148 Bay Avenue Project Description - UPDATED for ZBA

The proposed project consists of a substantial renovation and expansion to an existing single family residence in the historic district of Greenport Village. The homeowners wish to update, reconfigure, and expand some of the existing floor plan to accommodate their growing family as well as make an existing third floor space a habitable space. All proposed actions will maintain the existing non-conforming setbacks. Proposed changes to the house will meet New York State energy code and environmental resources of the municipality will not be impacted as the home is already connected to existing water and wastewater systems.

The proposed renovation would add a 62 sq ft extension to the northwest side of the house while converting the existing 135 sq ft northwestern side porch into year round habitable space. The proposed renovation would extend a portion of the back of the house by 32 sq ft on the first floor and by 269sqft on the second floor to create one uniform back wall to the house. These first and second floor alterations would add 498 sq ft of additional square footage to the house. The proposed renovation will also create a habitable third floor creating two additional bedrooms, and a bathroom. A fire sprinkler system is proposed for the 3rd floor and its pathway of egress. The existing third floor is 500 sq ft and the renovation of the third floor space does not expand the footprint in any way and does not in any way impact the existing roof, height, or envelope of the single family residence.

As part of the porch conversion and the back wall of the house, new windows and doors would be added to these areas of the single family residence. No other windows and doors would be changed.

Overall, the existing 1446 sq ft footprint of the house would be enlarged 94 sq ft to a 1540 sq ft footprint and the existing lot coverage of 33.6% would increase to 35.7%. The proposed changes would not further infringe on the existing non-compliant setbacks of the property.



Village of Greenport Building Department

236 Third Street, Greenport, New York 11944 OFFICE: 631.477.0248 / FAX: 631.477.1877

NOTICE OF DISAPPROVAL

Date:

November 1, 2021

To:

Bridget & Eric Elkin



PLEASE TAKE NOTICE that your application dated October 15, 2021 - to make alterations to a 3-story building at 148 Bay Avenue - is returned herewith and disapproved on the following grounds:

1. Lot Coverage Requirements.

150-12 District Regulations

One-Family dwelling: Max. lot coverage: 30% (R-2)

The specifications show the proposed lot coverage is 1,540 SF (35.7%). The allowable lot coverage is 1,292 SF (30%). This would require an area variance of 248 SF (5.7%) lot coverage increase.

2. Front Yard Setback Requirements.

150-12 District Regulations

One-Family dwelling: Front Yard Setback: 30-feet. (R-2)

The plans show the front yard setback of 14.7 feet. This would require an area variance of 15.3 feet.

3. Side Yard Setback Requirements.

150-13 E(1) Residence District Regulations

Existing small lots. A lot, owned individually and separately and separated in ownership from any adjoining tracts of land, which has a total lot area or lot width less than, prescribed in this chapter may be used for a one-family residence, provided that such lot shall be developed in conformity with all applicable district regulations.

(1) The total dimensions of both side yards for a principal building shall be computed on the basis of four-tenths (0.4) of the lot width; however, no side yard dimension shall be less than four-tenths (0.4) of the total dimensions of both side yards computed as aforesaid, and no side yards dimension shall be less than 10 feet.

The plans show a West yard setback of 5.7 feet. This would require an area variance of 4.3 feet.

4. Side Yard Setback Requirements.

150-13 E (1) Residence District Regulations

Existing small lots. A lot, owned individually and separately and separated in ownership from any adjoining tracts of land, which has a total lot area or lot width less than, prescribed in this chapter may be used for a one-family residence, provided that such lot shall be developed in conformity with all applicable district regulations.

(2) The total dimensions of both side yards for a principal building shall be computed on the basis of four-tenths (0.4) of the lot width; however, no side yard dimension shall be less than four-tenths (0.4) of the total dimensions of both side yards computed as aforesaid, and no side yards dimension shall be less than 10 feet.

The plans show an East side yard setback of 1.5 feet. This would require an area variance of 8.5 feet.

5. Combined Yard Set Back Requirements.

150-13 E (1) Residence District Regulations

Existing small lots. A lot, owned individually and separately and separated in ownership from any adjoining tracts of land, which has a total lot area or lot width less than, prescribed in this chapter may be used for a one-family residence, provided that such lot shall be developed in conformity with all applicable district regulations.

(3) The total dimensions of both side yards for a principal building shall be computed on the basis of four-tenths (0.4) of the lot width; however, no side yard dimension shall be less than four-tenths (0.4) of the total dimensions of both side yards computed as aforesaid, and no side yard dimension shall be less than 10 feet.

The calculated combined side yard set back is 13.1 feet. (0.4 x 32.71) The plans show proposed combined setback of 7.2 feet. This would require an area variance of 5.8 feet.

6. 150-12 District Regulations

7.

One-Family dwelling number of stories permitted 2 1/2.

The plans show the Conversion of the attic to livable space. This would require a variance for 3rd story.

Off Street Parking Requirements.

150-12 District Regulations

One-Family dwelling: Off Street Parking. (R-2)

The plans show no off-street parking to be provided. This would require a variance for 2 off street parking

This application is therefore denied, requiring the above-mentioned area variances.

Additionally, this project will have to obtain a Certificate of Appropriateness from the Historic Preservation Commission prior the issuance of Building Permit.

The premise to which this application applies to is located at: 148 Bay Avenue, Greenport, New York 11944.

This property is located in the R-2 District. This Property is located in the Historic District.

