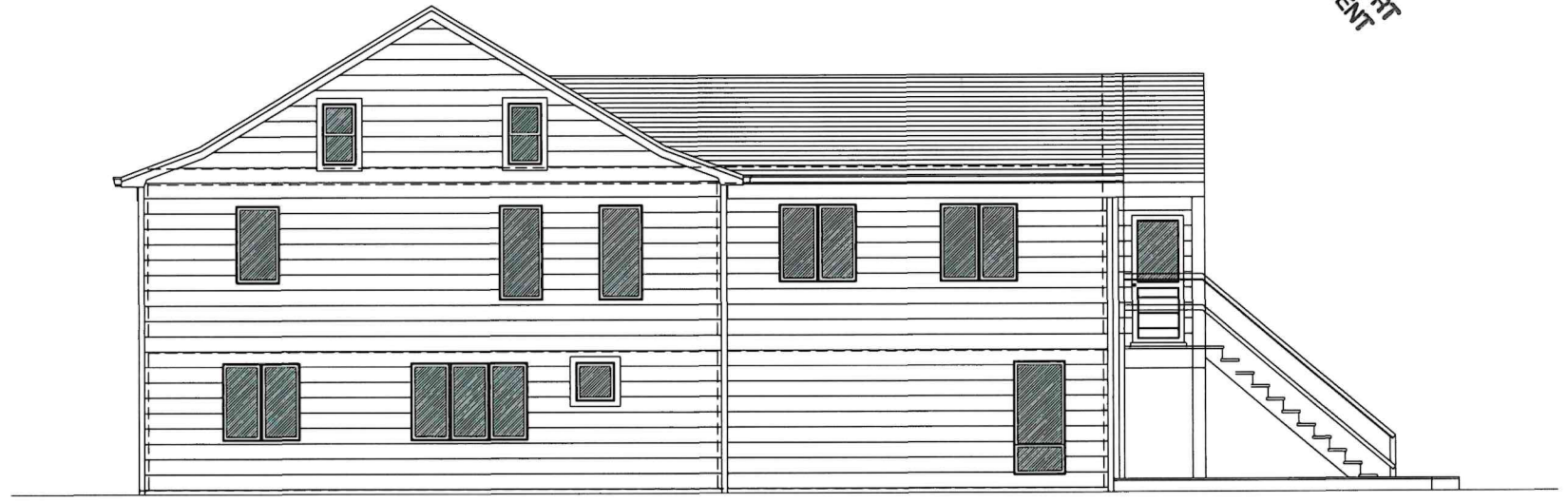


RECEIVED
APR 28 2025
VILLAGE OF GREENPORT
BUILDING DEPARTMENT



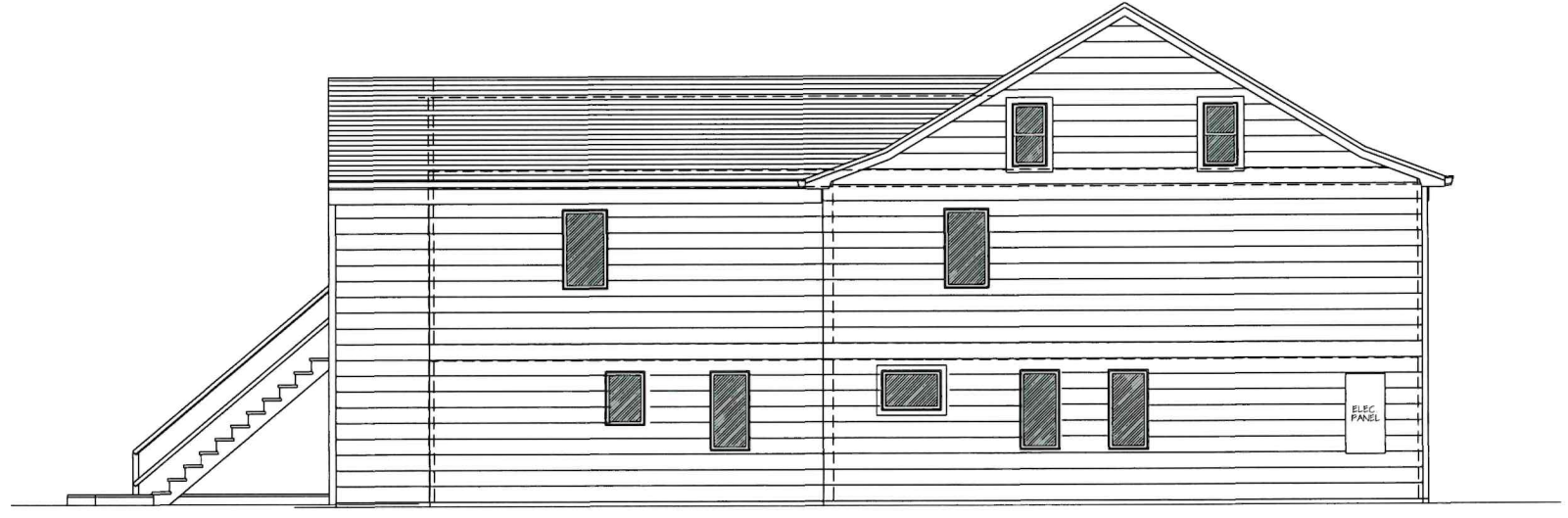
FRONT ELEVATION



RIGHT ELEVATION



FRONT ELEVATION



LEFT ELEVATION

NOTE:
INDICATES BEARING POINT LOAD
THIS LOAD MUST BE TRANSMITTED
W/ ADEQUATE VERTICAL BRACING

NOTE:
CONTRACTOR TO NOTIFY THE ARCHITECT
OF ANY AND ALL REVISIONS DUE TO FIELD
CONDITIONS. CLIENT AND/OR GENERAL
CONTRACTOR WHICH DIFFERS FROM THE
CONSTRUCT. DRAWINGS / SPECIFICATIONS.

OFFICE SET
10.2.24

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE &
ARE THE PROPERTY OF THE ARCHITECT.
NO CHANGES & OR MODIFICATIONS SHALL BE
ALLOWED W/OUT WRITTEN AUTHORIZATION BY THE
ARCHITECT. ANY REPRODUCTION IN PART OR
WHOLE IS STRICTLY PROHIBITED BY LAW.

ARCHITECNOLOGIES
ARCHITECTURE PLANNING CONSTRUCTION SERVICES
625 Calver Neck Road, Suite 100, Great Neck, NY 11021
architect@architecnologies.com

PROPOSED ALTERATION TO:
616 MAIN ST. / McCULLOCH RES.
GREENPORT
NEW YORK

ISSUED	7/18/24	10/18/24	10/18/24
SCALE	1/4" = 1'-0"		
DATE	10/18/24		
DESCRIPTION	EXISTING ELEVATIONS		
DATE	10/18/24		
DESCRIPTION	EXISTING ELEVATIONS		
DATE	10/18/24		
DESCRIPTION	EXISTING ELEVATIONS		

