



SOURCE: USGS 7.5 MINUTE SERIES TOPO MAP GREENPORT QUADRANGLE, DATED 2023

**LOCATION MAP**

SCALE: 1" = 1000'±

# PARKING LOT IMPROVEMENT PLANS

FOR

# CHASE

## PROPOSED SITE IMPROVEMENTS

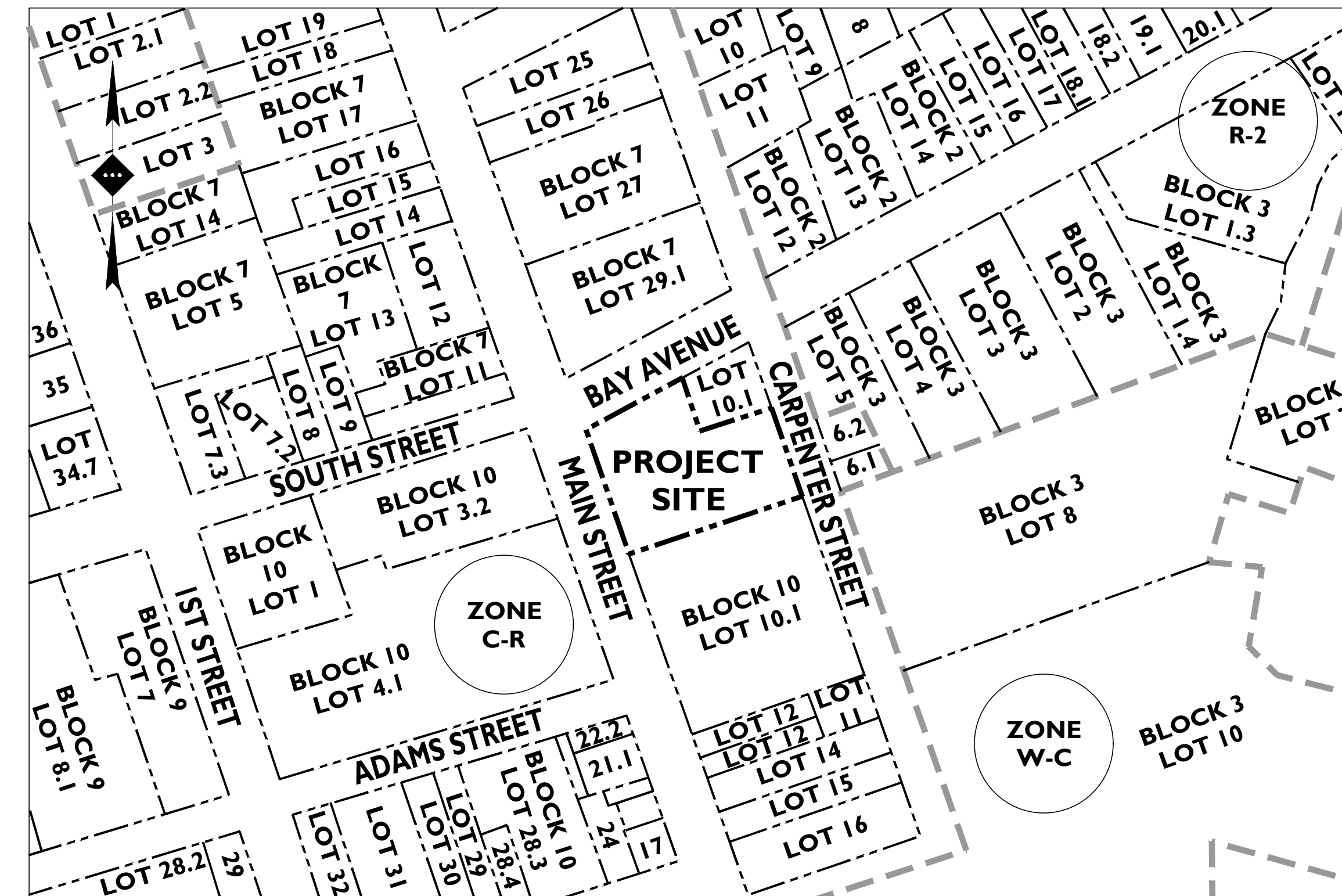
SECTION 4, BLOCK 10, LOT 5  
 238 MAIN STREET  
 VILLAGE OF GREENPORT, TOWN OF SOUTHOLD  
 SUFFOLK COUNTY, NEW YORK



SOURCE: GOOGLE EARTH PRO

**AERIAL MAP**

SCALE: 1" = 100'±



SOURCE: GREENPORT BOARD OF TRUSTEES

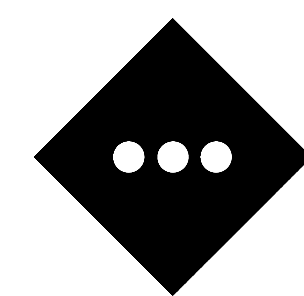
**TAX AND ZONING MAP**

SCALE: 1" = 100'±

PLANS PREPARED BY:



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**PLAN REFERENCE MATERIALS:**

- THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
  - SURVEY PREPARED BY STONEFIELD ENGINEERING & DESIGN, LLC, DATED 11/11/2024
  - TAX MAP OBTAINED FROM GREENPORT BOARD OF TRUSTEES, DATED 10/19/2023
  - AERIAL MAP OBTAINED FROM GOOGLE EARTH PRO SATELLITE IMAGERY, DATED 04/2021
  - LOCATION MAP OBTAINED FROM USGS 7.5 MINUTE SERIES TOPO MAP GREENPORT QUADRANGLE, DATED 2023
- ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

SHEET INDEX	
DRAWING TITLE	SHEET #
COVER SHEET	C-1
EXISTING CONDITIONS PLAN	C-2
DEMOLITION PLAN	C-3
SITE PLAN	C-4
CONSTRUCTION DETAILS	C-5

ISSUE	DATE	BY	DESCRIPTION
1	01/27/2025	JF	ISSUED FOR REVIEW
2	03/17/2025	EDW	ISSUED FOR REVIEW

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PARKING LOT IMPROVEMENT PLANS