Map:	1001	Section:	5	Block:	2	Lot(s):	15	
						10/3/	2021	
Alex Bol	anos- NYS	S Code Enfo	orcer	 nent Officia	1	Date		



236 Third Street, Greenport, New York, 11944 (631) 477-0248 www.villageofgreenport.org

Date of Application				
All information below is to be completed by the applicant. This completed application is to be accompanied by the Notice of Disapproval, Copies of Covenants and/or Restrictions, where applicable, Environmental Assessment Form, building plans showing elevations, setbacks, floor plans, room dimensions, details of footings and foundation, and species of lumber and quality of material, where applicable.				
THE OWNER OF	THE PROPERTY	IS: (PLEASE PRINT CLEA	ARLY)	
		, , , , , , , , , , , , , , , , , , , ,		
Bridget and Eric I	31kin			
First Name	Last Name	Bu	siness Name, if ap	nlicable
			, 11 up	pricaoic
Mailing Address		City/ Town/ Village	State	Zip
			State	Zip
Phone #		E-Mail Address		
CONTACT DEDC	ON CC PCC	¥		
CONTACT PERSO The person to receive	JIN (II different from a all correspondence:	owner)		•3
_Margot and Clay C		70.4		
First Name	Last Name		AC-RAE STUDIO iness Name, if app	
430 Main Street 2	2nd Fl Greenport NY		aross ryamo, ir app	oncable
	and 11 Greenport IV I	and or		
Mailing Address		City/ Town/ Village	State	Zip
646-275-2447 Phone #		margot@isaac-rae.com, c	lay@isaac-rae.com	n
		E-Mail Address		
IF ANYONE OTHER FROM THE OWNER	THAN THE OWNER	R COMPLETES THIS APPLICATION	ATION, WRITTEN	CONSENT
	MOBI BE BUBINITI	ED WITH THIS APPLICATION	ON.	
Location:				
Suffolk County Tax	Map Number: 10	01 Section: _5 Bloc	ck: ² Lot	15
Street Address:				
Zoning District: [] WC [] R1 [X] R2 [] PD [] CR [] CG				
Is property located within the Historic District? [X] Yes [] No				



ZONING BOARD OF APPEALS APPLICATION

AREA VARIANCE

236 Third Street, Greenport, New York, 11944 (631) 477-0248 www.villageofgreenport.org

The Code Official reviewed and denied an application dated for a Building Permit for the location specified on this application.
Provisions of the Zoning Code appealed: (Indicate Article, Section and Subsection of Zoning Code by numbers)
Article: Section: 150 - 13 Subsection:E(1)
Type of appeal made for: [X] A Variance to the Zoning Code or Zoning Map. [] An interpretation of the Village Code Article: Section: Subsection:
Has a prior appeal been made at any time with respect to this property? [] Yes [X] No [] I Don't Know If yes, please provide the date appeal was made:
Project Description:
For Demolition of Existing Building Areas: Please describe area being removed:
This project would require that the rear wall of the home be demolished to extend a portion of the back of the house by 32 sq ft on the first floor and by 269sqft on the second floor to create one uniform rear wall to the house.
New Construction Areas (New Dwelling or New Addition/Extensions)
Dimensions of First Floor (Addition/Extension): a proposed addition of 94 sq ft +converting 135 sq ft existing porch into year round (32 sq ft to the back of the house + 62 sq ft
Dimensions of Second Floor: A proposed addition of 269 sq ft A proposed addition of 269 sq ft
Height (from finished grade to top of ridge): Feet, Inches note: there is no proposed increase to height
Is basement or lowest floor area being constructed? [] Yes [\$ No If yes, please provide height (above ground) measured from natural existing grade to first floor: Feet, Inches.



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ZONING BOARD OF APPEALS APPLICATION AREA VARIANCE

236 Third Street, Greenport, New York, 11944 (631) 477-0248 www.villageofgreenport.org

	Project Description: (CONTINUED)]
	Proposed Construction Description: (Alteration or Structural Changes)	
	Number of floors BEFORE alterations:3	
	Describe General Characteristics BEFORE alterations:	
	The house is currently 1446 sq ft in size and exists as a non-conforming house with non-compliant setbacks. Existing aspects of the house the homeowners which to alter are as follows: There is an existing 135 sq ft northwestern side porch. The current rear of the house steps back so that the second floor does not fully extend over the first floor. There is an existing unfinished third floor space.	_
	Number of floors AFTER Alterations:3	
house. two ad any wa As part would Overal	Describe General Characteristics AFTER alterations: opposed renovation would add a 62 sq ft extension to the northwest side of the house while converting the existing 135 sq ft northwestern side porch into year round habitab. The proposed renovation would extend a portion of the back of the house by 32 sq ft on the first floor and by 269sqft on the second floor to create one uniform back wall of the second floor alterations would add 498 sq ft of additional square footage to the house. The proposed renovation will also create a habitable third floor create ditional bedrooms, and a bathroom. A fire sprinkler system is proposed for the 3rd floor and the existing 500 sq ft third floor space renovation does not expand the footpring to of the porch conversion and the back wall of the house, new windows and doors would be added to these areas of the single family residence. In the proposed footprint of the house would be enlarged 94 sq ft to a 1540 sq ft footprint and the existing lot coverage of 33.6% would increase to 35.7%. The propositive second floor in the propositive propositive second floor in the propositive propositive propositive and the propositive propositive propositive proposition of the propositive propositive proposition of the propositive propositive proposition of the propositive proposition of the propositive propositive proposition of the proposition of the propositive proposition of the prop	o the ing t in
change	s would not further infringe on the existing non-compliant setbacks of the property. Calculations of Building Areas and Lot Coverage:	posed
	Existing Square Footage of Building(s) on this property:1446 SF	
	Proposed Increase in Building Coverage:94 SF proposed new footprint of home is: 1540 sq t	
	Square Footage of this Lot: 4306.79 SF	
	Percentage of Coverage of this Lot by Building Area:	
	Purpose of New Construction: Please describe:	
	The homeowners wish to update and improve the existing outdated home. They hope to reconfigure and expand some of the existing floor plan to accommodate their growing family as well as make an existing third floor space a habitable space while maintaining the existing non compliant setbacks.	



236 Third Street, Greenport, New York, 11944 (631) 477-0248 www.villageofgreenport.org

Area Variance Reasons for Appeal:

Please answer in detail. Additional sheets may be submitted with preparers signature.