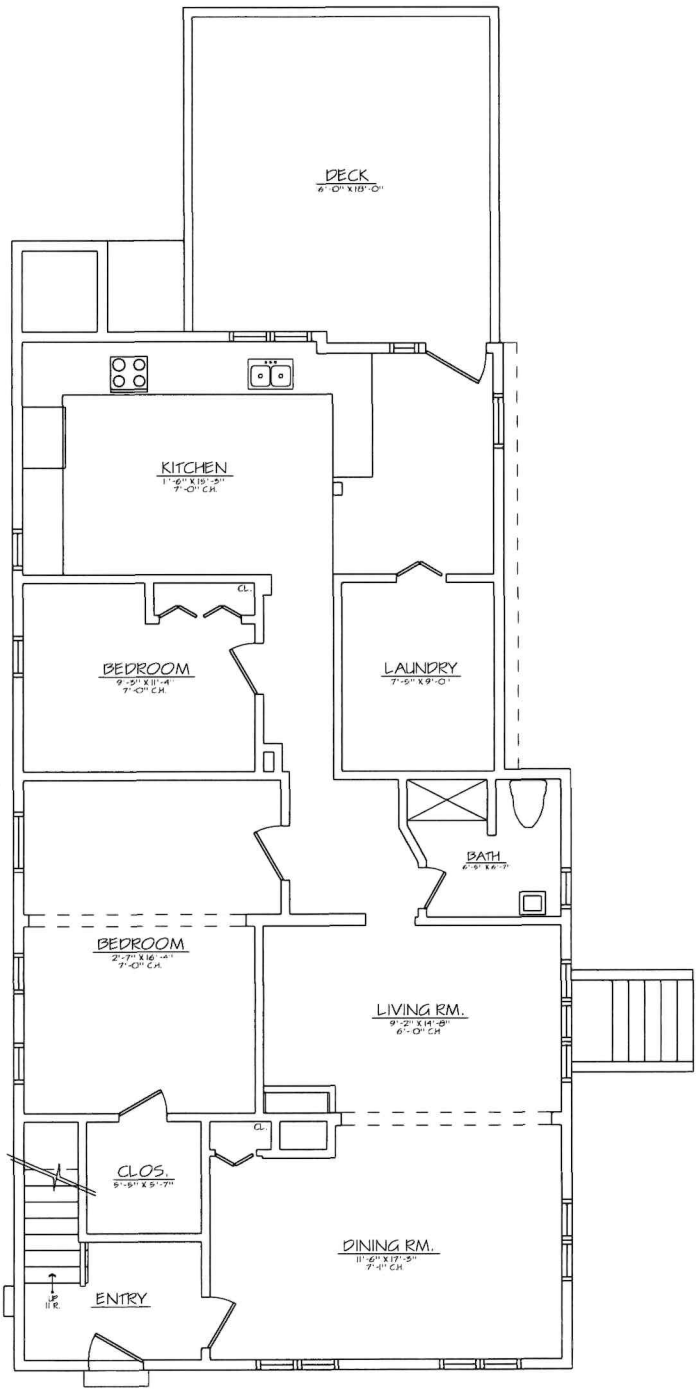
PWG. NO.
A-EX.1

GENERAL NOTES

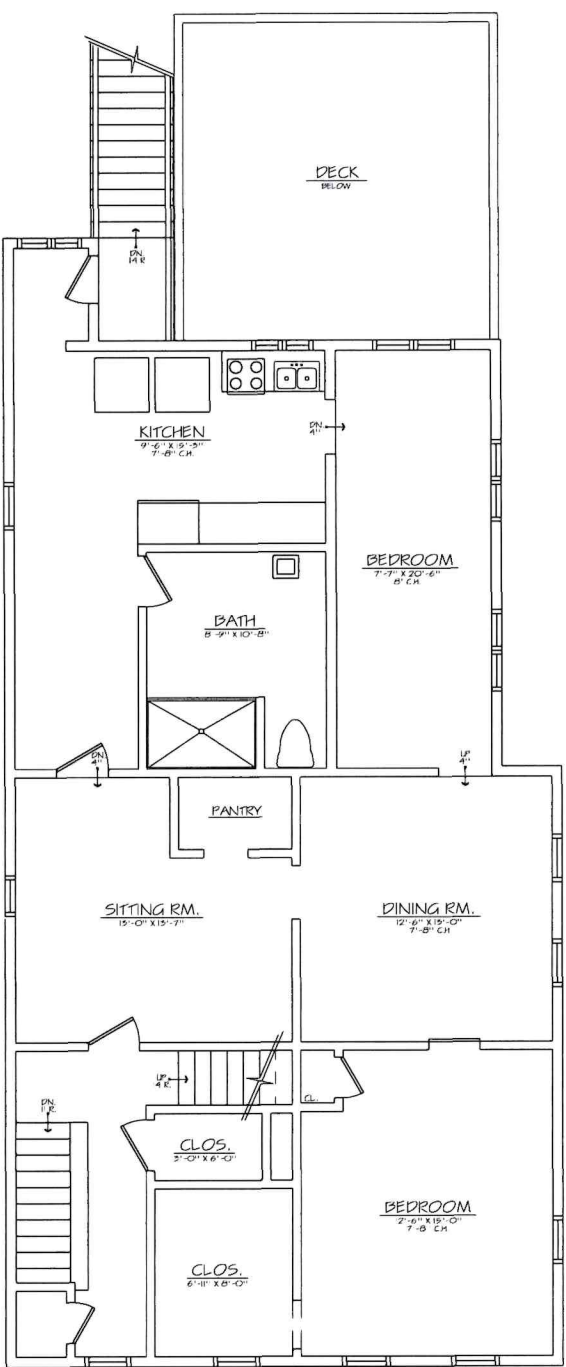
1. ALL WORK PERFORMED SHALL BE IN COMPLIANCE WITH ALL FEDERAL, STATE & LOCAL BUILDING CODES AND ORDINANCES.
2. BEFORE COMMENCEMENT OF WORK, THE GENERAL CONTRACTOR SHALL FURNISH OWNER & ARCHITECT WITH COPIES OF ALL REQUIRED INSURANCE AND WORKER'S COMPENSATION CERTIFICATES INCLUDING NAMES OF ALL SUBCONTRACTORS INVOLVED IN THE CONSTRUCTION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DIMENSIONS & CONDITIONS ON THE JOB. THE ARCHITECT SHALL BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS SHOWN.
4. THE CONTRACTOR SHALL SUPPLY ALL LABOR AND MATERIAL SHOWN ON THE DRAWINGS UNLESS OTHERWISE NOTED.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING & PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, DRAINAGE, COLLAPSE, DISTORTION & MISALIGNMENT ACCORDING TO ALL APPLICABLE STATE AND LOCAL CODES.
6. THE GEN'L CONTRACTOR SHALL PAY FOR ALL PERMITS, FEES, & COSTS RELATED TO THE WORK OF THIS CONTRACT. THE GENERAL CONTRACTOR SHALL INITIATE ALL REQUIRED INSPECTIONS OF ALL WORK COMPLETED UNDER THIS CONTRACT UNLESS OTHERWISE NOTED.
7. THE SUB-CONTRACTORS SHALL AT ALL TIMES KEEP THE PREMISES CLEAN AND ARE RESPONSIBLE FOR REMOVAL OF ALL RUBBISH CREATED BY THEIR INDIVIDUAL TRADES U.O.N.
8. ANY "EXTRAS" FOR ANY AND ALL FIELD CONDITIONS/ SUBSTANTIAL CHANGES SHALL BE DOCUMENTED WITH THE COST ESTIMATE & APPROVED BY OWNER AND/OR HIS AGENT BEFORE STARTING THE ADDITIONAL WORK.
9. DOUBLE FLOOR JOISTS ARE TO BE INSTALLED UNDER ALL WALL PARTITIONS RUNNING PARALLEL TO THE FRAMING. PROVIDE DOUBLE FLOOR JOISTS AT ALL OPENINGS. REFER TO CONSTRUCTION DWG'S FOR SIZES.
10. ALL FRAMING LUMBER TO BE DOUGLAS FIR #2 CONSP. GRADE OR E.O.
11. ALL EXTERIOR STRAPPING TO THE ABOVE OR BENEATH EXTERIOR SHEATHING.
12. THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ALL SPECIAL WORK SUCH AS BUT NOT LIMITED TO: WALLWORK, SPRINKLER SYSTEMS AND STEEL WORK. ALL SHOP DRAWINGS NEED THE APPROVAL OF THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.

