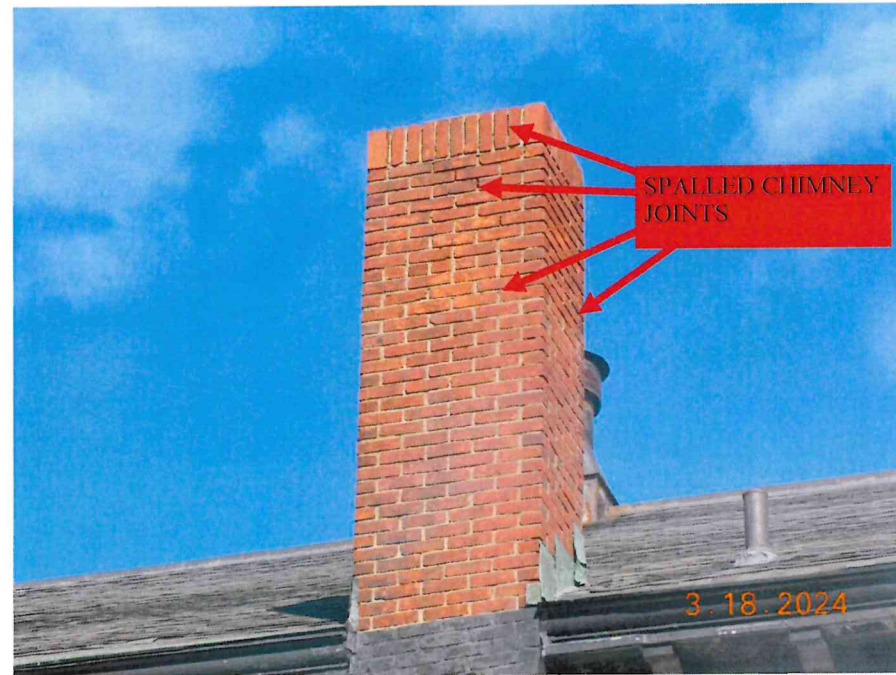


PHOTO NO. 07
MAIN ROOF CHIMNEY DEFICIENCIES

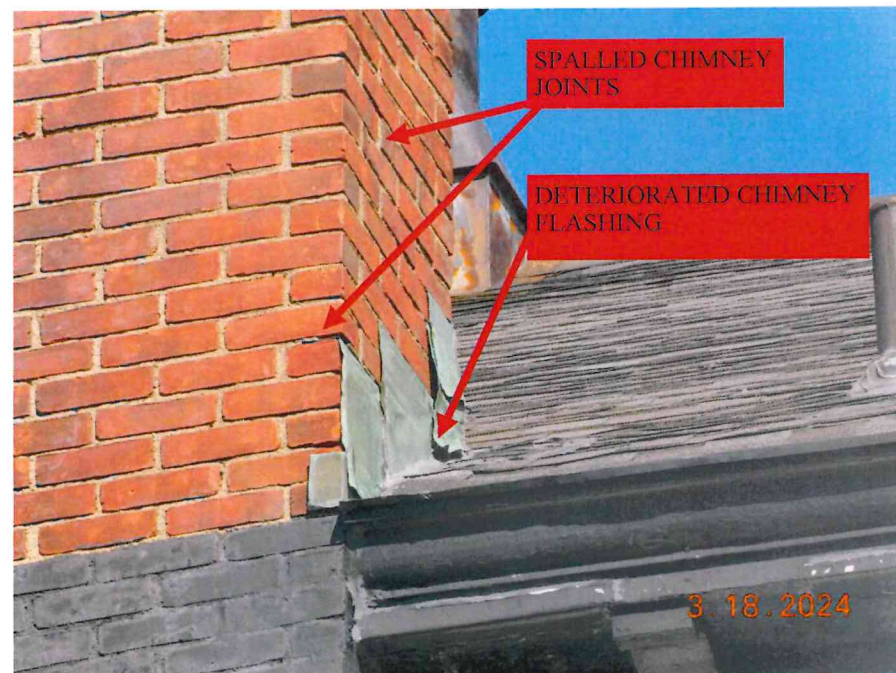


PHOTO NO. 08
MAIN ROOF CHIMNEY DEFICIENCIES

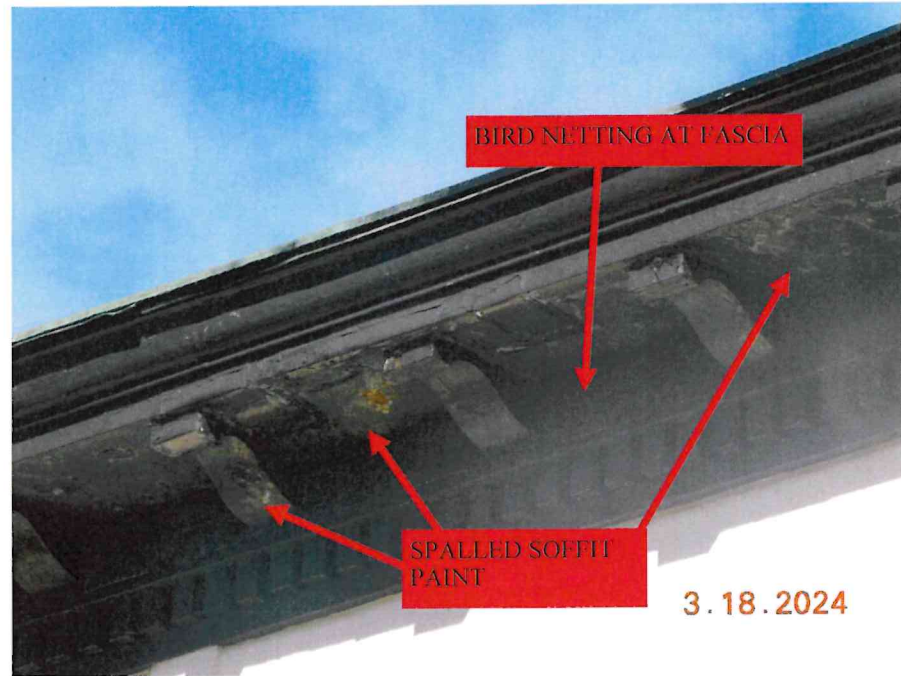


PHOTO NO. 09
PERIMETER SOFFIT DEFICIENCIES

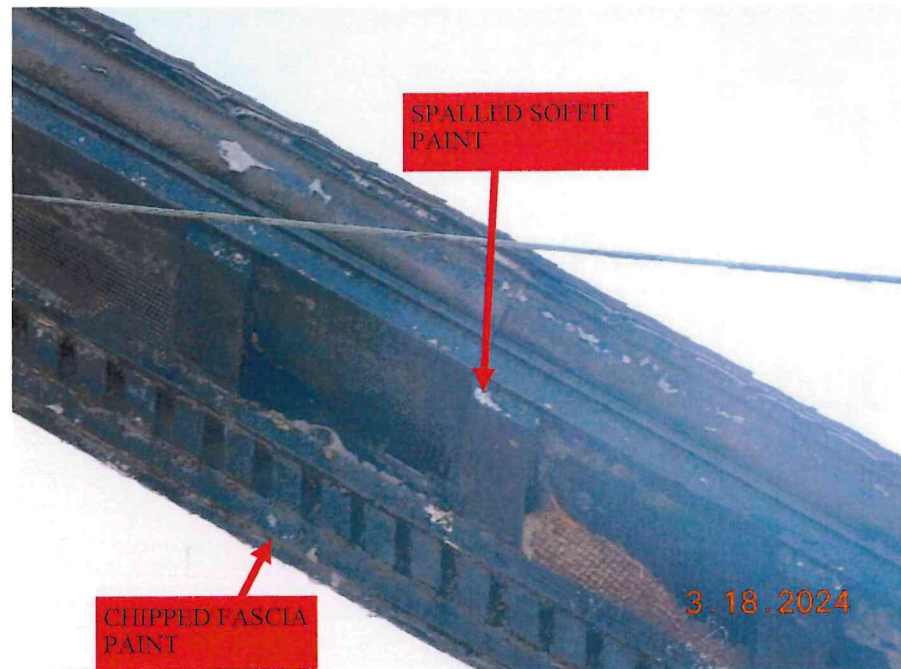


PHOTO NO. 10
PERIMETER FASCIA AND SOFFIT DEFICIENCIES



PHOTO NO. 11
LOWER EAST ROOF

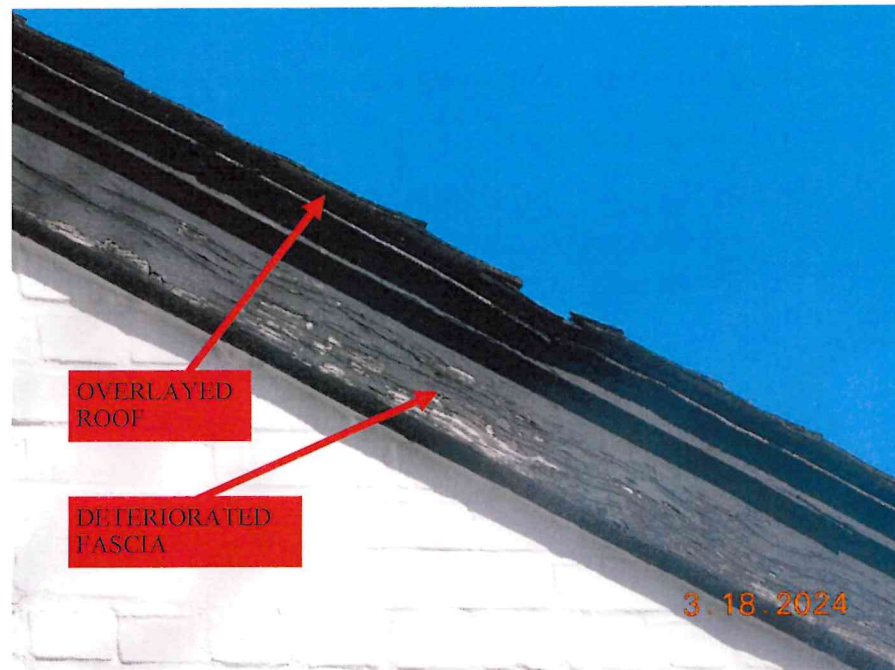


PHOTO NO. 12
TYPICAL EAST ROOF DEFICIENCIES AND ELEMENTS

238 MAIN STREET, GREENPORT, NY

ROOF REPLACEMENT



THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF MERRITT ENGINEERING CONSULTANT, D.P.C. ANY UNLICENSED USES OR ALTERATIONS ARE PROHIBITED

KEY PLAN:

SCALE: N.T.S.

NO.	SUBMISSION / REVISION	DATE
1	ISSUED FOR BID	05/15/24
2	ISSUED TO DOB	07/10/24

CLIENT:

PROJECT ADDRESS:

238 MAIN STREET
GREENPORT, NY

PROJECT TITLE:

ROOF REPLACEMENT

DRAWING TITLE:

GENERAL NOTES,
BUILDING LOCATION MAP
& PLOT PLAN

DOB NOW JOB NUMBER:

DOB STAMP & SIGNATURE:

STAMP & SIGNATURE:

DATE: 05/13/24
PROJECT NO.: 20983A
DRAWN BY: DMGM
CHECKED BY: GM/MC
DRAWING NO.: T-100.00
PAGE: 1 OF 4

GENERAL NOTES:

- ALL WORK MUST CONFORM TO THE REQUIREMENTS OF THE 2020 NYS CODES: BUILDING CODE, EXISTING BUILDING, ENERGY CONSERVATION CODE, FIRE CODE AND MECHANICAL CODE. CONTRACTOR IS TO FILE WORKERS' COMPENSATION AND PAY ALL FEES REQUIRED BY ANY LOCAL DEPARTMENT.
- ALL MATERIALS, ASSEMBLIES, AND METHODS OF CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF THE N.Y.S. BUILDING CODE.
- ALL REQUIREMENTS OF LOCAL, STATE, AND FEDERAL CODES PERTAINING TO DISABLED PERSONS SHALL APPLY TO THE CONTRACT WORK.
- CONTRACTOR SHALL PERFORM ALL NECESSARY PATCHING, REFINISHING, ETC., ARISING FROM THE CONTRACT WORK.
- CONTRACTOR SHALL PROTECT ALL AREAS WITHIN THE CONTRACT LIMITS.
- NO WORK SHALL BE DONE BEYOND BUILDING LINES WITHOUT APPROVAL OF THE N.Y.S. DEPARTMENT OF TRANSPORTATION.
- DO NOT SCALE OFF DRAWINGS.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS ON PLANS IN THE FIELD PRIOR TO COMMENCING WORK. MERRITT ENGINEERING CONSULTANT, D.P.C. (MEC) SHALL BE NOTIFIED OF ANY DISCREPANCIES.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN METHODS AND EQUIPMENT FOR PROTECTING THE BUILDING, ALL MATERIALS, AND PERSONNEL FROM FIRE DAMAGE DURING THE WORK.
- FIRE PROTECTION AND PREVENTION DURING CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LAWS AND REGULATIONS, INCLUDING BUT NOT LIMITED TO, THE LATEST NFPA REGULATIONS AND THE CODES AND RULES OF NEW YORK STATE.
- THE CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, AND SHEETING REQUIRED FOR SAFETY AND PROPER EXECUTION OF THE WORK. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE SUBMITTAL OF SHOP DRAWINGS FOR SHORING, WHICH SHALL BE DESIGNED BY, AND SEALED AND SIGNED BY A LICENSED PROFESSIONAL ENGINEER.
- THE CONTRACTOR SHALL REVIEW ALL EXISTING CONDITIONS TO IDENTIFY ALL SERVICES (ELECTRICAL AND MECHANICAL) THAT MAY BE AFFECTED BY THE WORK. THE CONTRACTOR SHALL MAKE ANY NECESSARY TEMPORARY CONNECTIONS TO MAINTAIN EXISTING SERVICES TO ALL AREAS OF THE BUILDING(S) OR OTHER AREAS AFFECTED BY THE WORK.
- CONSTRUCTION OPERATIONS WILL NOT INVOLVE INTERRUPTION OF HEAT, WATER, OR ELECTRICAL SERVICES TO TENANTS OF THE BUILDING. COORDINATE ALL DISRUPTION OF THE MECHANICAL AND ELECTRICAL SYSTEMS WITH BUILDING MANAGEMENT.
- NOT LESS THAN 24 HOURS WRITTEN NOTICE SHALL BE GIVEN TO THE COMMISSIONER OF THE BUILDINGS DEPARTMENT BEFORE THE COMMENCEMENT OF ANY WORK FOR WHICH A PERMIT HAS BEEN ISSUED ON ANY ITEM OF CONSTRUCTION WHICH IS SUBJECT TO SPECIAL INSPECTION(S) AS REQUIRED BY THE N.Y.S. BUILDING CODE. THE PERSON RESPONSIBLE FOR SUCH INSPECTIONS SHALL BE NOTIFIED IN WRITING AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF THE WORK.
- NO WORK SHALL COMMENCE UNTIL THE CONTRACTOR HAS SUBMITTED ALL REQUIRED DOCUMENTS (E.G. CERTIFICATES, PERMITS, ETC.) RELATED TO INSURANCE AND WORK PERMITS.
- THE CONTRACTOR SHALL PROVIDE AN ALL-INCLUSIVE PROJECT SCHEDULE AND SHALL PROVIDE MEC WITH A PROGRESS SCHEDULE, WHICH COORDINATES ALL PHASES OF THE WORK.
- IT IS THE INTENT OF THE PLANS TO EXPLAIN THE REQUIREMENTS OF THE PROPOSED ALTERATION(S)/REPAIR(S), HOWEVER, FIELD CONDITIONS MAY ARISE DURING CONSTRUCTION THAT MAY NOT HAVE BEEN EXHAUSTIVELY DETAILED.
- CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED FOR MASONRY REMOVAL AND REPLACEMENT.
- CONTRACTOR TO SUBMIT DEMOLITION PLAN FOR REVIEW BY MEC PRIOR TO COMMENCEMENT OF THE WORK. CONTRACTOR TO SCHEDULE INSPECTIONS WITH MEC UPON COMPLETION OF DEMOLITION ACTIVITIES IN ANY WORK AREA.
- ALL TENANT SPACES SHALL BE OCCUPIED DURING CONSTRUCTION. CONSTRUCTION WORK WILL BE CONFINED TO THE FACADES / ROOF / PARKING LOT AREA AND WILL NOT CREATE DUST, DIRT, OR OTHER SUCH INCONVENIENCES IN THE OCCUPIED SPACE WITHIN THE BUILDING.
- ALL EXISTING MEANS OF EGRESS FOR TENANTS OF THE BUILDING SHALL BE MAINTAINED CLEAR AND FREE OF ALL OBSTRUCTIONS, SUCH AS BUILDING MATERIALS, TOOLS, EQUIPMENT, ETC.
- CONSTRUCTION OPERATIONS WILL BE CONFINED TO NORMAL WORKING HOURS, 9 AM TO 5 PM, MONDAY THROUGH FRIDAY. CONTRACTOR SHALL OBTAIN THE WRITTEN CONSENT OF ALL PARTIES AFFECTED BY HIS WORK DURING OTHER THAN REGULAR HOURS.
- WORK SHALL COMPLY WITH ALL SAFETY AND HEALTH LAWS AND REGULATIONS INCLUDING, BUT NOT LIMITED TO, PROVISIONS AND REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AS AMENDED AND/OR THE CONSTRUCTION SAFETY ACT OF 1969, AS AMENDED.
- WORK WILL NOT AFFECT THE STRUCTURAL INTEGRITY OF THE BUILDING.
- ANY REMOVAL OF ASBESTOS OR LEAD-CONTAINING MATERIALS SHALL BE PERFORMED IN COMPLIANCE WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS.
- CONTRACTOR SHALL COMPLY WITH ALL RULES AND REGULATIONS OF THE BUILDING RELATING TO WORKING HOURS, RUBBISH REMOVAL, DELIVERIES, AND PROTECTION OF AREAS OUTSIDE THE ACTUAL WORK AREA.
- CONTRACTOR SHALL MAINTAIN STRUCTURAL INTEGRITY OF ADJOINING WALLS AND PROTECT FROM DAMAGE IN ACCORDANCE WITH N.Y.S. BUILDING CODE. CONTRACTOR SHALL DETERMINE THE LOCATION OF AND PROTECT ALL UTILITIES ON THE SITE AND ON ADJACENT SITES. CONTRACTOR SHALL NOTIFY UTILITY COMPANIES AFFECTED BY THE WORK AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF WORK.
- THE CONSTRUCTION, EQUIPMENT, AND METHODS USED SHALL COMPLY WITH ALL REQUIREMENTS OF THE NEW YORK STATE CONSTRUCTION CODES GENERAL ADMINISTRATIVE PROVISIONS, THE NEW YORK STATE HEALTH CODE, THE NEW YORK STATE ENERGY CONSERVATION CODE, AND OTHER REQUIREMENTS, RULES, AND REGULATIONS OF THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL PROTECTION AND ANY OTHER AGENCIES HAVING JURISDICTION.
- NOISE LEVELS RELATED TO CONSTRUCTION WORK MUST COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS.