**CHASE**

PROPOSED SITE IMPROVEMENTS

BLOCK 10, LOT 5  
 238 MAIN STREET  
 VILLAGE OF GREENPORT  
 SUFFOLK COUNTY, NEW YORK



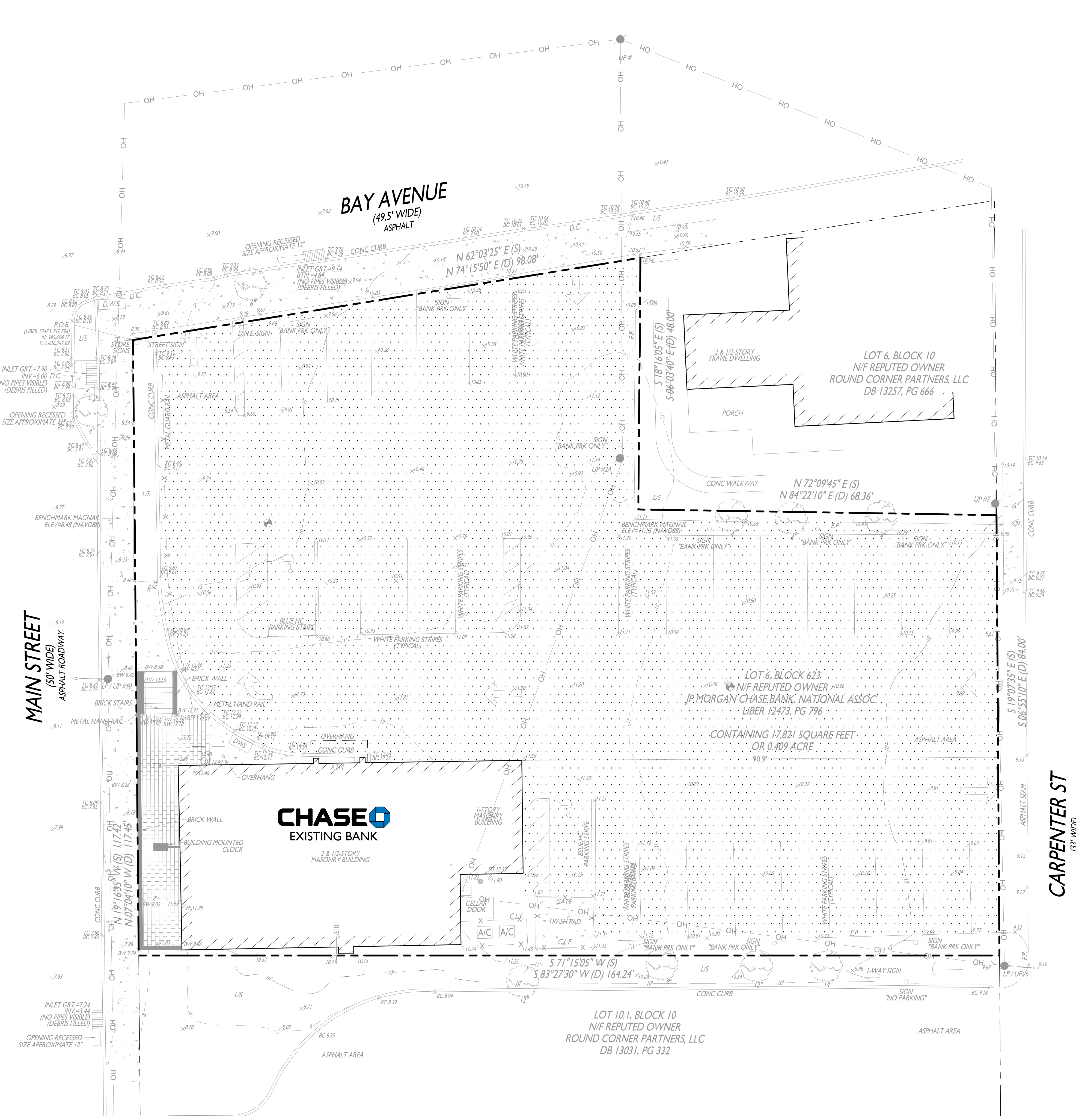
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SCALE: AS SHOWN PROJECT ID: NYC-240167

TITLE:  
**COVER SHEET**

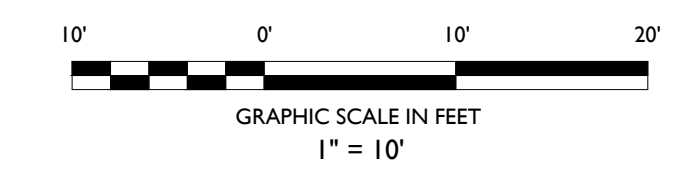
DRAWING:  
**C-1**

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SYMBOL	DESCRIPTION
	BUILDING
	CONCRETE SIDEWALK
	BRICK PAVERS
	CURB
	PROPERTY LINE
	ADJACENT PROPERTY LINE
	CHAIN LINK FENCE
	GUIDE RAIL
	UTILITY POLE
	SIGN
	GAS VALVE
	DRAIN
	MANHOLE
	BOLLARD
	OVERHEAD WIRE
	MAJOR CONTOUR LINE
	MINOR CONTOUR LINE
	TREE
	IRON PIN
	BENCHMARK
	HANDICAP PARKING