Will an undesirable change occur in the characteristics of the neighborhood or will a detriment to nearby properties be created by the granting of this area variance?

These area variances being requested here per village code 150-13 E(1) will maintain existing non-conforming conditions to the side yards of this lot. They are as follows: 1) an area variance of 4.3 feet for the west side yard setback; 2) an area variance of 8.5 feet to the east side yard setback; and 3) an area variance of 5.8 feet for the combined side yard setback. Therefore no undesirable change will occur to the nearby properties or the neighborhood.

Can the benefit sought by the Applicant be achieved by another method, feasible for the Applicant to pursue, other than an Area Variance?

Because the side yards are a pre-existing non-conforming issue as it pertains to village code 150-13 E(1) the benefit sought by the homeowners cannot be achieved by any other fashion than an area variance.

Is the requested Area Variance substantial?

The area variances needed for the side yard setbacks are 1) 4.3 feet for the west side yard setback; 2) 8.5 feet to the east side yard setback; and 3) 5.8 feet for the combined side yard setback. They are small measures on a small lot and not substantial.

Will the requested Area Variance have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district?

Granting these side yard setbacks for this property will in no way impact the neighborhood or district negatively.

Was the alleged difficulty self-created, which consideration shall be relevant to the decision of the Zoning Board of Appeals, but shall not necessarily preclude the granting of the Area Variance?

These variances requested pertain to pre-existing non-conforming conditions of this lot. The homeowners anticipated wanting to improve and update the outdated home in a mindful way per village code and ZBA process.

Are there Covenants or Restrictions concerning this land? [] Yes [x] No If yes, please furnish copies.



236 Third Street, Greenport, New York, 11944 (631) 477-0248 www.villageofgreenport.org

Date of Application					
showing elevations, setbacks.	All information below is to be completed by the applicant. This completed application is to be accompanied by the Notice of Disapproval, Copies of Covenants and/or Restrictions, where applicable, Environmental Assessment Form, building plans of material, where applicable.				
THE OWNER OF TE	IE PROPERTY	IS: (PLEASE PRINT CLEAD	RLY)		
		* State Stat	,		
Bridget and Eric Elkin	a				
First Name	Last Name	Busi	iness Name, if app	plicable	
			D. D.		
Mailing Address		City/ Town/ Village	State	Zip	
				ಪರಿ	
				对。此类的	
Phone #		E-Mail Address			
CONTACT PERSON (The person to receive all co	(if different from o	wner)			
z	orrespondence.			<i>2</i> 75	
Margot and Clay Coffe	T	70			
Margot and Clay Coffe First Name	Last Name		AC-RAE STUDIO		
First Name	Last Name	Busin	AC-RAE STUDIO ness Name, if app		
First Name 430 Main Street 2nd I	Last Name	Busir 11944	ness Name, if app		
First Name 430 Main Street 2nd I Mailing Address	Last Name	Busin 11944 City/ Town/ Village	ness Name, if app	licable Zip	
First Name 430 Main Street 2nd I Mailing Address 646-275-2447	Last Name	Busin 11944 City/ Town/ Village margot@isaac-rae.com, cla	ness Name, if app	licable Zip	
First Name 430 Main Street 2nd I Mailing Address 646-275-2447 Phone #	Last Name Fl Greenport NY	Busin 11944 City/ Town/ Village margot@isaac-rae.com, cla E-Mail Address	State ay@isaac-rae.con	licable Zip	
First Name 430 Main Street 2nd I Mailing Address 646-275-2447 Phone # IF ANYONE OTHER THA	Last Name FI Greenport NY AN THE OWNER	Busin 11944 City/ Town/ Village margot@isaac-rae.com, cla	State ay@isaac-rae.com	licable Zip	
First Name 430 Main Street 2nd I Mailing Address 646-275-2447 Phone # IF ANYONE OTHER THA	Last Name FI Greenport NY AN THE OWNER	Busin 11944 City/ Town/ Village margot@isaac-rae.com, cla E-Mail Address COMPLETES THIS APPLICA	State ay@isaac-rae.com	licable Zip	
First Name 430 Main Street 2nd I Mailing Address 646-275-2447 Phone # IF ANYONE OTHER THA FROM THE OWNER MU Location:	Last Name FI Greenport NY AN THE OWNER UST BE SUBMITT	Busin 11944 City/ Town/ Village margot@isaac-rae.com, cla E-Mail Address COMPLETES THIS APPLICATION	State State ay@isaac-rae.com ATION, WRITTEN N.	Zip n CONSENT	
First Name 430 Main Street 2nd I Mailing Address 646-275-2447 Phone # IF ANYONE OTHER THA FROM THE OWNER MU Location:	Last Name FI Greenport NY AN THE OWNER UST BE SUBMITTE	Busin 11944 City/ Town/ Village margot@isaac-rae.com, cla E-Mail Address COMPLETES THIS APPLICATION TED WITH THIS APPLICATION O1 Section:5 Block	State State ay@isaac-rae.com ATION, WRITTEN N.	Zip CONSENT	

Is property located within the Historic District? [X] Yes [] No



236 Third Street, Greenport, New York, 11944 (631) 477-0248 www.villageofgreenport.org

The Code Official reviewed and denied an a the location specified on this application.	pplication dated _	10/15/21	for a Building Permit for
Provisions of the Zoning Code appealed: (Indicate Article, Section and Subsection of	Zoning Code by nu	ımbers)	
Article:	Section: 150 -	12	Subsection:
Type of appeal made for: [A] A Variance to the Zoning Code or Zoning [] An interpretation of the Village Code Art Has a prior appeal been made at any time	g Map. icle:	Section:	Subsection:
If yes, please provide the date appeal was mo	ade:	ns property.	
Project Description:			
For Demolition of Existing Building Area Please describe area being removed:	<u>s:</u>		
This project would require that the rear wall of the home 269sqft on the second floor to create one uniform rear wa	be demolished to extend ll to the house.	a portion of the b	ack of the house by 32 sq ft on the first floor and by
New Construction Areas (New Dwelling of	r New Addition/E	xtensions)	
Dimensions of First Floor (Addition/Extension	on):a proposed addition	n of 94 sq ft +conve	rting 135 sq ft existing porch into year round habitable space
Dimensions of Second Floor: A proposed addition			
Height (from finished grade to top of ridge):	Feet,	Inches	note: there is no proposed increase to height
Is basement or lowest floor area being con If yes, please provide height (above ground) Feet, Inches.	structed? [] Yes	[孝No	