NOTE

PER REQUIREMENTS BY THE NEW YORK STATE RESIDENTIAL CONSTRUCTION CODE, WE CERTIFY THAT THE DESIGN CRITERIA IS DONE PER PRESCRIPTIVE DESIGN. ALL OF THE LOAD CALCULATIONS & STRUCTURAL PLANS COMPLY WITH ALL OF NEW YORK STATE CONSTRUCTION CODE BASED ON S.A.R.P.A.2.



FIRST FLOOR PLAN



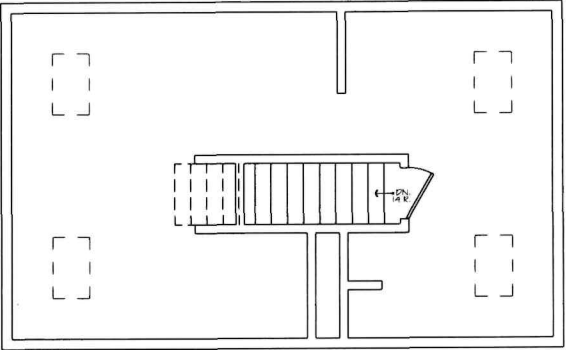
SECOND FLOOR PLAN

ELECTRICAL LEGEND

NOTE: ALL ELECTRICAL WORK TO BE IN ACCORDANCE WITH THE RULES & REGULATIONS OF THE N.Y.S.P.U. AND A CERTIFICATE FROM THE N.Y.S.P.U. IS TO BE PRESENTED TO THE OWNER AT THE COMPLETION OF THE JOB.
THE OWNER SHALL PROVIDE ALL SURFACE MOUNTED LIGHT FIXTURES. ALL OTHER ELECTRICAL EQUIP. TO BE SUPPLIED BY ELECTRICAL CONTRACTOR.
ALL SWITCHES AND RECEPTACLES TO BE "LUTRON" "DECORATOR" COLOR T.B.D. RECESSED DOWNLIGHTS TO BE "LIGHTOLIER" OR APP. EQ. TRIM - WHITE R/T
NOTE: CONTRACTOR SHALL PROVIDE DIMMER SWITCHES FOR ALL RECESS. DOWNLIGHTS. VERIFY LOCATIONS OF ALL ELEC. DEVICES WITH CLIENT.

- ⊕ DUPLEX ELECTRICAL RECEPTACLE
- ⊕⊕ DOUBLE DUPLEX ELECTRICAL RECEPTACLE
- ⊕⊕⊕ DUPLEX SEPARATE CIRCUIT RECEPTACLE
- ⊕⊕⊕⊕ DUPLEX RECEPTACLE / GROUND FAULT INTERRUPT
- ⊕ WALL SWITCH
- ⊕⊕ 3-WAY WALL SWITCH
- ⊕⊕⊕ 4-WAY WALL SWITCH
- ⊕⊕⊕ RECESSED DOOR ACTIVATED SWITCH
- ⊕⊕⊕ RECESSED DOWNLIGHT (100W) "LIGHTOLIER" OR APP. EQ.
- ⊕⊕⊕ EXTERIOR RECESSED DOWNLIGHT (100W) "LIGHTOLIER" OR APP. EQ.
- ⊕⊕⊕ CEILING MOUNTED JUNCTION BOX
- ⊕⊕⊕ WALL MOUNTED JUNCTION BOX
- ⊕⊕⊕ WALL MOUNTED DUAL SPOTLIGHT
- ⊕⊕⊕ NEW CEILING MOUNTED JUNCTION BOX FOR SURFACE FAN/LIGHT WITH DUAL SWITCH AT WALL. FIXTURE TO BE SUPPLIED BY OWNER.
- ⊕⊕⊕ NEW CEILING MOUNTED JUNCTION BOX FOR RECESSED EXHAUST FAN/LIGHT WITH DUAL SWITCH AT WALL. "PRECOR" HEAVY DUTY UNIT OR APP. EQUAL.
- ⊕⊕⊕ NEW CABLE TV RECEPTACLE (TO BE WIRED TO CENT. CONTROL BOX)
- ⊕⊕⊕ NEW STRUCTURED CABLE (TO BE WIRED TO CENT. CONTROL BOX)
- ⊕⊕⊕ SMOKE / CARBON MONOXIDE DETECTOR TO BE WIRED TO CENTRAL CONTROL BOX.
- ⊕⊕⊕ NEW DOORBELL

NOTE: ALL OUTLETS IN GARAGE AREA TO BE ON A S.C.



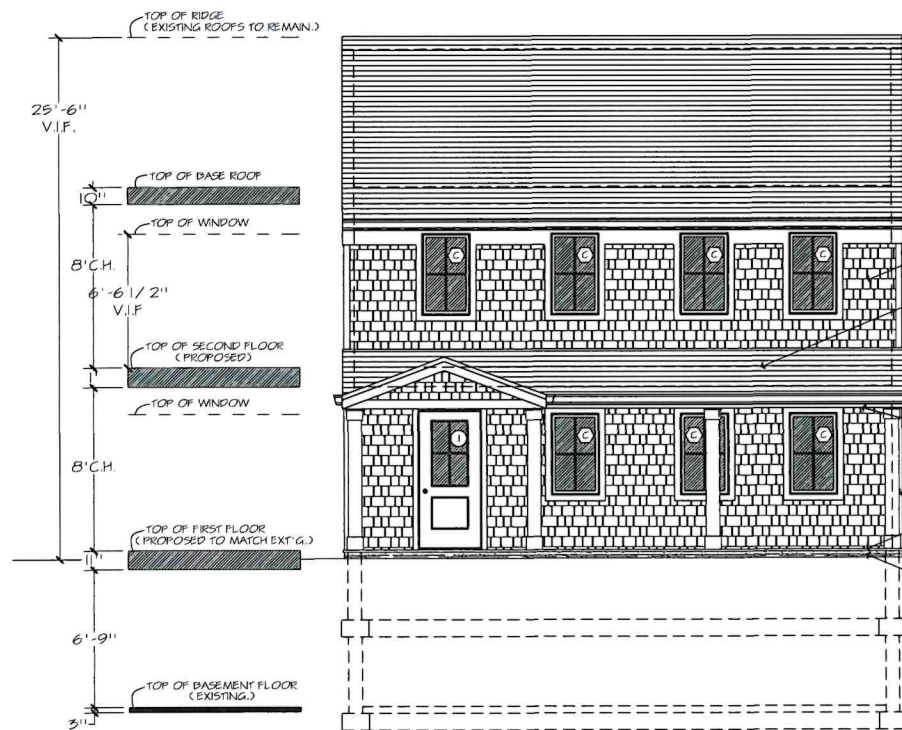
ATTIC FLOOR PLAN

NOTE:
⊕ INDICATES BEARING POINT LOAD. THIS LOAD MUST BE TRANSFERRED W/ ADEQUATE VERTICAL BRACING.
NOTE: CONTRACTOR TO NOTIFY THE ARCHITECT OF ANY AND ALL REVISIONS DUE TO FIELD CONDITIONS. CLIENT AND/OR GENERAL CONTRACTOR WHICH DIFFERS FROM THE CONSTRUCT. DRAWINGS/ SPECIFICATIONS.