- SURVEY NOTES:**
- THIS SURVEY AND THE BOUNDARIES SHOWN HEREON ARE THE RESULT OF AN ACTUAL FIELD SURVEY PERFORMED DURING NOVEMBER OF 2024, BASED ON AVAILABLE MAPS AND DEEDS OF RECORD, AND PHYSICAL EVIDENCE. THIS SURVEY IS SUBJECT TO ALL EASEMENTS, RIGHTS OF WAY AND AGREEMENTS OF RECORD THAT A TITLE SEARCH MAY DISCLOSE.
  - THIS SURVEY IS VALID ONLY WHEN A DIGITAL OR BLUE SEAL IS AFFIXED HERETO.
  - THE SURVEYOR IS NOT QUALIFIED TO IDENTIFY ENVIRONMENTAL CONDITIONS OR THE PRESENCE OR ABSENCE OF WETLANDS.
  - THE CERTIFICATION SHOWN HEREON IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
  - UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW.
  - ANY SUBSURFACE UTILITIES SHOWN HAVE BEEN LOCATED FROM MARKOUTS OBSERVED ON SITE DURING THE FIELD SURVEY, AND SURFACE FEATURES SUCH AS VALVES, MANHOLES AND GRATES, STORM DRAINAGE AND OR SANITARY INVERTS ARE DEPICTED BASED ON OBSERVATIONS MADE IN THE FIELD. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION USED. THE SURVEY HAS NOT PHYSICALLY LOCATED THE UTILITIES. BEFORE ANY EXCAVATIONS ARE BEGUN, THE PROPER UTILITY AGENCIES MUST BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.
  - BEARINGS ARE REFERENCED TO THE NEW YORK STATE PLANE COORDINATE SYSTEM (NAD83) LONG ISLAND ZONE. ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), ESTABLISHED VIA RTK GPS OBSERVATIONS.
  - BENCHMARK = MAG NAIL = 8.48 (NAVD88).
  - BENCHMARK = MAG NAIL = 11.15 (NAVD88).
  - BASEMENT OR BELOW GRADE STRUCTURES (IF ANY) UNKNOWN.



ISSUED FOR REVIEW	DATE	BY	DESCRIPTION
EDW	03/17/2025		
JF	01/27/2025		

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PARKING LOT IMPROVEMENT PLANS

**CHASE**  
PROPOSED SITE IMPROVEMENTS

BLOCK 10, LOT 5  
238 MAIN STREET  
VILLAGE OF GREENPORT  
SUFFOLK COUNTY, NEW YORK



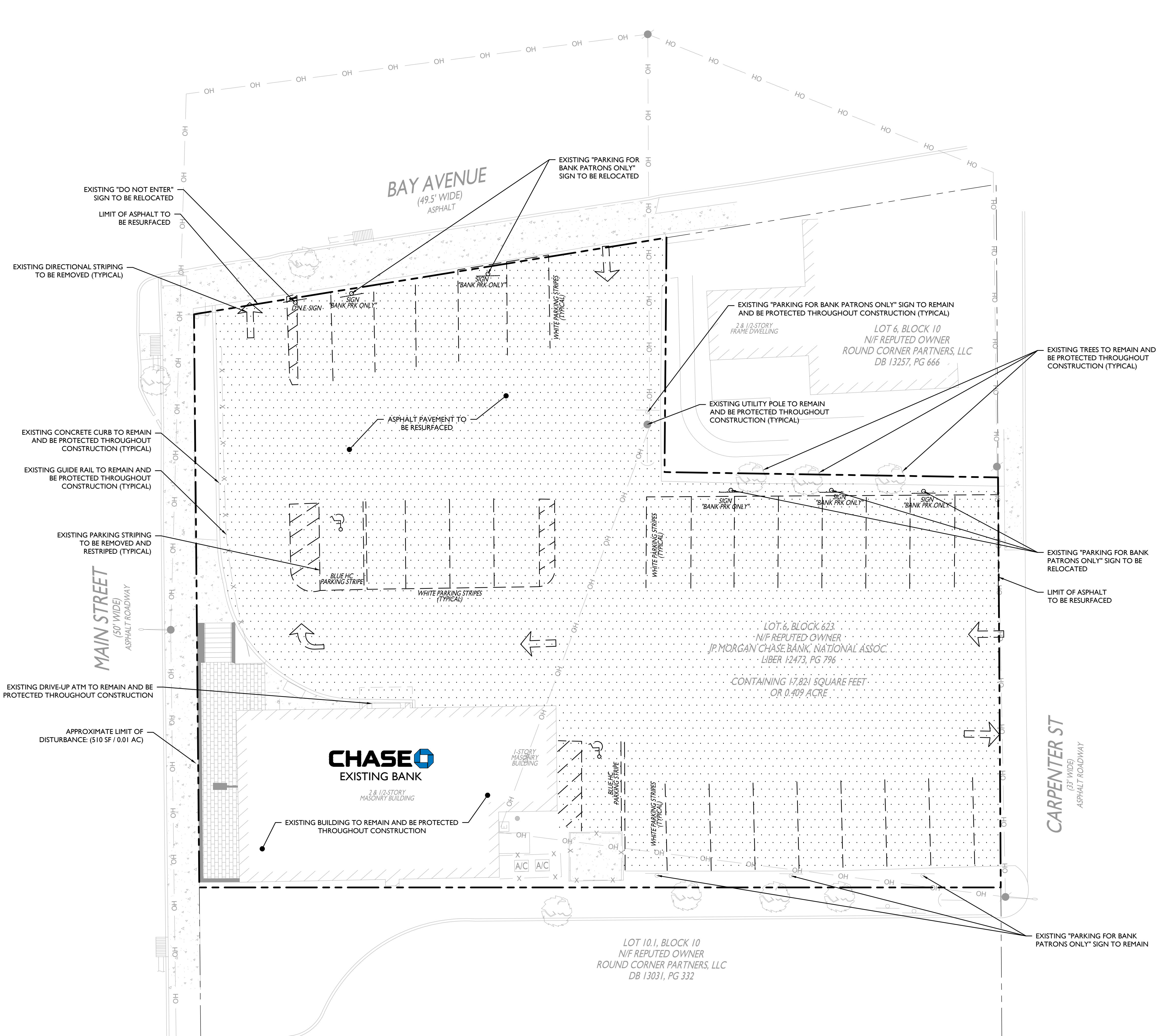
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SCALE: 1" = 10' PROJECT ID: NYC-240167