INDEX OF PAGES:

- T-100.00 GENERAL NOTES, BUILDING LOCATION MAP & PLOT PLAN
- A-100.00 ROOF PLAN
- A-200.00 TYPICAL ROOFING DETAILS (1)
- A-201.00 TYPICAL ROOFING DETAILS (2)

SCOPE OF WORK:

- GENERAL CONDITIONS, MOBILIZATION, PROTECTION INCLUDING SIDEWALK SHED, PIPE SCAFFOLDING AND OR BOOM LIFT, PERMITS AND INSURANCE.
- REMOVE AND REPLACE ASPHALT SHINGLED ROOFS (MAIN AND SMALL) DOWN TO SUBSTRATE AND REPLACE WITH GAF ARCHITECTURAL SHINGLE. ROOFING GAF MARQUIS WEATHER TIMBERLINE ASPHALT SHINGLE OR APPROVAL EQUAL. COLOR TO BE SELECTED BY OWNER.
- SMALL ROOF - REMOVE AND REPLACE THE THROUGH WALL FLASHING AT THE EAST FACADE.
- MAIN ROOF - REMOVE AND REINSTALL EXISTING ROOF VENT, REPLACE AS NEEDED.
- ALLOWANCE TO REPAIR EXISTING ROOF WOOD DECKS (MAIN AND SMALL): 1250 SF
- SCRAPE, PRIME AND PAINT ROOF VENT AT ROOF HIP. PROVIDE AND INSTALL NEW VENT CAP AT SOUTH SIDE OF MAIN ROOF.
- ROUT AND POINT CHIMNEY BRICK MORTAR JOINTS. PROVIDE NEW FLASHINGS AT SLOPED ROOF FOR CHIMNEY. PROVIDE AND INSTALL CHIMNEY CRICKET AS PER DETAIL 1-A/201.00.
- REPAIR/REPLACE ALL EXISTING SOFFITS AND FASCIA'S AS NEEDED. PAINT NEW/REPAIRED/EXISTING FASCIA'S AND SOFFITS. COLOR TO MATCH EXISTING IN KIND.
- REMOVE AND REPLACE THE BIRD NETTING BETWEEN SOFFITS AND FASCIA'S FOR THE PERIMETER OF THE BUILDING AS APPLICABLE.
- PROVIDE NEW SEAMLESS CUTTERS WITH GUARDS AND LEADERS WITH NEW SPLASH BOXES AT BOTH ROOFS. LEADERS TO BE ADEQUATELY FASTENED TO BUILDING FACADES AND SEALED FOR WATER TIGHT APPLICATION.

PROGRESS INSPECTIONS:

- FINAL INSPECTION

PROPERTY INFORMATION:

PARCEL ID: 4-10-5
BUILDING CLASS: STANDARD BANK/SINGLE OCCUPANT

GRAPHIC LEGEND

- PROPERTY LINE
- (X) SECTION / DETAIL NUMBER
- (X-XX) DRAWING NUMBER

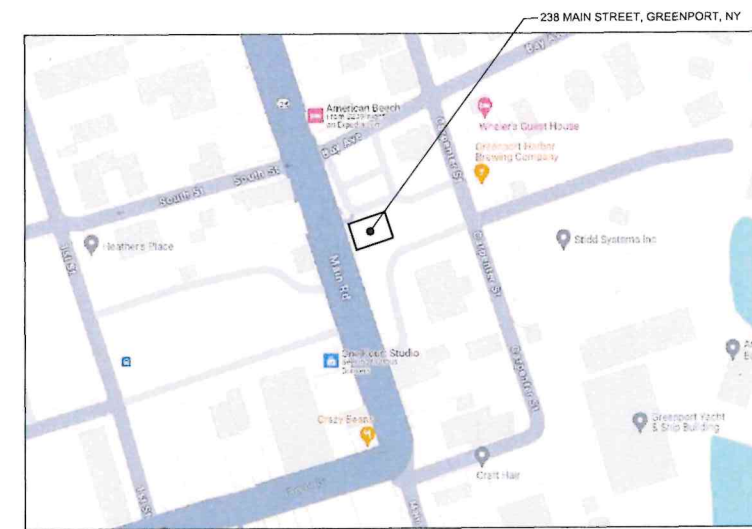
SPECIAL FLOOD HAZARD AREA (SFHA) STATEMENT:

FEMA HAS NOT COMPLETED A STUDY TO DETERMINE FLOOD HAZARD FOR PROPERTY LOCATION; THEREFORE, A FLOOD MAP HAS NOT BEEN PUBLISHED AT THIS TIME

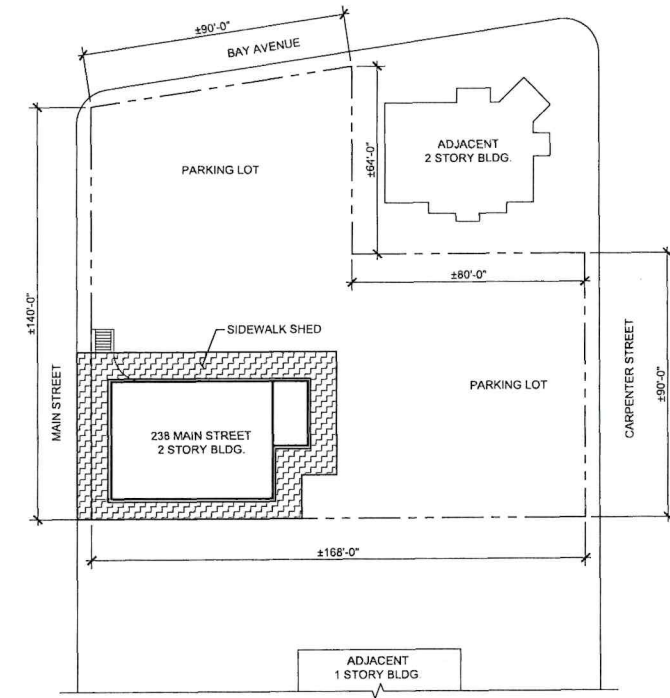
ENERGY ANALYSIS - CLIMATE ZONE 4A
2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NYS (ECCCNYS)

ITEM DESCRIPTION	PROPOSED DESIGN VALUE	CODE PRESCRIPTIVE VALUE AND CITATION	SUPPORTING DOCUMENTATION
REFER TO SCOPE OF WORK ON THIS PAGE	N/A	C503.1(4) CONSTRUCTION WHERE THE EXISTING ROOF, WALL, OR FLOOR CAVITY IS NOT EXPOSED	N/A

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NYS (ECCCNYS)



1 BUILDING LOCATION MAP
SCALE: N.T.S.



2 PLOT PLAN
SCALE: 1" = 30'-0"

NOTE:
A SIDEWALK SHED WILL BE PROVIDED AND FILED UNDER SEPARATE APPLICATION BY THE CONTRACTOR PRIOR TO PERMITTING

DRAWING: CHASE/2024/05/13/24/20983A/ROOFCONDCSBRD & DOB/05/13/24/T-100.DWG / Pkg Date: Jul 10, 2024 - 10:07 AM
Saved By: DMAS/SMOYIC / Save Date: 7/10/2024 10:07:19 AM

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KEY PLAN:

SCALE: N.T.S.