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ZONING BOARD OF APPEALS APPLICATION AREA VARIANCE

236 Third Street, Greenport, New York, 11944 (631) 477-0248 www.villageofgreenport.org

Project Description: (CONTINUED)
Proposed Construction Description: (Alteration or Structural Changes)
Number of floors BEFORE alterations:3
Describe General Characteristics BEFORE alterations: The house is currently 1446 sq ft in size and exists as a non-conforming house with non-compliant setbacks. Existing aspects of the house the homeowners which to alter are as follows: There is an existing 135 sq ft northwestern side porch. The current rear of the house steps back so that the second floor does not fully extend over the first floor. There is an existing unfinished third floor space.
Number of floors AFTER Alterations:3
Describe General Characteristics AFTER alterations: proposed renovation would add a 62 sq ft extension to the northwest side of the house while converting the existing 135 sq ft northwestern side porch into year round habitable. The proposed renovation would extend a portion of the back of the house by 32 sq ft on the first floor and by 269sqft on the second floor to create one uniform back wall to louse. These first and second floor alterations would add 498 sq ft of additional square footage to the house. The proposed renovation will also create a habitable third floor ting two additional bedrooms, and a bathroom. A fire sprinkler system is proposed for the 3rd floor and the existing 500 sq ft third floor space renovation does not expand the point in any way and does not in any way impact the existing roof, height, or envelope of the single family residence. art of the porch conversion and the back wall of the house, new windows and doors would be added to these areas of the single family residence. No other windows and doors lid be changed. Tall, the existing 1446 sq ft footprint of the house would be enlarged 94 sq ft to a 1540 sq ft footprint and the existing lot coverage of 33.6% would increase to 35.7%. The osed changes would not further infringe on the existing non-compliant setbacks of the property. Calculations of Building Areas and Lot Coverage:
Existing Square Footage of Building(s) on this property:1446 SF
Proposed Increase in Building Coverage: SF proposed new footprint of home is: 1540 sq
Square Footage of this Lot: 4306.79 SF
Percentage of Coverage of this Lot by Building Area: % existing lot coverage: 33.6%; proposed increase to 35.7%
Purpose of New Construction: Please describe: The homeowners wish to update and improve the existing outdated home. They hope to reconfigure and expand some of the existing floor plan to accommodate their growing family as well as make an existing third floor space a habitable space while maintaining the existing non compliant setbacks.



ZONING BOARD OF APPEALS APPLICATION

AREA VARIANCE

236 Third Street, Greenport, New York, 11944 (631) 477-0248 www.villageofgreenport.org

Area Variance Reasons for Appeal:

Please answer in detail. Additional sheets may be submitted with preparers signature.

Will an undesirable change occur in the characteristics of the neighborhood or will a detriment to nearby properties be created by the granting of this area variance?

These area variances cited per village code section 150-12 maintain the existing non-conforming nature of the lot. They are as follows: 1) a request to grant an area variance of 248 SF (5.7%) lot coverage increase; 2) an area variance of 15.3 ft to the front yard setback; 3) a variance for 3rd floor to be converted into a 3rd story habitable space; and 4) a variance for two off street parking spots.

Because these are pre-existing conditions, no significant change will be evident. Therefore the area variance will not be a detriment to the neighborhood properties or the characteristics of the neighborhood.

Can the benefit sought by the Applicant be achieved by another method, feasible for the Applicant to pursue, other than an Area Variance?

Because this home and lot is pre-existing non-conforming as it pertains to the four variances identified under village code 150-12, the benefit sought by the homeowners cannot be achieved by any other fashion than an area variance.

Is the requested Area Variance substantial?

The area variances would reconcile the pre-existing conditions by recognizing a 5.7% increase to lot coverage, an additional 15.3 ft for the front yard setback, a conversion of a 3rd floor into habitable space and the need for two off street parking spaces. These area variances are not substantial and they reconcile existing conditions.

Will the requested Area Variance have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district?

The area variances cited under village code section 150-12 reconcile existing conditions and therefore there will have no physical or environmental impact on the neighborhood or district.

Was the alleged difficulty self-created, which consideration shall be relevant to the decision of the Zoning Board of Appeals, but shall not necessarily preclude the granting of the Area Variance?

These variances pertain to pre-existing non-conforming conditions of this lot. The homeowners anticipated wanting to improve and update the outdated home in a mindful way per village code and ZBA process.

Are there Covenants or Restrictions concerning this land? [] Yes [x] No If yes, please furnish copies.