TITLE:  
**EXISTING CONDITIONS PLAN**

DRAWING:  
**C-2**

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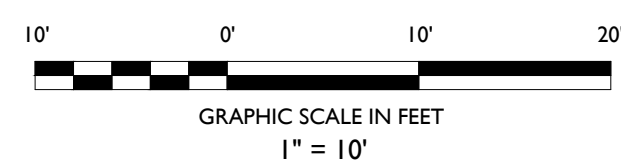


SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	LOD
[Hatched Box]	EXISTING BUILDING
[Dashed Line]	EXISTING CURB
[Stippled Box]	EXISTING CONCRETE
[Dotted Box]	ASPHALT TO BE RESURFACED



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- DEMOLITION NOTES**
1. THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DISMISSED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE ENTIRE PLAN SET AND ASSOCIATED REPORTS/REFERENCE DOCUMENTS INCLUDING ALL DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE IMPROVEMENTS.
  2. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
  3. EXPLOSIVES SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM BOTH THE OWNER AND ANY APPLICABLE GOVERNING AGENCY IS OBTAINED. BEFORE THE START OF ANY EXPLOSIVE PROGRAM, THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE, AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SEISMIC TESTING AS REQUIRED AND ANY DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.
  4. ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITY'S REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXCAVATIONS ASSOCIATED WITH DEMOLISHED STRUCTURES OR REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.
  5. DEMOLISHED DEBRIS SHALL NOT BE BURIED ON SITE. ALL WASTE/DEBRIS GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS.



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		01/27/2025	

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BLOCK 10, LOT 5  
238 MAIN STREET  
VILLAGE OF GREENPORT  
SUFFOLK COUNTY, NEW YORK

STATE OF NEW YORK  
ZACARAY E. CHAMBERS  
NEW YORK PROFESSIONAL ENGINEER  
090765  
19748  
LICENSED PROFESSIONAL ENGINEER

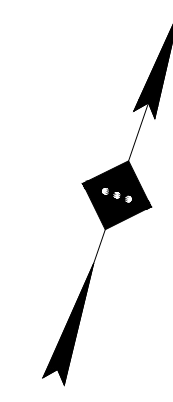
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SCALE: 1" = 10' PROJECT ID: NYC-240167

TITLE:  
**DEMOLITION PLAN**

DRAWING:  
**C-3**

OFF-STREET PARKING REQUIREMENTS			
CODE SECTION	REQUIRED	EXISTING	PROPOSED
§ 150-16	REQUIRED PARKING: 1 SPACE PER 300 SF OF FLOOR AREA 2.137 SF OF FLOOR AREA / 300 SF = 8 PARKING SPACES	28 SPACES	28 SPACES



SYMBOL	DESCRIPTION
	PROPERTY LINE
	SETBACK LINE
	SAWCUT LINE
	PROPOSED CURB
	PROPOSED ASPHALT RESURFACE
	PROPOSED SIGNS / BOLLARDS