NO.	SUBMISSION / REVISION	DATE
1	ISSUED FOR BID	05/15/24
2	ISSUED TO DOB	07/10/24

CLIENT:
CHASE


PROJECT ADDRESS:
238 MAIN STREET
GREENPORT, NY

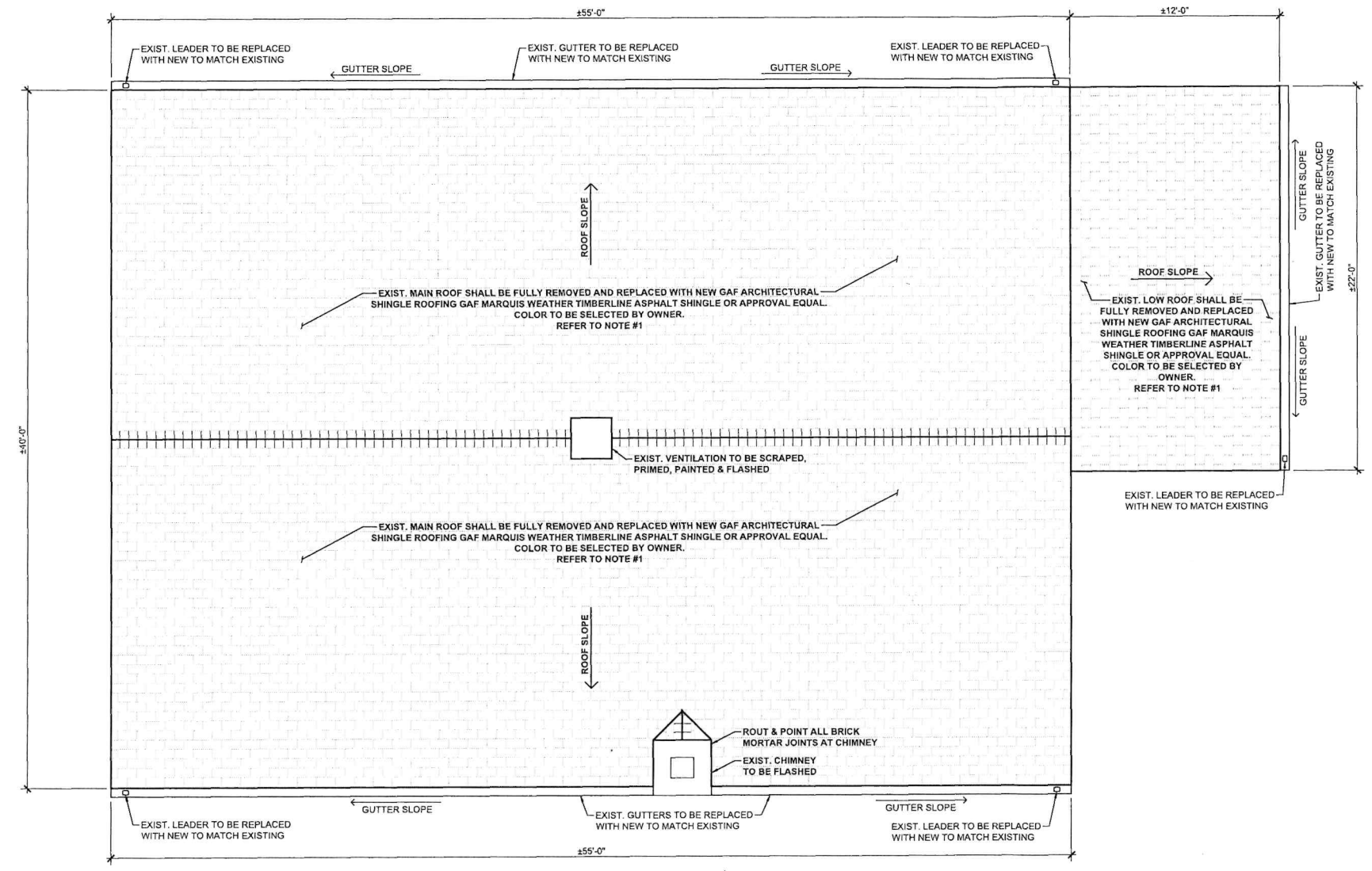
PROJECT TITLE:
ROOF REPLACEMENT

DRAWING TITLE:
ROOF PLAN

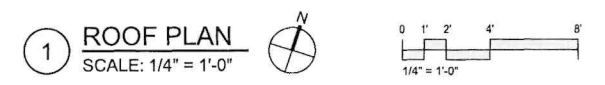
DOB NOW JOB NUMBER:

DOB STAMP & SIGNATURE:

STAMP & SIGNATURE:

DATE: 05/13/24
PROJECT NO.: 20963A
DRAWN BY: DM/GM
CHECKED BY: GW/MC
DRAWING NO.:
A-100.00
PAGE: 2 OF 4



- NOTES:**
1. INSTALLATION OF THE NEW ROOFING ASSEMBLY INCLUDING UNDERLAYMENT, ICE SHIELD, FASTENERS, FLASHING, GUTTERS AND LEADERS SHALL COMPLY WITH NEW YORK STATE CODE AND ASPHALT SHINGLE APPLICATION TABLE. ANCHORAGE SYSTEM SHALL COMPLY WITH THE HIGH REQUIREMENT (110 MPH / 3 SECOND GUST). PLEASE REFER TO ROOFING MANUFACTURER'S GENERAL AND NAILING INSTRUCTION.