617.20 Appendix B Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information		4		
Fart 1 - Project and Sponsor Intormation				
Name of Action or Project: 148 Bay Avenue				
Project Location (describe, and attach a location map):				
148 Bay Avenue Greenport NY 11944				
Brief Description of Proposed Action:		-		
(please see attached project description)				
된 하는 것이 되고 없다면 하다는 하는데 하는데 그렇게 하다.		F.		
Name of Applicant or Sponsor:	Telephone: 646-275-2447			
Clay Coffey, Margot Coffey - Isaac-Rae			om,	
Address:	clay@isaac-rae.com	1		
430 Main Street 2nd Fl			n 24 1	
City/PO:		Code:		
Greenport	Same and the standing of the contract of the c	11944		
1. Does the proposed action only involve the legislative adoption of a plan,	local law, ordinance,	NO	YES	
administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and	the environmental resources that	П	x	
may be affected in the municipality and proceed to Part 2. If no, continue to	question 2.	Ш	L	
2. Does the proposed action require a permit, approval or funding from any	other governmental Agency?	NO	YES	
If Yes, list agency(s) name and permit or approval:				
Village of Greenport building dept, Village of Greenport His	toric Preservation Comittee	х	ш	
	.08 acres			
b. Total acreage to be physically disturbed? c. Total acreage (project site and any contiguous properties) owned	01acres	500 ₉₂ 836	700	
or controlled by the applicant or project sponsor?	.08 acres			
4. Check all land uses that occur on, adjoining and near the proposed action Urban Rural (non-agriculture) Industrial Comm				
그림 그는 그 전쟁을 되었다면서 그를 되었다. 어린이를 어린이를 하는 어느 아니는 그릇이 되었다. 그리고 있다면서 그리	nercial Residential (suburban)			
☐ Parkland	(specify):	i , i , i ,		

5. Is the proposed action,		
a. A permitted use under the zoning regulations?	NO	YE
		X
b. Consistent with the adopted comprehensive plan?		X
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		NO
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental	Area?	NO
If Yes, identify:	Arca:	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?		X
a. Will the proposed action result in a substantial increase in traffic above present levels?		NO
b. Are public transportation service(s) available at or near the site of the proposed action?		F
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed	aatia0	H
9. Does the proposed action meet or exceed the state energy code requirements?	action?	NO
If the proposed action will exceed requirements, describe design features and technologies:		NO
10. Will the proposed action connect to an existing public/private water supply?		NO
If No, describe method for providing potable water:		
To y destrict monitor for providing potators water.		
11. Will the proposed action connect to existing wastewater utilities?		NO
If No, describe method for providing wastewater treatment:		
12. a. Does the site contain a structure that is listed on either the State or National Register of Historia Places?	С	NO
b. Is the proposed action located in an archeological sensitive area?		X
		x
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, con wetlands or other waterbodies regulated by a federal, state or local agency?	ain	NO
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbod	.0	X
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres:	/? 	X
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check	11 45 - 4	<u> </u>
Shoreline Forest Agricultural/grasslands Early mid-success		appıy:
☐ Wetland ☐ Urban ☒ Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed		NO
by the State or Federal government as threatened or endangered?		x
16. Is the project site located in the 100 year flood plain?		NO
17 Will de		x
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,		NO
a. Will storm water discharges flow to adjacent properties?		
b. Will storm water discharges be directed to established conveyance systems (runoff and storm dra	ins)?	
If Yes, briefly describe:		2
storm drains and gutters will be installed and connected to the structure's existing storm water		ű
runoff drainage system.		

18	Does the proposed action include construction or other activities that result in the impoundment of		NO	YES
If	water or other liquids (e.g. retention pond, waste lagoon, dam)? Yes, explain purpose and size:			
_			x	
19	. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?	1	NO	YES
If	Yes, describe:		x	
	. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing completed) for hazardous waste?	ng or	NO	YES
	Yes, describe:		x	
IA	AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO	THE B	EST O	FMY
V.	NOWLEDGE			
Sig	pplicant/sponsor name:	, 20		
	1 10			
Pa	rt 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer	er all of ti	ne follo	wina
qu	estions in Part 2 using the information contained in Part 1 and other materials submitted by the project	ct enoneo	ror	
res	nerwise available to the reviewer. When answering the questions the reviewer should be guided by the proposes been reasonable considering the scale and context of the proposed action?"	he concep	t "Hav	e my
	1	No, or		derate
	i	small impact		large pact
		may		nay
1.	Will the proposed action create a material conflict with an adopted land use plan or zoning	occur	00	cur
	regulations?			
2.	Will the proposed action result in a change in the use or intensity of use of land?			
3.	Will the proposed action impair the character or quality of the existing community?			
4.	Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?			
5.	Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?			
5.	Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?			
7.	Will the proposed action impact existing:		-	
	a. public / private water supplies?		l L	
			<u>Г</u>	
3.	a. public / private water supplies?] [

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?		
11. Will the proposed action create a hazard to environmental resources or human health?		

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

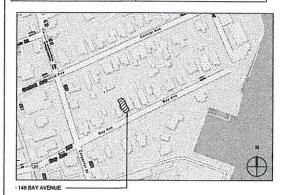
Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required. Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.				
Name of Lead Agency	Date			
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer			
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)			

148 BAY AVENUE

148 BAY AVE, GREENPORT, NY 11944 SCTM#: 1001-5.-2-15

ZONING INFORMATION

COUNTY	SUFFOLK	
TAX MAP NUMBER	1001-52-15	
VILLAGE	GREENPORT	
BLOCK	148	
LOT	15	
NUMBER OF FLOORS	3	
LOT AREA	.08 ACRES OR 4,306.79 SQFT	
ALLOWABLE BUILDING COVERAGE	1,292 OR 30%	
EXISTING BUILDING COVERAGE	1,435 OR 33%	
PROPOSED BUILDING COVERAGE	1,700 OR 39%	
ZONING	R-2	
ZONING MAP	GREENPORT VILLAGE	
LANDMARK DESIGNATION	NONE	
HISTORIC DISTRICT	YES	
BUILDING HEIGHT	EXG 29 FT.	
CONSTRUCTION CLASSIFICATION	VB- CONBUSTIBLE	
OCCUPANCY USE GROUP	RESIDENTIAL R-2	
ACCESSORY OCCUPANCY USE GROUP		
SPRINKERS SYSTEM	PARTIALLY SPRINKLERED (PROPOSED)	



LOCATION MAP NOT TO SCALE

SCOPE OF WORK PROPOSED IN THIS FILING:

EXTERIOR ALTERATIONS TO INCLUDE THE REMOVAL OF THE FOLLOWING:

- REMOVAL OF EXISTING EXTERIOR WALLS
- REMOVAL OF EXISTING PLINTH STAIRS
- REOVALS OF EXISTING PORCH REMOVAL OF EXTERIOR DOORS/ WINDOWS