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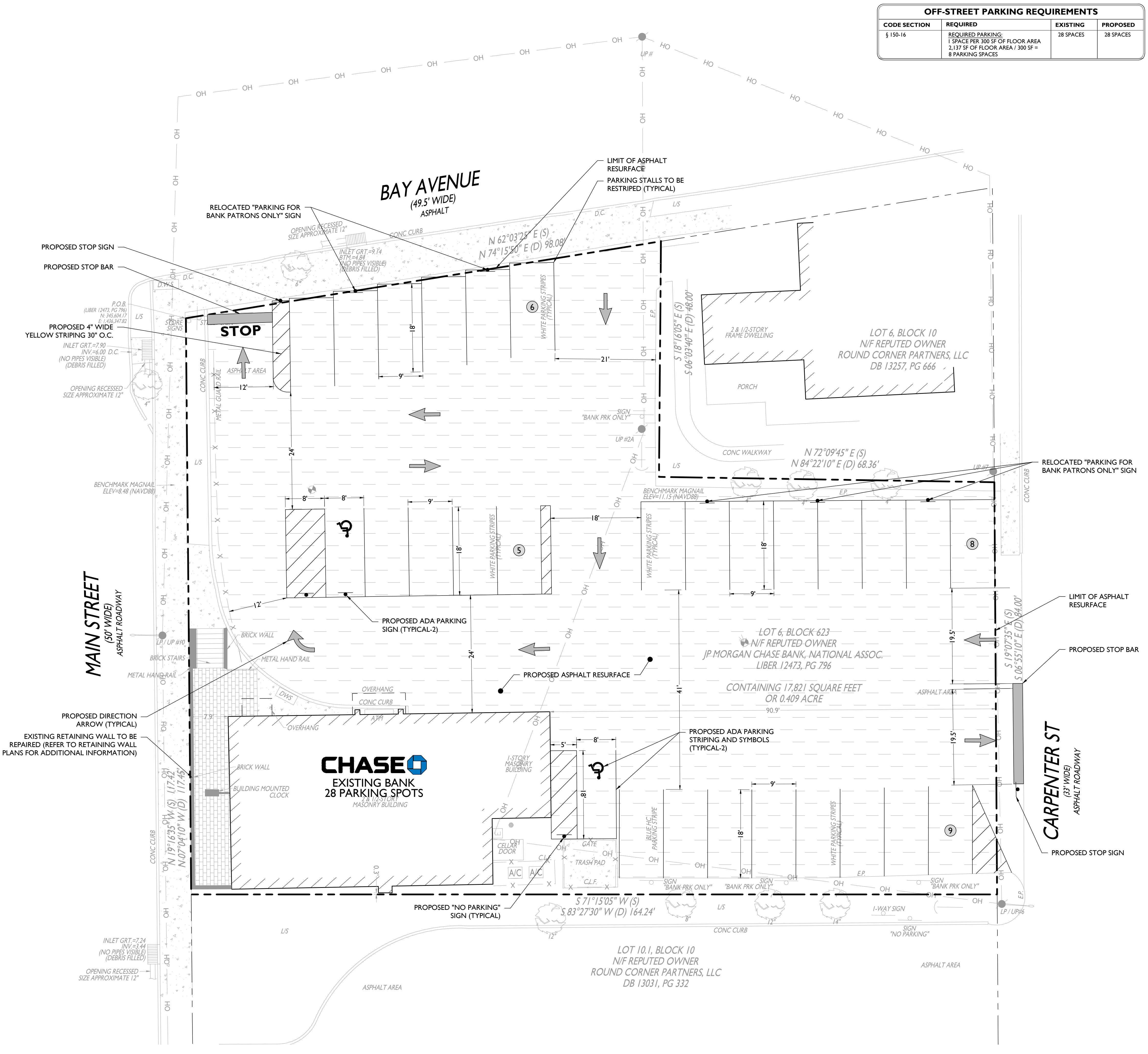
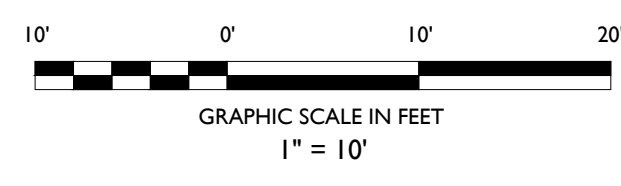
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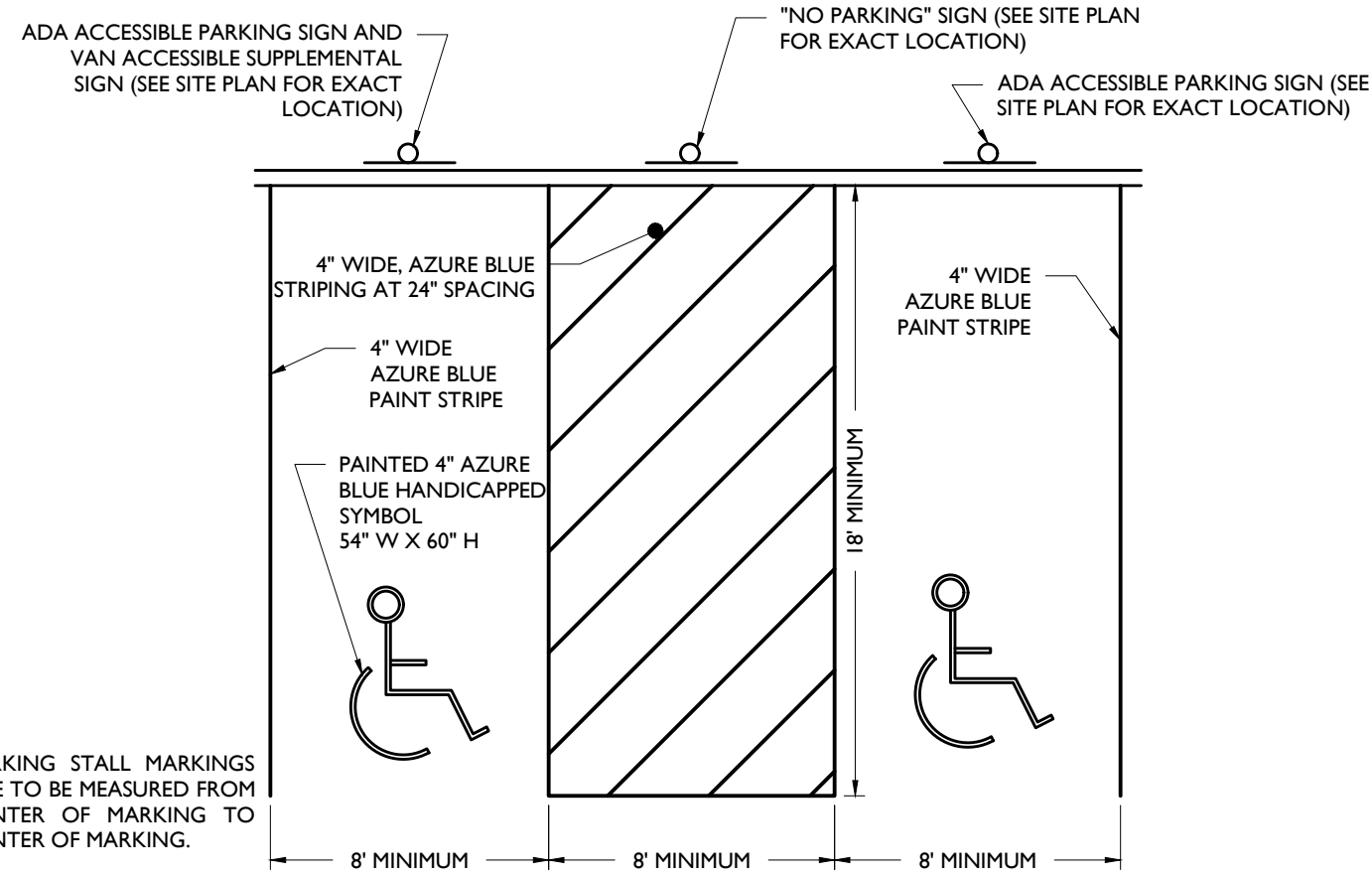
TITLE: **SITE PLAN**

DRAWING: **C-4**

- GENERAL NOTES**
- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
  - THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
  - ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC, AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
  - THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
  - THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
  - THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
  - THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
  - CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
  - THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
  - THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
  - THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
  - SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC, BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.