OFFICE SET
10.2.24
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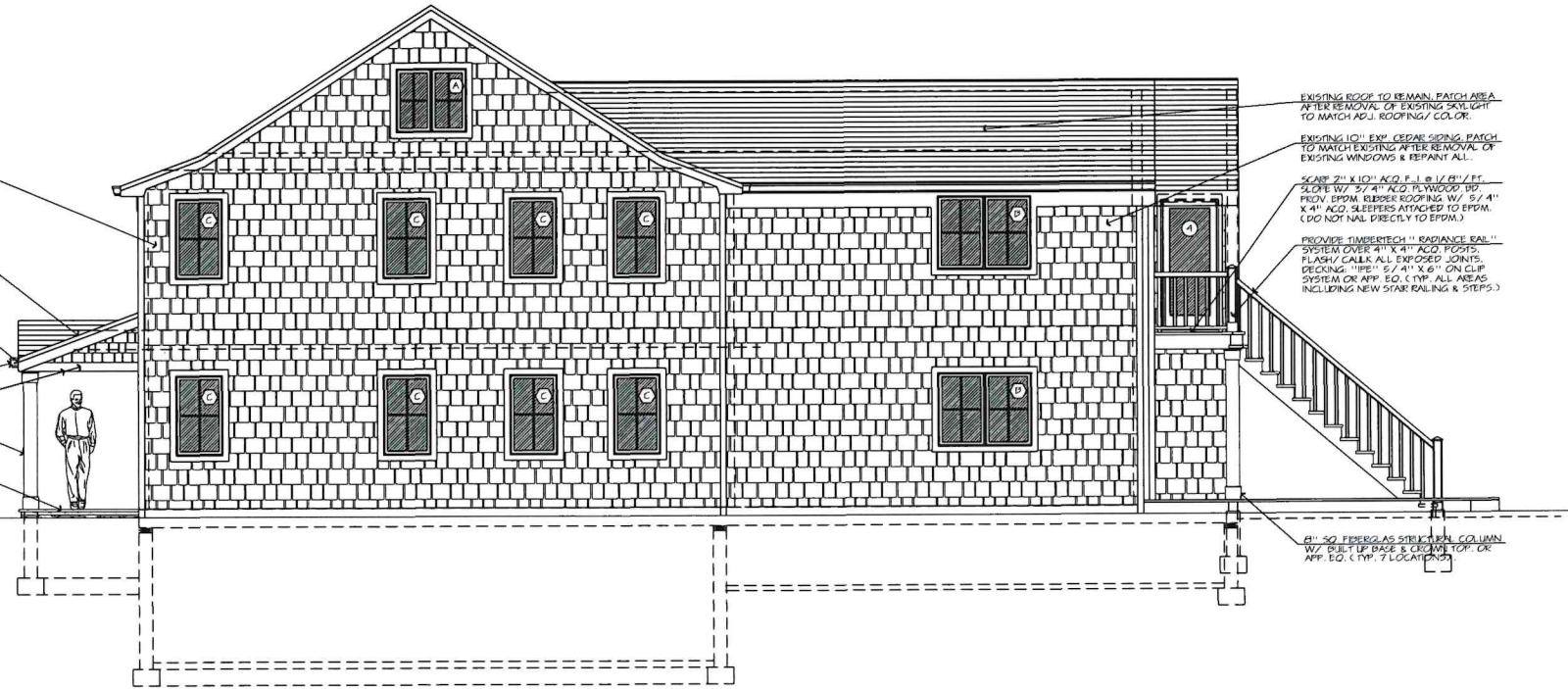
PROV. CUSTOM E.P.D.M. SHOWER PAN ALL NEW SHOWERS.
PREPARE FOR NEW CERAMIC TILE (TYPICAL ALL SHOWERS).

ISSUED:	ISSUED TO CLIENT FOR REVIEW.	ISSUED TO GREENPORT BUILDING DEPARTMENT FOR REVIEW.
7/18/24	10/18/24	
SCALE:	1/4" = 1'-0"	
DWG. NAME:	EXISTING FIRST, SECOND & ATTIC FLOOR PLANS	
DWG. NO.:	A-EX	