DRAWING: 20963A-ROOFING-ROOF PLAN-DOCS-01 & DOB-20963A-A-100.DWG / PLOT DATE: Jul 10, 2024 - 10:07 AM / Saved By: DMASK/MOVC / Save Date: 7/10/2024 10:07:12 AM

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NO.	SUBMISSION / REVISION	DATE
1	ISSUED FOR BID	05/15/24
2	ISSUED TO DOB	07/10/24

CLIENT:

CHASE

PROJECT ADDRESS:

238 MAIN STREET
GREENPORT, NY

PROJECT TITLE:

ROOF REPLACEMENT

DRAWING TITLE:

TYP. ROOFING DETAILS (1)

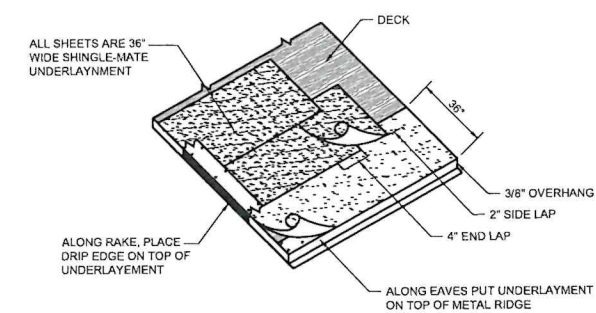
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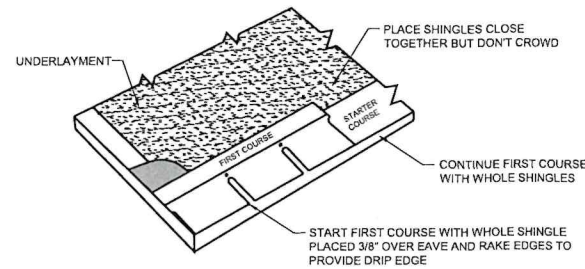


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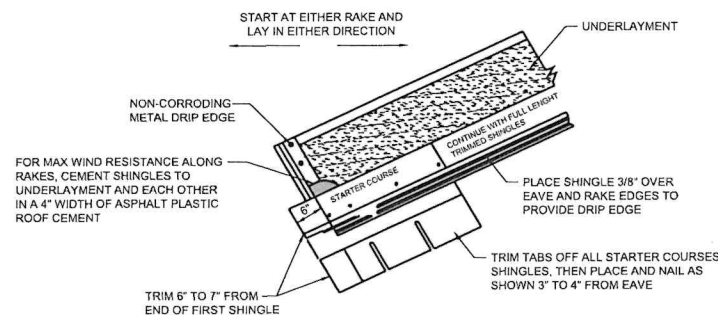
3 TYP. UNDERLAYMENT STANDARD SLOPE
SCALE: N.T.S.

APPLICATION OF UNDERLAYMENT: COVER DECK WITH ONE LAYER OF UNDERLAYMENT INSTALLED WITHOUT WRINKLES. USE ONLY ENOUGH NAILS TO HOLD UNDERLAYMENT IN PLACE UNTIL COVERED BY SHINGLES.
APPLICATION OF EAVE FLASHING: INSTALL EAVE FLASHING IN LOCALITIES WHERE LEAKS MAY BE CAUSED BY WATER BACKING UP BEHIND ICE OR DEBRIS DAMS. EAVE FLASHING MUST OVERHAND THE FOOT EDGE 3/8" (10MM) AND EXTEND 24" (610MM) BEYOND THE INSIDE WALL LINE.



2 TYP. FIRST COURSE
SCALE: N.T.S.

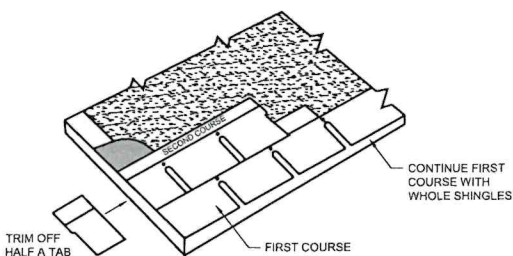
START AND CONTINUE WITH FULL SHINGLES LAID FLUSH WITH THE STARTER COURSE. SHINGLES MAY BE LAID FROM LEFT TO RIGHT OR RIGHT TO LEFT. DO NOT LAY SHINGLES STRAIGHT UP THE ROOF SINCE THIS PROCEDURE CAN CAUSE AN INCORRECT COLOR TO BLEND ON THE ROOF AND MAY DAMAGE THE SHINGLES.



1 TYP. STARTER COURSES
SCALE: N.T.S.

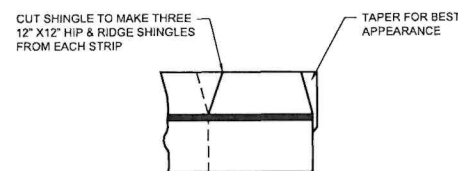
FOR MAX WIND RESISTANCE ALONG RAKES, CEMENT SHINGLES TO UNDERLAYMENT AND EACH OTHER IN A 4" WIDTH OF ASPHALT PLASTIC ROOF CEMENT

TRIM 6" TO 7" FROM END OF FIRST SHINGLE

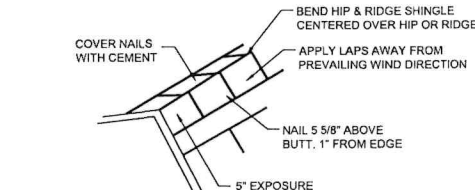


4 TYP. SECOND AND SUBSEQUENT COURSES
SCALE: N.T.S.

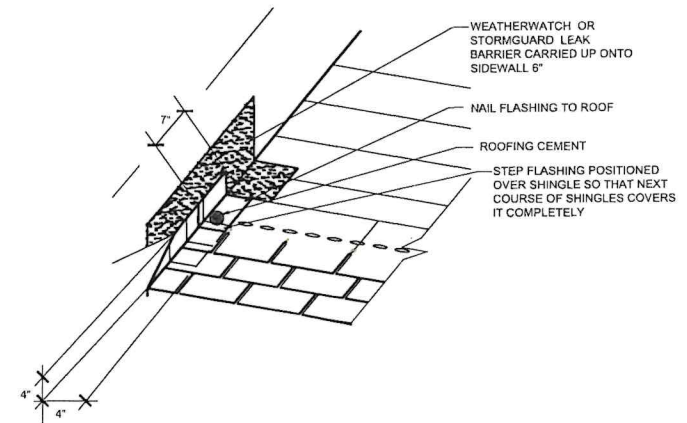
START THE SECOND COURSE WITH A SHINGLE THAT HAS A HALF TAB REMOVED. CONTINUE THE SUBSEQUENT COURSED BY REMOVING TABS AS FOLLOWS: THIRD COURSE TRIM FULL TAB, FOURTH COURSE TRIM 1-1/2 TABS, FIFTH COURSE TRIM 2 TABS, SIXTH COURSE TRIM 2-1/2 TABS. STRIKE A CHALK LINE EVERY SIX COURSES TO CHECK FOR ALIGNMENT TO THE EAVE EDGE. BEGIN SEVENTH COURSE WITH A FULL SHINGLE, AND REPEAT THE PATTERN ABOVE FOR SUBSEQUENT COURSES.
NOTE: SHINGLES MAY BE LAID FROM EITHER LEFT OR RIGHT HAND SIDE. START AT EITHER RAKE EDGE WITH SHINGLES HAVING 6" (152MM) TRIMMED FROM RAKE.