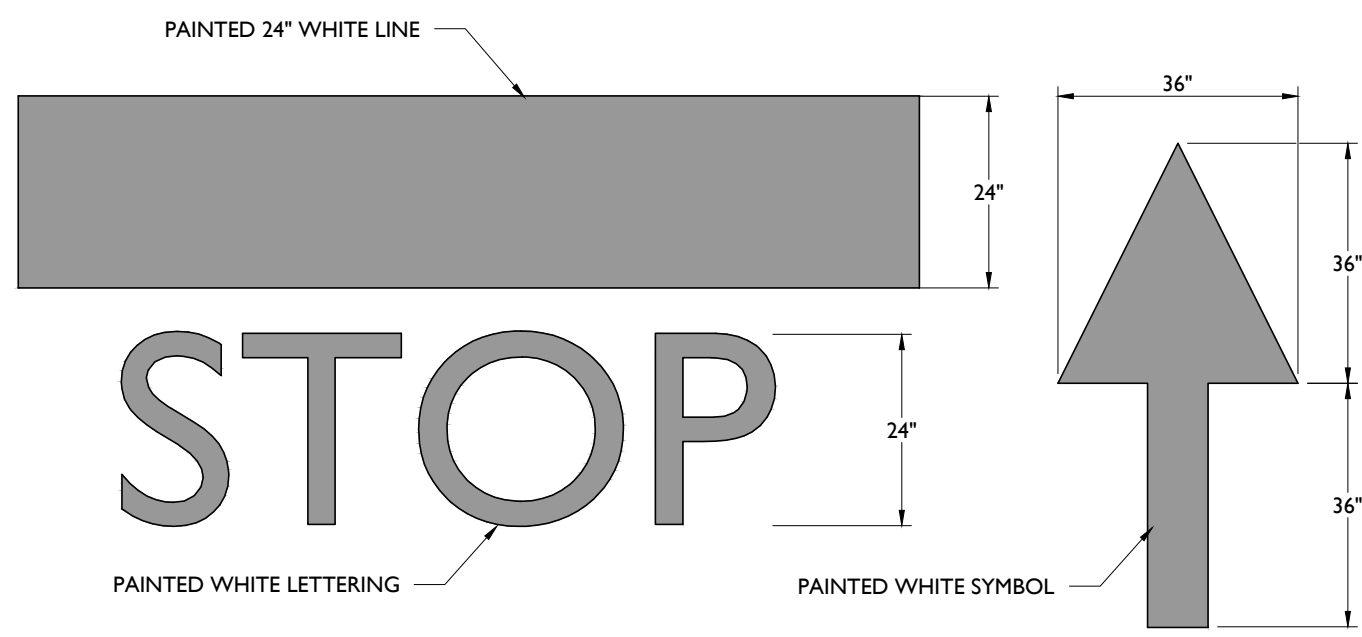
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### ACCESSIBLE PARKING STALL MARKINGS

NOT TO SCALE

1



### STOP BAR & ARROW DETAILS

NOT TO SCALE

2

M.U.T.C.D. NUMBER	TEXT	COLOR		SIZE OF SIGN (WIDTH X HEIGHT)	TYPE OF MOUNT
		LEGEND	BACKGROUND		
STOP SIGN (R1-1)		WHITE	RED	36"x36"	GROUND

- NOTE:
- ALL SIGNS SHALL BE IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), EXCEPT AS NOTED.
  - ALL SIGNS SHALL BE MOUNTED AS TO NOT OBSTRUCT THE SHAPE OF "STOP" (R1-1) AND "YIELD" (R1-2) SIGNS.

### SIGN DATA TABLE

NOT TO SCALE

3

### GENERAL NOTES

- THE CONTRACTOR SHOULD FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND PROPOSED SITE WORK (DIMENSIONS, LAYOUT, ETC) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY EXISTING SITE CONDITION DIFFER FROM THAT IDENTIFIED HEREIN, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING IMMEDIATELY PRIOR TO THE START OF CONSTRUCTION.
- ALL CONTRACTORS WILL TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING, LLC AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
- THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING.
- THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
- ALL CONCRETE WORK SHALL CONFORM TO ACI BEST PRACTICES FOR APPROPRIATE TEMPERATURE AND WEATHER CONDITIONS.
- THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
- THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD WILL REVIEW IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
- THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AND COMPLIANCE WITH LOCAL, STATE, AND FEDERAL AIR QUALITY STANDARDS.
- THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
- SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING AND DESIGN LLC BE PRESENT ON-SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.

### DEMOLITION NOTES

- THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN IN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED.
- THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE OTHER SITE PLAN AND GEOTECHNICAL DOCUMENTS AND ASSOCIATED REPORTS INCLUDING ALL DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE IMPROVEMENTS.
- THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
- THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AND COMPLIANCE WITH LOCAL, STATE, AND FEDERAL AIR QUALITY STANDARDS.
- ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODES.
- CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CAPPED, ABANDONED, OR RELOCATED BASED ON THE DEMOLITION REQUIRED IN THIS PLAN SET. THIS DOCUMENT SHALL BE PROVIDED TO THE OWNER FOLLOWING THE SITE PLAN IMPROVEMENTS.

### GRADING NOTES

- ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. GROUNDWATER DE-WATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL THE MATERIAL BROUGHT TO THE SITE.
- THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES, INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES, TO ENSURE THE STRUCTURAL INTEGRITY OF SURROUNDING STRUCTURES AND STABILITY OF SOILS.
- PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4" TO 7" ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. CONTRACTOR TO SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
- MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:  
CURB GUTTER: 0.50%  
CONCRETE SURFACES: 1.00%  
ASPHALT SURFACES: 1.00%
- ELEVATIONS ON RETAINING WALLS ARE FOR THE EXPOSED PORTION OF THE WALL AND DOES NOT INCLUDE THE FOOTING ELEVATION. FOOTING ELEVATIONS SHALL BE DETERMINED BY THE WALL DESIGNER LICENSED IN THE STATE UPON WHICH THE WORK OCCURS.
- POSITIVE DRAINAGE OF 1% MINIMUM SLOPE SHALL BE PROVIDED AWAY FROM ALL BUILDING.