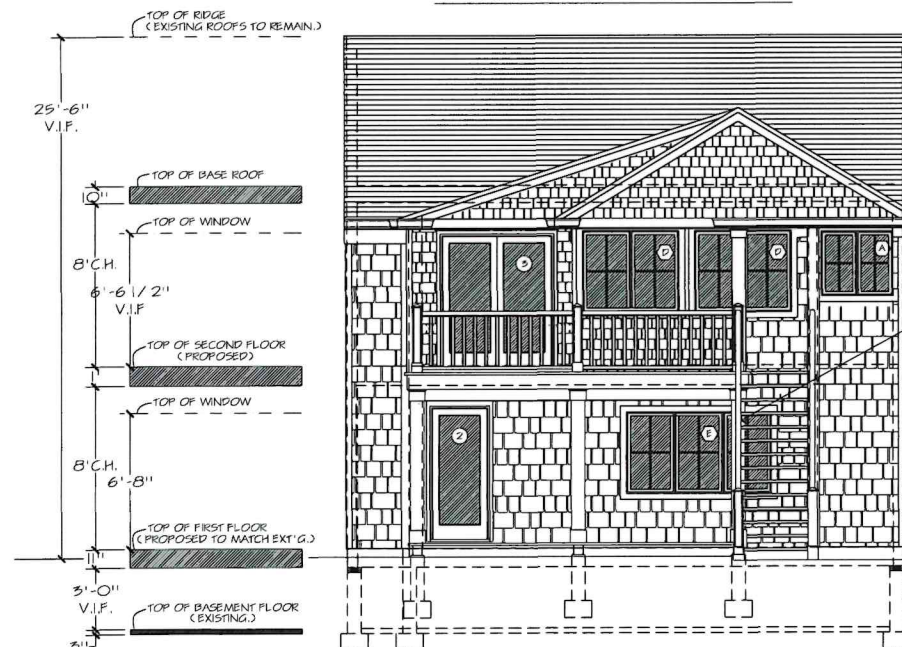


FRONT ELEVATION

EXISTING 10" EXP. CEDAR SIDING PATCH TO MATCH EXISTING AFTER REMOVAL OF EXISTING WINDOWS & REPAINT ALL.
EXISTING 10" EXP. CEDAR SIDING PATCH TO MATCH EXISTING AFTER REMOVAL OF EXISTING WINDOWS & REPAINT ALL.
PROV. 1/2" GAP LIFETIME ASPHALT ROOF SHINGLES (PORCH ROOF) OVER 1/2" FELT U.O.N. (COLOR TO MATCH EXT'G.)
PROV. "WEATHERWATCH" UNDERLAY ALONG ENTIRE BOTTOM EDGE OF ROOF UP 3'-0" (TYPICAL ALL ROOF AREAS)
PROV. CLF 2" X 10" SUB-FASCIA WITH 5/4" X 10" "VERBATEX" FASCIA BD. FILL ALL NAIL HOLES & APPLY 2 COATS "BENJAMIN MOORE" PAINT OR APP. EQ. (TYP. EXPOSED SIDES)
6" WHITE HALF ROUND ALUMINUM GUTTER & LEADERS U.O.N. (TYPICAL ALL AREAS)
PROV. "VERBATEX" DECK BOARD SOFFIT & 5/4" X 8" FASCIA TRIM (CONTINUOUS)
4" SO FIBERGLAS STRUCTURAL COLUMN W/ BUILT UP BASE & CROWN TOP. OR APP. EQ. (TYP. 7 LOCATIONS)
PROV. 2" THK. BLUE SLATE PORCH DECK SURFACE OVER 3" P. CONC. SLAB. U.O.N. (COLOR TO BE DETERMINED.)
PROV. CULTURED STONE FA ALL SIDES STYLE "TARTAN" BY "COLORADO STONE" OR APP. EQ., COLOR T.B.D.

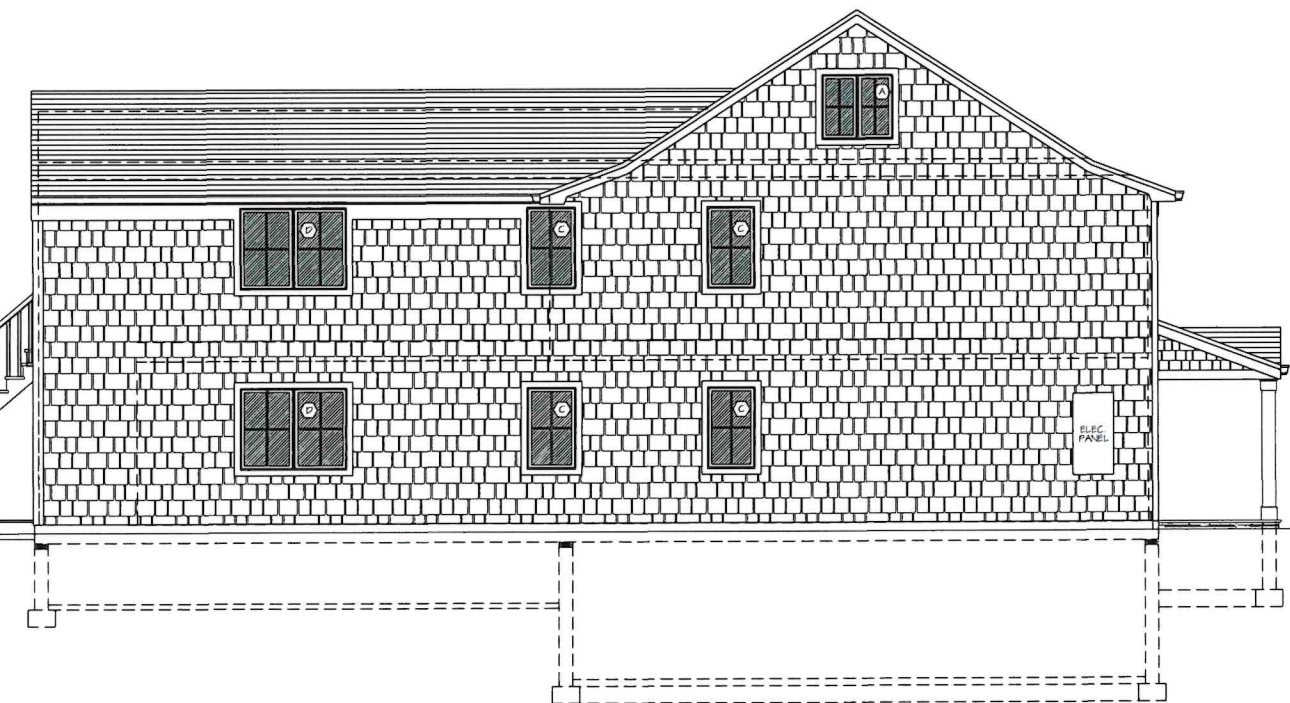


RIGHT ELEVATION



FRONT ELEVATION

PROV. CLF 2" X 10" SUB-FASCIA WITH 5/4" X 10" "VERBATEX" FASCIA BD. FILL ALL NAIL HOLES & APPLY 2 COATS "BENJAMIN MOORE" PAINT OR APP. EQ. (TYP. EXPOSED SIDES)
6" WHITE HALF ROUND ALUMINUM GUTTER & LEADERS U.O.N. (TYPICAL ALL AREAS)
PROV. CONT. 5/4" X 12" "VERBATEX" SOFFIT W/ SCREENED 1" VENT (V.I.F.) (TYPICAL ALL AREAS)
PROVIDE "IMBERTECH" RADIANCE RAIL SYSTEM OVER 4" X 4" ACQ. POSTS. FLASH/ CALK ALL EXPOSED JOINTS. DECKING: 1" P.L. 5/4" X 6" ON CLIP SYSTEM OR APP. EQ. (TYP. ALL AREAS INCLUDING NEW STAIR RAILING & STEPS.)



RIGHT ELEVATION

NOTE:
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NOTE:
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OFFICE SET
10.2.24

ARCHITECTONOLGIES

ARCHITECTURE PLANNING CONSTRUCTION SERVICES

Seaboard, New York 11971

6756 Cedar Neck Road

631.6413.3521

architectonologies@earthlink.net

PROPOSED ALTERATION TO:

616 MAIN ST. / McCULLOCH RES.

GREENPORT NEW YORK

ISSUED:

7.10.24

ISSUED TO CLIENT FOR REVIEW.

10.19.24

ISSUED TO GREENPORT BUILDING DEPARTMENT FOR REVIEW

10.19.24

SCALE:

1/4" = 1'-0"

DWG. NAME:

PROPOSED FRONT, LEFT, RIGHT & REAR ELEVATIONS

DWG. NO.:

A-3

GENERAL NOTES

- ALL WORK PERFORMED SHALL BE IN COMPLIANCE WITH ALL FEDERAL, STATE & LOCAL BUILDING CODES AND ORDINANCES.
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- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DIMENSIONS & CONDITIONS ON THE JOB. THE ARCHITECT MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS SHOWN.
- THE CONTRACTOR SHALL SUPPLY ALL LABOR AND MATERIAL SHOWN ON THE DRAWINGS UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING & PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTION & MISALIGNMENT ACCORDING TO ALL APPLICABLE STATE AND LOCAL CODES.
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- DOUBLE FLOOR JOISTS ARE TO BE INSTALLED UNDER ALL WALL PARTITIONS RUNNING PARALLEL TO THE FRAMING. PROVIDE DOUBLE FLOOR JOISTS AT ALL OPENINGS. REFER TO CONSTRUCTION DWG'S FOR SIZES.
- ALL FRAMING LUMBER TO BE DOUGLAS FIR #2 CONIST. GRADE OR EQ.
- ALL EXTERIOR STRAPPING TO BE ABOVE OR BENEATH EXTERIOR SHEATHING.
- THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ALL SPECIAL WORK SUCH AS BUT NOT LIMITED TO: MILLWORK, SPRINKLER SYSTEMS AND STEEL WORK. ALL SHOP DRAWINGS NEED THE APPROVAL OF THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.