INTERIOR ALTERATIONS TO INCLUDE THE FOLLOWING:

- NEW PROPOSED EXTERIOR WALLS NEW PROPOSED EXTERIOR WALLS
 NEW PROPOSED EXTERIOR DOORS AND WINDOWS
 NEW PROPOSED PLINTH STAIRS
 NEW PROPOSED BRICK DECK
- NEW PROPOSED CHIMNEY

INTERIOR ALTERATIONS TO INCLUDE THE REMOVAL OF THE FOLLOWING:

REMOVAL OF EXISTING NON LOAD BEARING INTERIOR WALLS REMOVAL OF EXISTING PLUMBING FIXTURES

INTERIOR ALTERATIONS TO INCLUDE THE FOLLOWING:

- NEW PROPOSED INTERIOR NON LOAD BEARING WALLS
 NEW PROPOSED PLUMBING FIXTURES AND IN EXISTING AND NEW
 LOCATIONS
 NEW PROPOSED ELECTRICAL FIXTURES AND LOCATIONS
 CONVERSION OF EXISTING ATTIC LOFT INTO HABITABLE 3RD FLOOR
 PROPOSED CONCRETE TOPPING SLAB ON GROUND FLOOR

SCOPE OF WORK NOT PROPOSED IN THIS FILING:

CHANGE IN USE, NO CHANGE IN OCCUPANCY, BUILDING CLASSIFCATIONS

PROPOSED SCOPE OF WORK

UCTION OF A TWO LEVEL 1.720 SQ. FT. GARAGE AND OFFICE SPACE

FEMA NOTE
THE PROPERTY IS NOT IN THE SPECIAL FLOOD HAZARD AREA, NO CHANGES ARE BEING MADE TO THE FLOOD ELEVATIONS.

ENERGY CODE STATEMENT OF COMPLIANCE

TO THE BEST OF MY KNOWLEDGE, BELIEVE AND PROFESSIONAL JUDGMENT THE PROPOSED BUILDING IS IN COMPLIANCE WITH THE 2016 ENERGY CODE COMCHECK ENERGY ANALYSIS IS ALSO PROVIDED IN THIS SUBMISSION.

GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION

1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE 2020 INTERNATIONAL BUILDING CODE AND WILL COMPLY WITH 2020 SUPPLIMENTAL REQUIREMENTS, AND THE BEST TRADE PRACTICES.

2. CONTRACTOR SHALL BE HEAD TO HAVE VISITED AND EXAMINED THE PROJECT SITE BEFORE SUBMITTING HIS PROPOSAL SO AS TO FULLY UNDERSTAND ALL EXISTING CONDITIONS RELATING TO THIS SUBMITTING HIS PROPOSAL SO AS TO FULLY UNDERSTAND ALL EXISTING CONDITIONS RELATING TO THIS SUBMITTING HIS PROPOSAL SO AS TO FULLY UNDERSTAND AND LEXISTING CONDITIONS RELATING TO THE EXECUTION. NO ALLOWANCE SHALL BE MADE FOR ANY EXTRA ANDOR MATERIALS REQUIRED OR FOR DEFICULTES WHICH WOULD HAVE BEEN FOR SEEDEN HAD THE REQUIRED MAPPECTIONS BEEN MADE. THE CONTRACTOR SHALL TAKE ALL NOCEOSSANT MEASUREMENTS FOR HIS WORK AT THE STE. VERIFY ALL CONTRACTOR SHALL TAKE ALL NOCEOSSANT MEASUREMENTS FOR HIS WORK AT THE STE. VERIFY ALL CONTRACTOR SHALL TAKE ALL NOCEOSSANT MEASUREMENTS FOR HIS WORK AT THE STE. VERIFY ALL CONTRACTOR SHALL THE STE. VERIFY ALL CONTRACTOR SHALL PROPERT ANY DESCREPANCY ON DEMISSIONS OR EXISTING CONDITIONS TO THE

CONDITION AND REPORT ANY DISCREPANCY IN DIMENSIONS OR EXISTING CONDITIONS TO THE ARCHITECT. ANY DISCREPANCY IN DIMENSIONS OR EXISTING CONDITIONS TO THE ARCHITECT.

3. THE CONTRACTOR SHALL NOT COMMENCE WORK LINTIL A KICK OFF MEETING HAS BEEN HELD AT THE PROJECT SITE WITH THE OWNER AND ARCHITECT. THE PURPOSE OF THIS MEETING IS TO REVIEW THE PLANNED WORK AND TO ENSURE THAT THE WORK IS DONE IN ACCORDANCE WITH THE APPROVED PLANS.

4. BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF SUBJECT AND THE APPROVED CONSTRUCTION DOCUMENTS. THE SUBJECT SHALL FILE ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY GOVERNING NEW YORK CITY AGENCIES.

5. THE CONTRACTOR SHALL BY THOSE OF THE APPROVED CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL FILE POWER ALL FOR PROVIDE AT ANY POINT IT HAS BEEN DETERMINED CONTRACTOR SHALL BE DEVICE ALL EXCUMENDED THE ARCHITECT. THE CONTRACTOR SHALL BEDOVICE ALL ECUMENDED THE ARCHITECT. AND TO PREVENT CONSTRUCTION AS NECESSARY TO SAFEGUARD PERSONS AND PROPERTY, ALL MACHINERY, TOOLS, SERVICE LIVES AND CONDITION SHALL BE GUARDED, SHELDED OR BARRICADED TO PROVIDE SAFETY AND TO PREVENT CONTRACT WITH PUBLIC.