### ADA NOTES

- CONTRACTOR SHALL MAINTAIN A MAXIMUM 2% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
- CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE/FEDERAL GUIDELINES, WHICHEVER IS MORE STRINGENT.
- CONTRACTOR SHALL MAINTAIN A MAXIMUM OF 5% RUNNING SLOPE AND A MAXIMUM OF 1.5% CROSS SLOPE ALONG THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR LOCATION OF THE ACCESSIBLE PATH). THE ACCESSIBLE PATH OF TRAVEL SHALL BE 36" WIDE OR GREATER.
- CONTRACTOR SHALL MAINTAIN A MAXIMUM 2% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, TOP OF ACCESSIBLE RAMP, BOTTOM OF ACCESSIBLE RAMP, BUILDING ENTRANCES, AREA IN FRONT OF WALK UP ATM, AND TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL. THE LANDING AREA SHALL HAVE A CLEAR AREA OF 60" X 60" UNLESS INDICATED OTHERWISE ON THE SITE PLAN.
- CURB RAMPS SHALL HAVE A MAXIMUM SLOPE OF 8.33% IN THE DIRECTION OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10% WHERE A LANDING EXISTS AT THE TOP OF THE RAMP. CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 8.33% WHERE A LANDING IS NOT PROVIDED AT THE TOP OF THE RAMP. CURBS RAMPS SHALL NOT RAISE MORE THAN 6" IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36" WIDE.
- BUILT UP RAMPS WITH A RISE GREATER THAN 6" SHALL CONTAIN HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RAISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
- ALL SURFACES ALONG THE ACCESSIBLE PATH AND PARKING AREAS SHALL BE CONSTRUCTED WITH A SLIP RESISTANT SURFACE.
- CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/2" VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH. WHERE A CHANGE IN LEVEL BETWEEN 1/4" AND 1/2" EXISTS, CONTRACTOR SHALL ENSURE THAT THE TOP 1/4" CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN 1:2.
- OPENINGS (GAPS OR HORIZONTAL SEPARATION) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/4".

### EROSION AND SEDIMENT CONTROL NOTES

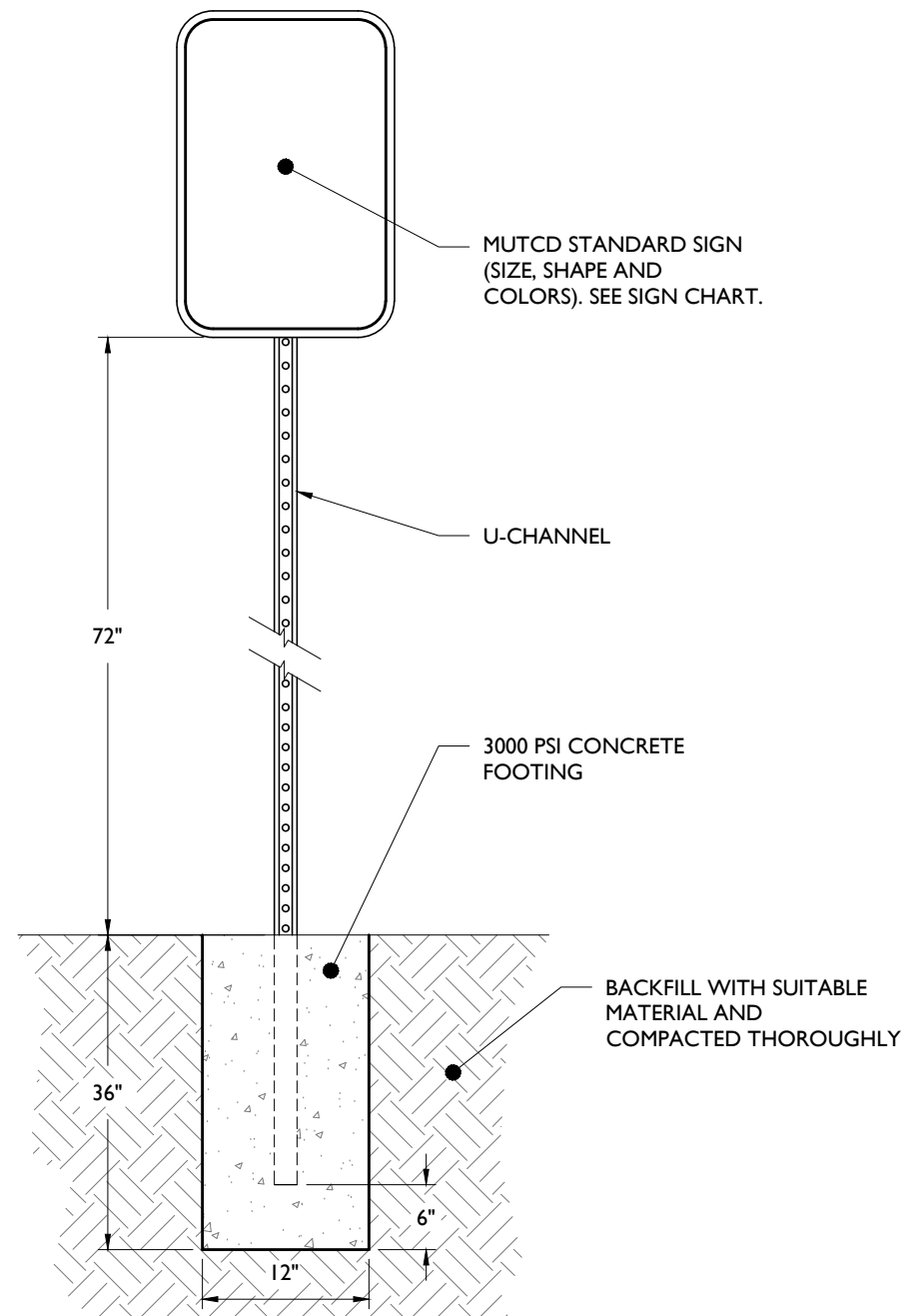
- THE CONTRACTOR IS RESPONSIBLE FOR SOIL EROSION AND SEDIMENT CONTROL IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AND COMPLIANCE WITH LOCAL, STATE, AND FEDERAL AIR QUALITY STANDARDS.