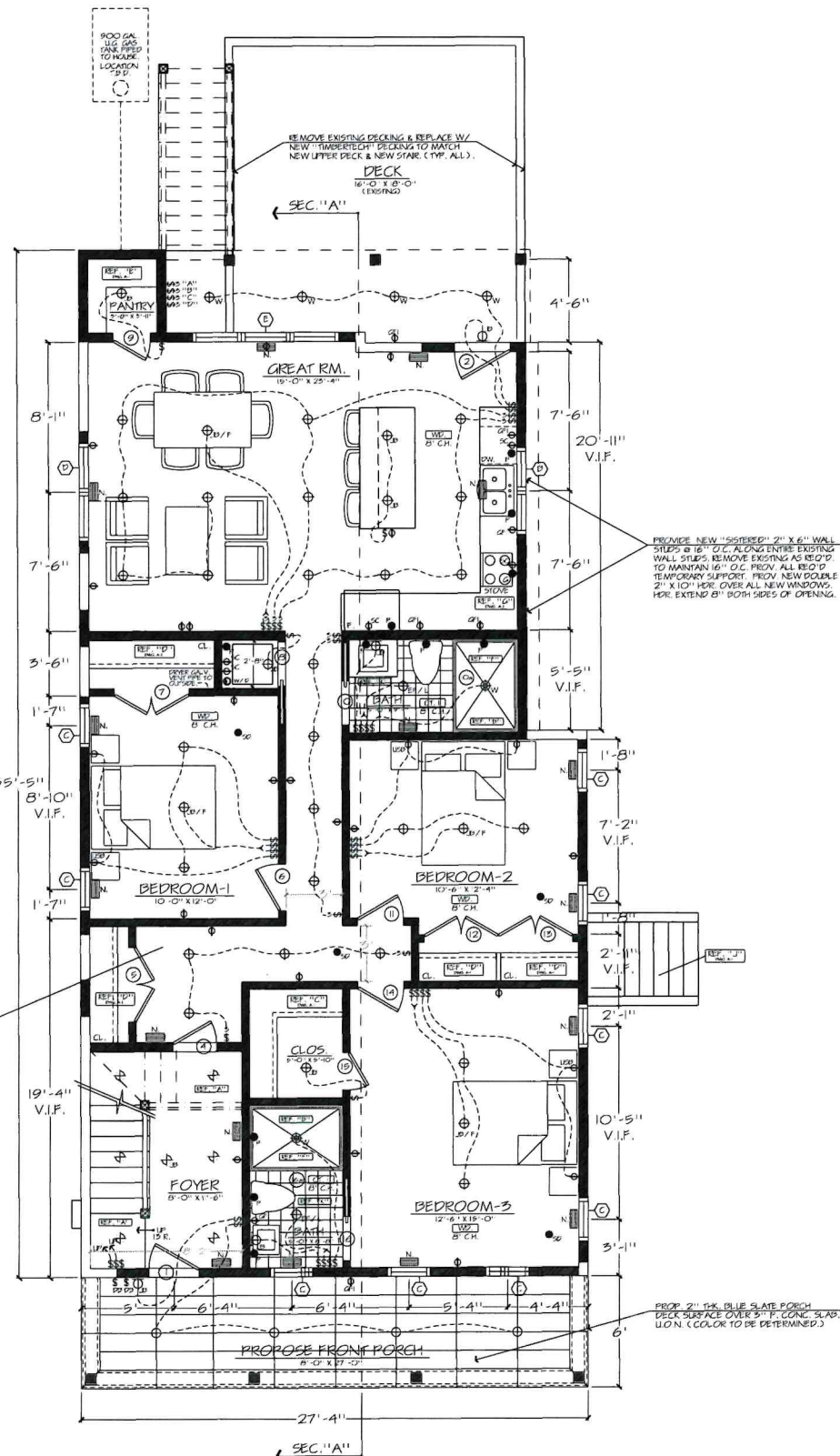
NOTE

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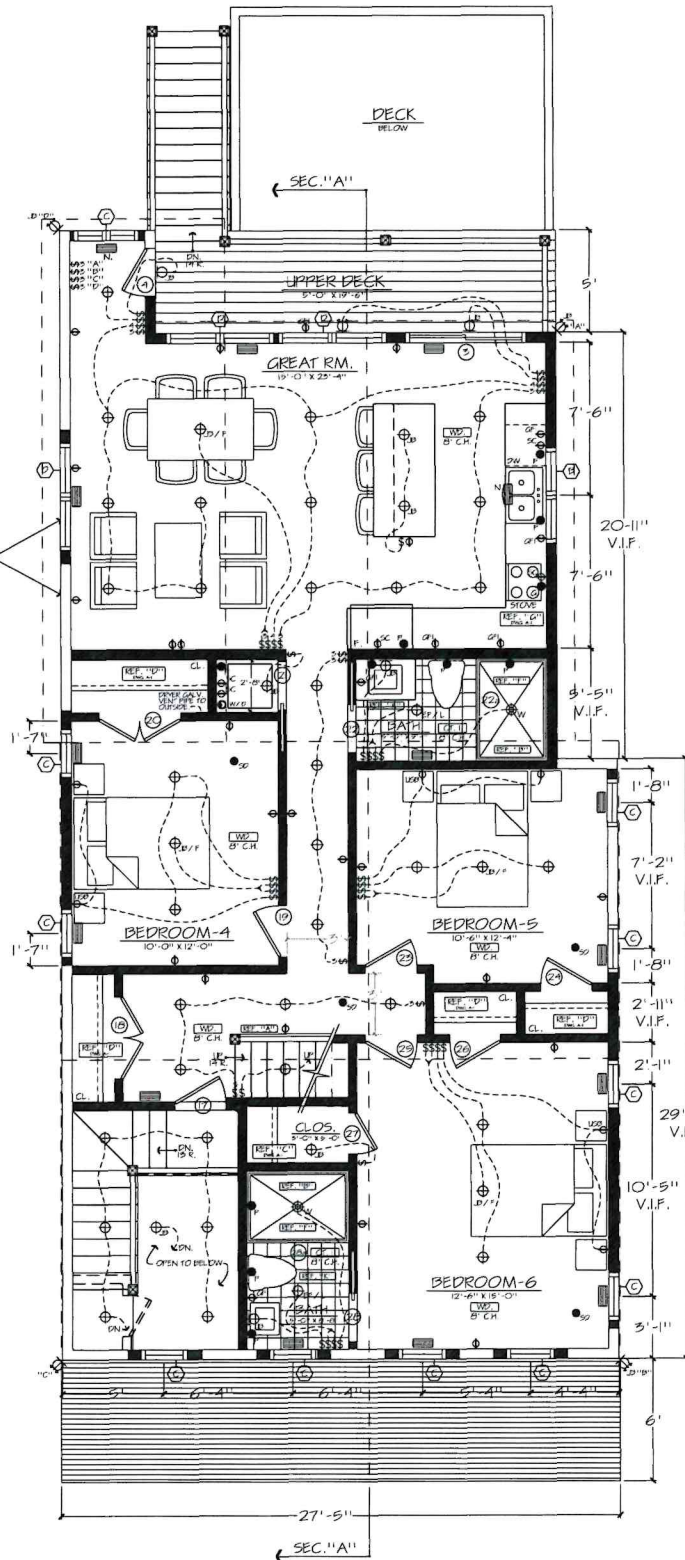
REFERENCE NOTES:

- PROVIDE NEW WOOD STAIR, BONED CLEAR PINE RISERS W/ RED OAK TREADS. FORMED CUSTOM RAILINGS/ SPINDLES TO REPLACE LOW DRYPWALL WALL ABOVE. PROV. 2 COATS OF PAINT FOR NUBRANE ALL EXPOSED SURFACES.
- PROVIDE CUSTOM 1/2" THK. (TEMPERED) SHOWER GLASS PANEL & DOOR WITH CUSTOM BRUSHED BRASS HANDLE AND HARDWARE. (6-6" H.) ON 5" W. MARBLE SADDLE.
- PROV. ALLOWANCE FOR 5 CUSTOM BUILT-IN WALL UNITS TO CLG. VENEER TO BE STAINED WALNUT OR APP. EQ. ON ALL EXPOSED SURFACES BOTH INTERIOR/ EXTERIOR. INTERIOR TO BE DESIGNED.
- CLOSET INTERIOR TO CONSIST OF CONT. FIXED COAT ROD & SH. UNITS TO BE MADE OF CLEAR PINE PAINTED W/ 3 COATS OF BEN. MOORE SEMI-GLOSS PAINT.
- CLOSET INTERIOR TO CONSIST OF 5 FIXED SHELVES ON RIGHT SIDE (1/2 CLOSET WIDTH). LEFT SIDE TO CONSIST OF CONT. FIXED COAT ROD & FIXED SHELF. UNITS TO BE MADE OF CLEAR PINE PAINTED W/ 3 COATS OF BEN. MOORE SEMI-GLOSS PAINT.
- PROV. CUSTOM E.P.M. SHOWER PAN ALL NEW SHOWERS. PREPARE FOR NEW CERAMIC TILE (TYPICAL ALL SHOWERS.)
- PROV. POL. CHROME O.H. EXHAUST FAN TO BE DUCTED OUTSIDE ADJ. WALL. ALLOW 8" DUCT DUCT FOR UNIT AND DUCTING. PROVIDE 8" DIA. EXHAUST VENT TO EXTERIOR WALL ROOF AREA. (GALVANIZED & SCREENED)
- PROV. PULL-DOWN ATTIC ACCESS STAIR, "BRESSLER" OR APP. EQ.
- PROVIDE PINE RISERS/ KING BASEMENT STAIR WITH FORMED HANDRAIL. (SHIPS LADDER TO FIT FLOOR TO FLOOR HEIGHT-V.I.F.)
- PROVIDE ALLOWANCE FOR 36" H. X 36" W. CABINET W/ PLASTIC LAMINATE TOP & SPACE FOR RECESSED KOHLER VANITY SINK.

NOTE:
ALL FIRST FLOOR CEILINGS WILL HAVE 5/8" FIRE CODE "1" DRYWALL THROUGHOUT PER FIRE CODE FOR 2 FAMILY RESIDENCE.



FIRST FLOOR PLAN



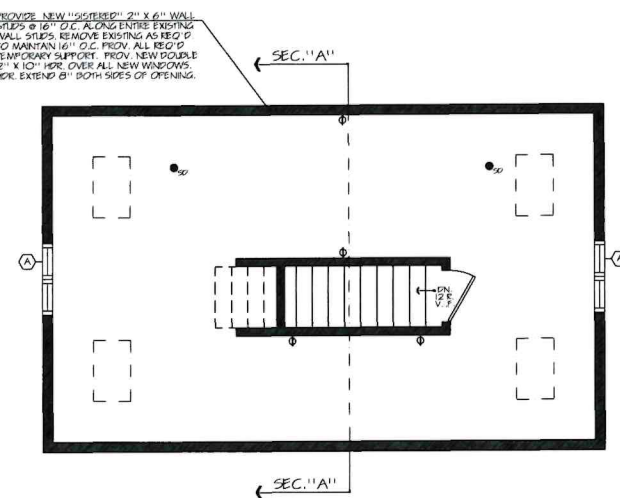
SECOND FLOOR PLAN

ELECTRICAL LEGEND

- ⊕ DUPLEX ELECTRICAL RECEPTACLE
- ⊕⊕ DOUBLE DUPLEX ELECTRICAL RECEPTACLE
- ⊕⊕⊕ DUPLEX SEPARATE CIRCUIT RECEPTACLE
- ⊕⊕⊕ DUPLEX RECEPTACLE / GROUND FAULT INTERRUPT
- ⊕ WALL SWITCH
- ⊕ 3-WAY WALL SWITCH
- ⊕ 4-WAY WALL SWITCH
- ⊕ RECESSED DOOR ACTIVATED SWITCH
- ⊕ RECESSED DOWNLIGHT (100W "LIGHTOLIER" OR APP. EQ.)
- ⊕ EXTERIOR RECESSED DOWNLIGHT (100W "LIGHTOLIER" OR APP. EQ.)
- ⊕ CEILING MOUNTED JUNCTION BOX
- ⊕ WALL MOUNTED JUNCTION BOX
- ⊕ WALL MOUNTED DUAL SPOTLIGHT
- ⊕ NEW CEILING MOUNTED JUNCTION BOX FOR SURFACE FAN/ LIGHT WITH DUAL SWITCH AT WALL. FIXTURE TO BE SUPPLIED BY OWNER.
- ⊕ NEW CEILING MOUNTED JUNCTION BOX FOR RECESSED EXHAUST FAN/ LIGHT WITH DUAL SWITCH AT WALL. "BRIGHT" HEAVY DUTY UNIT OR APP. EQUAL.
- ⊕ SMOKE / CARBON MONOXIDE DETECTOR. TO BE WIRED TO CENTRAL CONTROL BOX.

CONSTRUCTION LEGEND

- REMOVE EXTERIOR/ INTERIOR PARTITION AND PROVIDE TEMPORARY BRACING AS REQUIRED.
- NEW EXTERIOR PARTITION - 2" X 4" WOOD STUD WALL W/ 1/2" ACQ. PLYWOOD EXTERIOR SHEATHING (BLUE SKIN WRAPPED & TAPE'D) W/ 1/2" GYP. BD. ALL EXTERIOR SURFACE W/ R-19 HD INSULATION. PROV. VERTICAL TRIM TO MATCH EXIST. G. SUNKROOM.
- NEW INTERIOR PARTITION - 2" X 4" WOOD STUD WALL W/ 1 LAYER 1/2" GYP. BD. SCHEDULED / FINISHED BOTH SIDES. INTERIOR TRIM - REFER TO TRIM LEGEND.
- ALL EXTERIOR WINDOWS TO BE REPLACED WITH NEW "ANDERSEN 400 SERIES" CASEMENT WINDOWS WITH SIMULATED DIVIDED LITES AS SHOWN ON ELEVATIONS.



ATTIC FLOOR PLAN

NOTE:
INDICATES BEARING POINT LOAD. THIS LOAD MUST BE TRANSFERRED W/ ADEQUATE VERTICAL BRACING.