7. THE CONTRACTOR SHALL DETERMINE LOCATION, PROTECT AND SAFEGUARD ALL UTILITIES ON AND PROPERTY AND PROTECT THE SAME FROM INJURY

8. CONTRACTOR SHALL DETERMINE LOCATION, PROTECT AND SAFEGUARD ALL UTILITIES ON AND ADJACENT TO SITE.

8. CONTRACTOR SHALL DETERMINE LOCATION, PROTECT AND SAFEGUARD ALL UTILITIES ON AND ADJACENT TO SITE.

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12. THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF LOCAL AUTHORITIES.

13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACKING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLD RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.

14. THE CONTRACTOR SHALL LAY OUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES (SPRINGLER, MECHANICAL, PLUMBING, ELECTRICAL, ETC.).

15. SPRINGLER, MECHANICAL, PLUMBING AND ELECTRICAL, LETC.).

16. SPRINGLER, MECHANICAL, PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGN-OFFS.

LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGN-OFFS.

16. THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING, REPARINGS AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE CONTRACTOR SHALL BE REMOVED TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CAPPED OR PLUGGED.

18. THE CONTRACTOR SHALL GUARANTEE THE WORK FOR A MINIMUM OF ONE(1) YEAR FROM THE DATE OF ACCEPTIONE BY THE OWNER AGAINST ALL DEFECTS IN MATERIAL ANDOR WORKMANSHIP. THE IS GUARANTEE SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMANCE WITH THE HICHEST DEGREE OF SHALL GOOD OF THE WORK IN CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMANCE WITH THE HICHEST DEGREE OF SHALL GOOD OF THE WORK IN CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMANCE WITH THE HICHEST DEGREE OF SHALL GOOD OF THE WORK IN CONFORMANCE WITH THE HICHEST DEGREE OF SHALL GOOD OF THE WORK IN CONFORMANCE WITH THE HICHEST DEGREE OF SHALL GOOD OF THE WORK IN CONFORMANCE WITH THE HICHEST DEGREE OF SHALL GOOD OF THE WORK IN CONFORMANCE WITH THE HICHEST DEGREE OF SHALL GOOD OF THE WORK IN CONFORMANCE WITH THE HICHEST DEGREE OF SHALL GOOD OF THE WORK IN CONFORMANCE WITH THE HICHEST DEGREE OF SHALL BE DONE OF THE WORK IN CONFORMANCE OF THE WORK IN CONFORMANCE WITH THE HICHEST OF THE WORK IN CONFORMANCE OF THE WORK IN

SITE PROTECTION PLAN:

IS TIEGRESSAT ALL TIMES IN THE COURSE OF CONSTRUCTION PROVISION SHALL BE MADE FOR ADEQUATE EGRESS AS REQUIRED BY NEW YORK STATE, SOUTHOLD TOWN AND SUFFOLK COUNTY PER SAFETY, ALL NECESSARY LAWS AND CONTROLS, INCLUDING THOSE WITH RESPECT TO OCCUPIED DWELLINGS, AS WELL AS ADDITIONAL SAFETY MEASURES NECESSITATED BY THE CONSTRUCTION SHALL BE STRICTLY OSSERVED.

3.HEALTH REQUIREMENTS, SPECIFICATION OF NEANS AND METHODS TO BE USED FOR CONTROL OF DIETS TREGORD AS CONSTRUCTION FOR THE CONSTRUCTION OF NEANS AND METHODS TO BE USED FOR CONTROL OF DIETS TREGORD AS CONSTRUCTION FOR THE CONSTRUCTION OF NEANS AND METHODS TO BE USED FOR CONTROL OF

JUEAL TH REQUIREMENTS, SPECIFICATION OF MEANS AND METHODS TO BE USED FOR CONTROL OF DUST, DISPOSAL OF CONSTRUCTION DEBMS, PEST CONTROL AND MANTENANCE OF SANTARY FACILITIES, AND LIMITATION OF MOISE TO ACCEPTABLE LEVELS SHALL BE INCLUDED. A STATEMENT OF COMPLIANCE WITH APPLICABLE PROVISIONS OF LAW REPORT OF COMPLIANCE WITH PARTICULARITY WHAT LEANS AND METHODS AND SERVICE WITH PARTICULARITY WHAT LEANS AND METHODS AND SERVICE WITH HOUSING STANDARDS. THE REQUIREMENTS OF THE NEW YORK CITY HOUSING MAINTENANCE CODE, AND, WHERE APPLICABLE, THE NEW YORK STATE MULTIPLE DWELLING LAW SHALL BE STRICTLY OSSERVED.

5.5TRICTURAL SAFETY, NO STRUCTURAL WORK SHALL BE DONE THAT MAY ENDANGER THE SITE OR CONTRACTED WORKERS.

130 THUS TORKERS
CANTRACTED WORKERS
CANOBAC RESTRICTIONS. WHERE HOURS OF THE DAY OR THE DAYS OF THE WEEK IN WHICH
CONSTRUCTION WORK MAY BE UNDERTAKEN ARE LIMITED MONDAY-FRIDAY? AM TO SPM EXCEPT