### LANDSCAPING NOTES

- CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS.
- DISTURBED LAWN AREAS SHALL BE RESTORED WITH 4" OF TOPSOIL AND SEED.
- MULCH AREAS SHALL BE RESTORED WITH A MINIMUM OF 3" OF MULCH
- MAX 3:1 SLOPE ALLOWED IN LANDSCAPE RESTORATION AREAS.
- CONTRACTOR REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AREA OF DISTURBANCE PRIOR TO CONSTRUCTION. CONTRACTOR TO RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION WITHIN AREAS OF DISTURBANCE.
- CONTRACTOR TO RE-GRADE DISTURBED LANDSCAPED AREAS TO MEET GRADE AT WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT WHERE A WALL IS NOTED ON PLANS. NO ABRUPT CHANGES IN GRADE PERMITTED IN DISTURBED AREAS.

### UTILITY NOTES

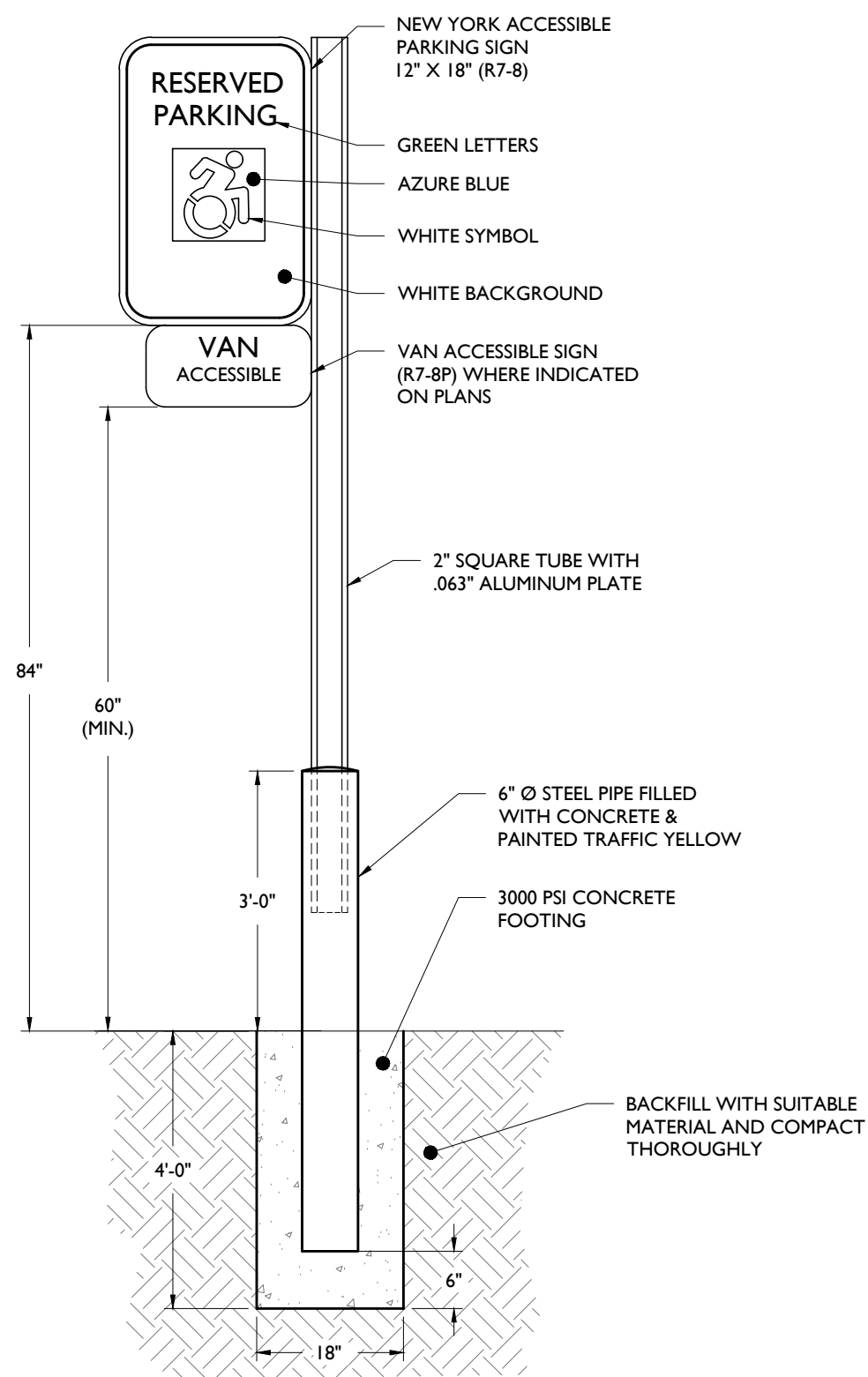
- THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A CONFLICT EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING AND DESIGN LLC IMMEDIATELY IN WRITING.



### SIGN POST DETAIL

NOT TO SCALE

4



- NOTES:
- ALL EXPOSED PAINTED SURFACES SHALL BE COATED WITH MATTHEWS #282-2085P VOC GLOSS CLEAR, WITH MINIMUM 2 MILS DRY FILM THICKNESS (DFT) PER MATTHEWS APPLICATIONS SPECIFICATIONS.
  - EMBEDDED PORTION OF POST SHALL BE PRIMED AND PAINTED FOR CORROSION PROTECTION

### ACCESSIBLE PARKING SIGN DETAIL

NOT TO SCALE

5

NOT APPROVED FOR CONSTRUCTION

**STONEFIELD**  
engineering & design

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Princeton, NJ • Tampa, FL • Birmingham, MI  
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584 Broadway, Suite 310, New York, NY 10012  
Phone 718.606.8305

PARKING LOT IMPROVEMENT PLANS

**CHASED**

PROPOSED SITE IMPROVEMENTS

BLOCK 10, LOT 5  
238 MAIN STREET  
VILLAGE OF GREENPORT  
SUFFOLK COUNTY, NEW YORK

STATE OF NEW YORK

ZACHARY E. CHAMBERS, P.E.  
NEW YORK PROFESSIONAL ENGINEER #9748  
LICENSED PROFESSIONAL ENGINEER

**STONEFIELD**  
engineering & design

SCALE: AS SHOWN PROJECT ID: NYC-240167

TITLE:  
**CONSTRUCTION DETAILS**

DRAWING:  
**C-5**