OFFICE SET
10.2.24

NOTE:
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NOTES

1. PROPOSED FEATURES DRAWN AS PER ARCHITECT
2. FIELD WORK WAS CONDUCTED FEBRUARY, 2025 BY HEIDECKER LAND SURVEYING, PLLC AND ALL MEASUREMENTS WERE TAKEN ON THE GROUND.
3. PROPERTY LINES, BEARINGS, AND NORTH ARROW ARE BASED UPON THE FOLLOWING:
- LIBER 13169—PAGE 162
- FILE MAP NUMBER 9
4. UNDERGROUND UTILITY LINES ARE NOT SHOWN. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL CALL "DIG SAFELY NEW YORK" AT 811 AND HAVE ALL UTILITY LOCATIONS MARKED ON THE GROUND.
5. BUILDING TIES SHOWN ARE BASED UPON THE SIDING OF THE STRUCTURE AND ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY. THEY SHOULD NOT BE USED TO SET PROPERTY LINES, FENCES, BUILDING ADDITIONS, ETC.
6. THIS IS NOT A TITLE SURVEY.
7. THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO ANY STATE OF FACTS A FULL AND CURRENT TITLE REPORT MAY REVEAL.



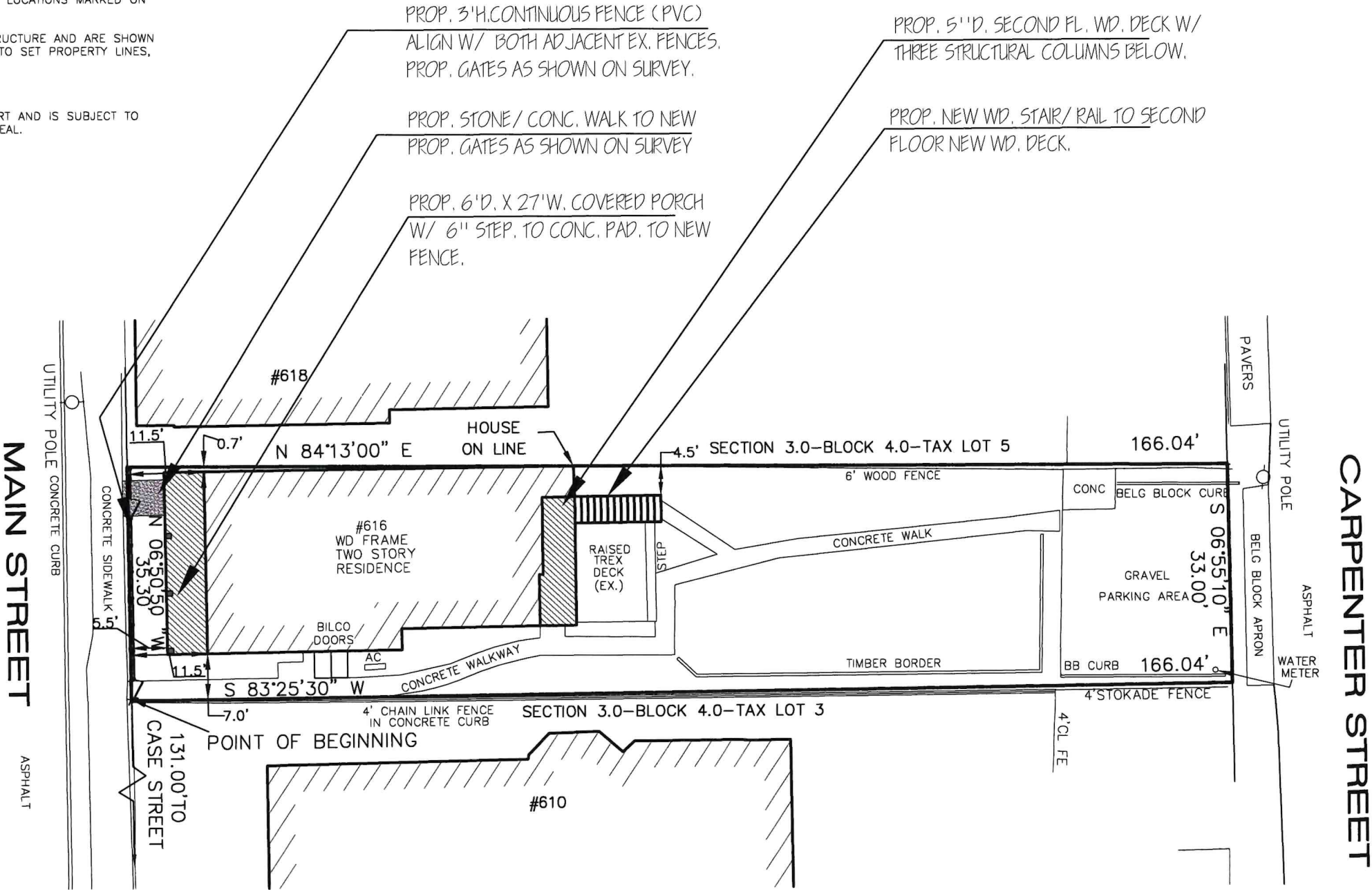
Unauthorized alteration or addition to this survey is a violation of section 7209, subdivision 2, of the New York State Education Law. Copies of this survey map not bearing the land surveyor's inked or embossed seal shall not be considered to be a valid copy.



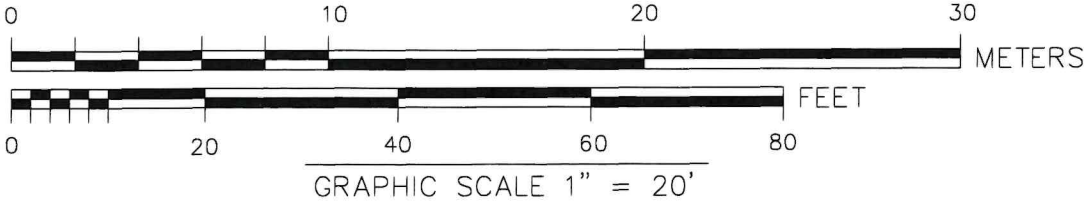
AS PER ARCHITECT-
EXISTING SQ FOOTAGE
1,337 S.F.
HOUSE & PROPOSED PORCH
1,500 S.F.

MAP REFERENCES

MAP ENTITLED "A MAP OF GREENPORT VILLAGE", FILED WITH THE SUFFOLK COUNTY CLERK ON AUGUST 10th, 1838 AS MAP NUMBER 9.



AREA OF LOT = 5671' S.F.
CONC. WALK/SLABS = 566' S.F.
EXIST. & PROP. STRUCTURES = 1840' S.F.
TOTAL COVERAGE = 2406' S.F.(42%)



JOHN GERD HEIDECKER N.Y. STATE LAND SURVEYOR LIC. # 050719

P.O. BOX 135
AQUEBOGUE, NEW YORK 11931
(631)-772-9604
jheidecker@heideckerls.com

SURVEY PREPARED FOR:		<i>ANDREW MCCULLOCH</i>	
DATE:	PLOT PLAN SECTION 03-BLOCK 04-TAX LOT 4 616 MAIN STREET INCORPORATED VILLAGE OF GREENPORT TOWN OF SOUTHOOLD SUFFOLK COUNTY, NEW YORK	SHEET NO.	1 OF 1
FEB 21, 2025		JOB NO.	25HLS10
DRAWN BY: B.D.		CAD FILE:	25HLS10PR.dwg
CHK BY: J.H.			
SCALE: 1"= 20'			

PROPOSED FEATURES AS PER
FRANK NOTARO, RA #021216

REVISION 03/20/2025: TIE DIMENSIONS ADDED