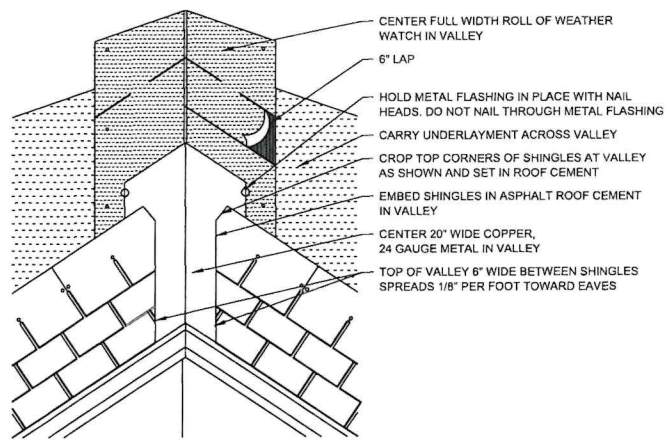
5 TYP. SHINGLE HIP & RIDGE DETAIL
SCALE: N.T.S.



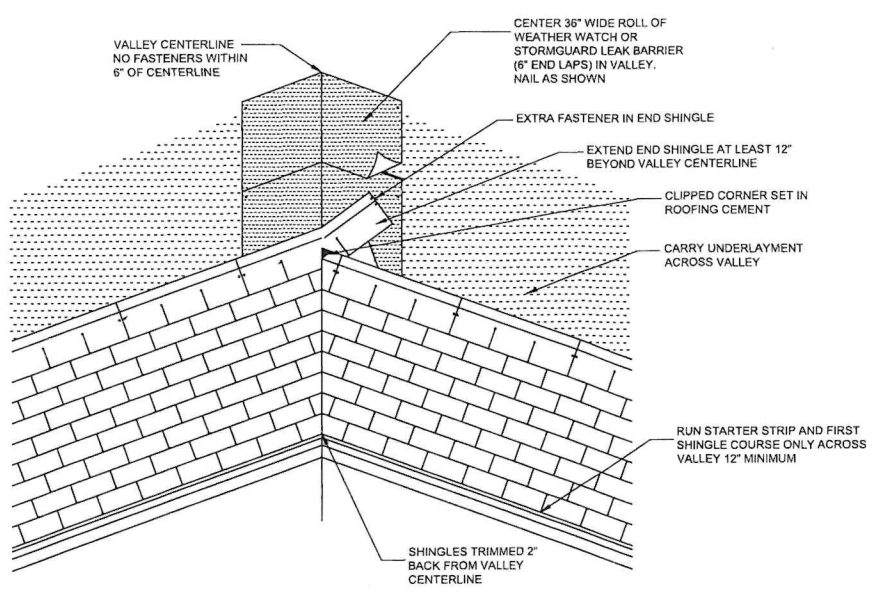
USE HIP AND RIDGE SHINGLES, OR CUT HIP AND RIDGE SHINGLES FROM THESE FULL SHINGLES, AND APPLY AS SHOWN. POSITION LAPS AWAY FROM PREVAILING WIND DIRECTION.



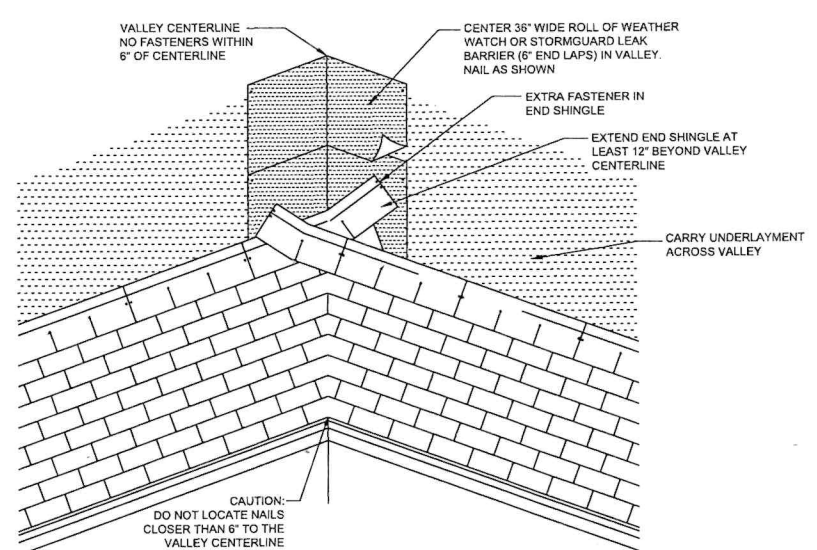
6 STEP FLASHING AGAINST VERTICLE
SCALE: N.T.S.



7 VALLEY CONSTRUCTION DETAIL
SCALE: N.T.S.



8 VALLEY CONSTRUCTION DETAIL - CLOSED CUT
SCALE: N.T.S.



9 VALLEY CONSTRUCTION DETAIL - CLOSED OR WOVEN
SCALE: N.T.S.

CAUTION: DO NOT LOCATE NAILS CLOSER THAN 6" TO THE VALLEY CENTERLINE

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238 MAIN STREET
GREENPORT, NY

PROJECT TITLE:

ROOF REPLACEMENT

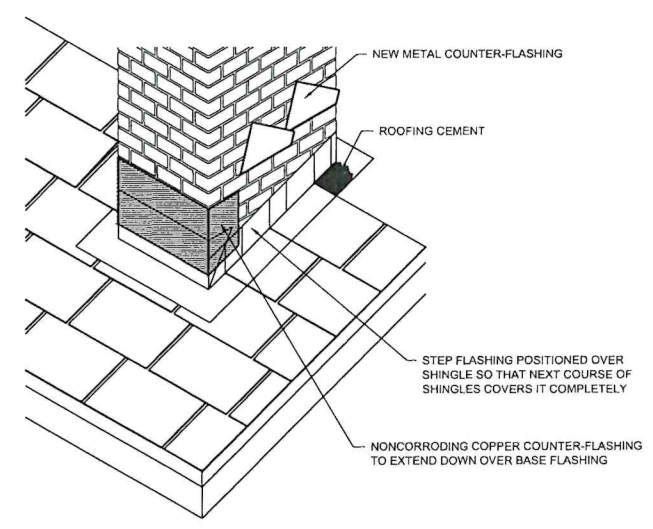
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TYPICAL ROOF DETAILS (2)

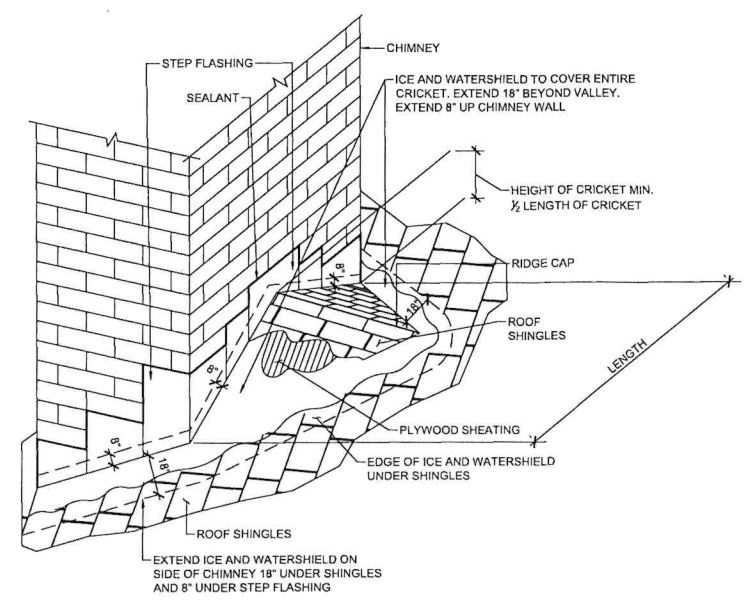
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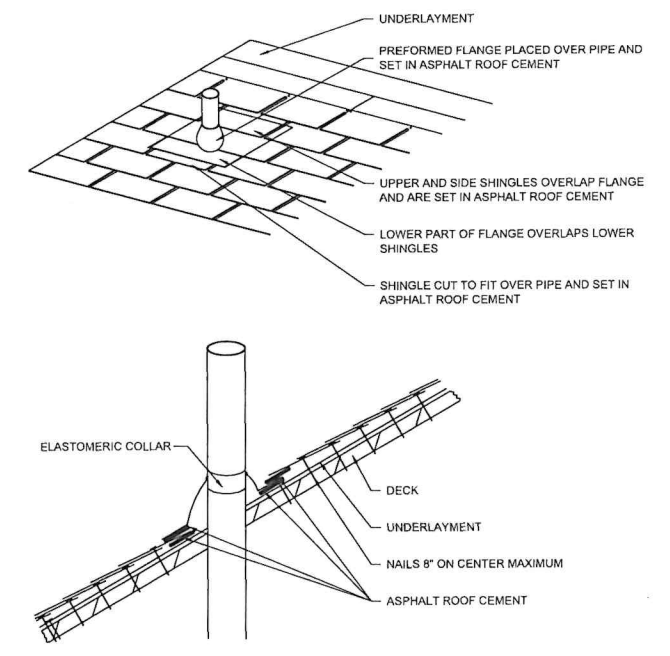
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	DRAWN BY:	DM/GM
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PAGE:		4 OF 4



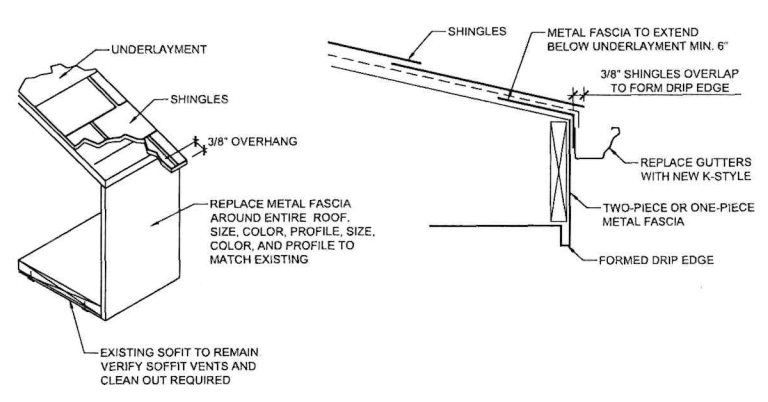
1 CHIMNEY & DECORATIVE PARAPET FLASHING DETAIL
SCALE: N.T.S.



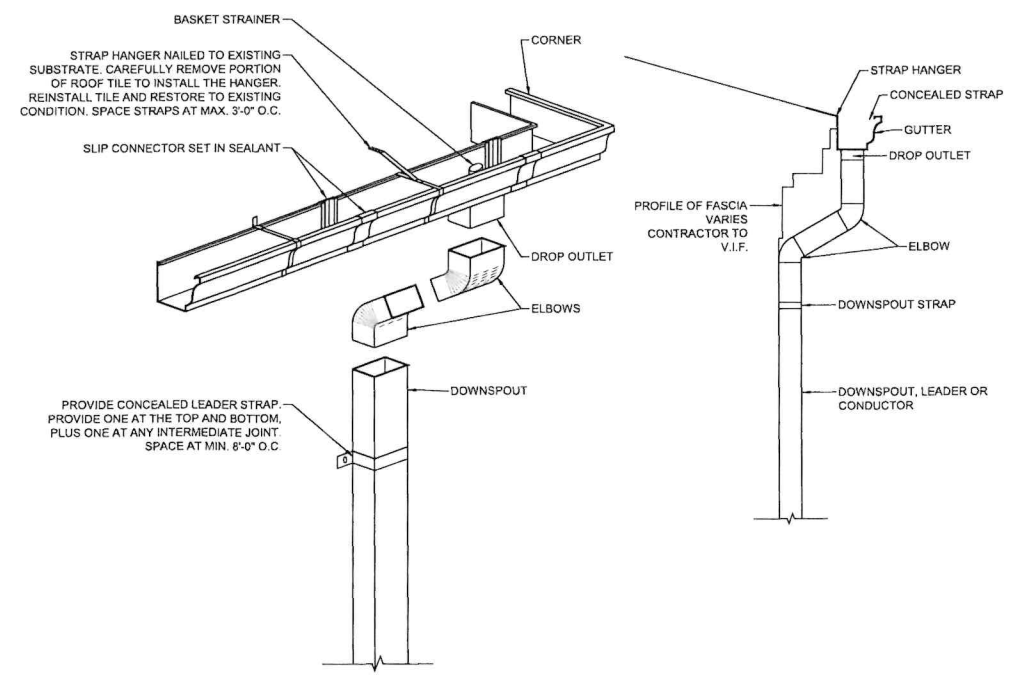
1-A TYPICAL CRICKET DETAIL (SIZE MAY VARY)
SCALE: N.T.S.



2 TYP. PENETRATION DETAIL
SCALE: N.T.S.



3 TYP. FASCIA DETAIL
SCALE: N.T.S.



4 TYP. "K" STYLE GUTTER REPLACEMENT DETAIL
SCALE: N.T.S.

RAWINGS: CHASE 20240520 095A, ROOF DOCS BID & DOB 20240520 095A, A-201.DWG / Proj Date: Jul, 10, 2024 - 10:07 AM
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