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THEREIN, THE SITE AND CONSTRUCTION PROTECTION PLAN SHALL SPECIFY THE MEANS AND METHODS
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ABREVIATIONS	7								,		_	
AFF ABOVE FINSHED FLOOR AP, ACCESS FANEL AGULS. ACCUSTICAL AGULS.	CL. CLOSET COLL COLLIAN CONC. COMETE CONST. CONSTRUCTON COMT. CONSTRUCTON DET. DETAL DETAL DETAL DETAL DIM. DIMINION DR. DOUGE DR. DOUBLE DR. DOWN DR. DRAWNS EA. EACH ELEC. ELECTRIC/ELECTR	EMER. EQ. EQFT. EXIST. EXT. FIN FIN. FL. FPRE. S.C. FL. FLUOR.	ELEVATION DIFERENCY EQUAL EQUIPMENT EQUIPMENT EUSTING EXTERIOR FRUSH FRUSH FRUSH FRUSH FLUOR FLUOR FLUORESCENT FOOT/FEET	GL GLA GRL GRI GFL GRC GWB GYP HNORL HAN HOWD. HAR HVAC HEA HUM. HOR HORIZ HOR IN. INO INSUL INSU	E ND FAULT INTER. IN WALLBOARD RAAL WOOD NG, VENT, & A/C DW METAL ONTAL	LAMBIATE LOW YOUTAGE MATERIAL MADMIM MEDIANICAL METAL MINIMIN MSCELLAMEOUS MOLDING MOLDING MULLION NOMBAL NOT APPLICABLE	NLC. NO. OC. OPNG OPPOPH PTD. PARTN. PL. PLYMD., PLY POS. QTY. REC. REQ'D	NOT IN CONTRACT NAMES ON CENTER GENING OPPOSITE/OPPOSITE HAND PARTITIED PARTITIED PARTITIED PARTITIED PARTITIED COMMITTY RECESSED	RA REV. R.O. SCHED. SCHT. SM. SC SQ.FT. SSTL STD. STD. STD.	RETURN AIR REVISE/REVISION ROUGH OPENING SO-EDULE SECTION SHEET SMILAR SOLID CORE SQUARE FOOT STAIMLESS STEEL STAINDARD STEEL STORAGE	TEL T.B.D. TYP. U.O.N. V.I.F. VT./VCT W/ W/O WD.	TELEPHONE TO BE DETERMENT TYPICAL LINLESS OTHERWISE NOTED VERFY IN FELD VINYL COMPOSITION TE WITH WITHOUT WOOD

2009 ICC A117.1 ADA DIAGRAMS

(SEE BOOM SOMESHEE)

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- LINE MOCATING

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DRAWINGS INDEX			
Sheet Number	Sheet Name		
T-001.00	COVER SHEET		
T-002.00	GENERAL NOTES		
A-100.00	PROPOSED SITE PLAN		
A-101.00	DEMOLITION PLANS		
A-102.00	DEMOLITION PLANS		
A-103.00	PROPOSED PLANS		
A-104.00	PROPOSED PLANS		
A-300.00	EXISTING ELEVATIONS		
A-301.00	EXISTING ELEVATIONS		
A-302.00	PROPOSED ELEVATIONS		
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DRAWING ISSUE

NOTES

ISAAC - RAE

430 Main Street. Greenport NY T. 347-276-6093 E. clay@isaac-rae.com

Applicant of Record:

148 BAY AVENUE

Enter address here

Seal/ Signature

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T-001.00

GENERAL NOTES:

CONSTRUCTION NOTES:

- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL MORIK AND CONSTRUCTIO MEET THE REQUIREMENTS OF THE 2018 INTERNATIONAL RESIDENTIAL BUILDING CODE AND NEW YORK DEPARTMENT OF STATE 2020 UNIFORM CODE SUPPLEMENT. DIMENSIONS SHALL TAKE PRECEDENT OVER SCALED DRAWINGS (DO
- NOT SCALE DRAWINGS). REFER TO THE WINDOW AND DOOR SCHEDULE FOR EXTERIOR
- OF CHINGS.

 REFER TO CIVIL ENGINEERING DRAWINGS FOR GRADING PLANS
 REFER ARCHITECTURAL DRAWINGS FOR BUILDING ELEVATIONS
 INCLUDING SLAB AND FINISH FLOOR ELEVATIONS
 130 MPH WIND LOAD REQUIREMENTS SHALL BE TAKEN INTO ACCOUNT
- DURING CONSTRUCTION.

FOUNDATION NOTES:

- THE GENERAL CONTRACTOR AND MASON TO REVIEW PLANS, ELEVATIONS, DETAILS AND NOTES TO DETERMINE INTENDED HEIGHTS OF FINISHED FLOORS ABOVE GRADE. GENERAL CONTRACTOR TO RETAIN SURVEYOR TO SET OR VERIFY DATUMS AND FINISHED FLOOR ELEVATIONS DRAINAGE AS REQUIRED BY HALL MEET THE REQUIREMENTS OF THE 2020 INTERNATIONAL RESIDENTIAL BUILDING CODE AND NEW YORK DEPARTMENT OF STATE 2020 UNIFORM CODE SUPPLEMENT. ALL FOOTINGS MUST REST ON APPROPRIATE BEARING MATERIAL SEE STRUCTURAL REGINEERS DRAWINGS FOR ADDITIONAL DETAILS ANY NEW CONCRETE WALLS BEING ATTACHED TO EXISTING CONCRETE STRUCTURE TO BE INSTALLED WITH #5 RE-BAR, MIN 18* LONG AT 12*0.C. MIN EMBEDD TO BE 9 USE APPROVED EPOXY FOR ANCHORING.
- STRUCTURE TO BE INSTALLED WITH 85 REJART, MIN 18" LONG AT 12"0.C. MIN EMBEDD TO BE 9" USE APPROVED EPOXY FOR ANCHORING UNLESS OTHER WISE NOTED, ALL SLABS ON GRADE TO BE 4000P.S.I. CONCRETE TO BE POURED AT MIN 4" THICK SAND OR GRAVEL FILL WITH 6X6 WIRE MESH REINFORCING. SLAB THICKNESS TO BE MIN 5" THICK. ALL FILL TO BE COMPACTED TO 95% RELATIVE DENSITY AT 6" MAX.LIFTS CALL FILL TO BE COMPACTED TO 95% RELATIVE DENSITY AT 6" MAX.LIFTS.

- ALL FILL TO BE COMPACTED TO 95% RELATIVE DENSITY AT 6" MAX LIFTS CRAWL SPACES TO BE PROVIDED WITH MIN. 24"22" ACCESS OPENING. UNCONDITIONED CRAWL SPACES TO HAVE 8X16" CAST IRON FOUNDATION VENTS FOR EVERTY 150 SOFT OF AREA DAMPPROOF EXTERIOR OF FOUNDATION WITH BITUMINOUS COATING AS REQUIRED BY 2020 INTERNATION BUILDING CODE AND NEW YORK DEPARTMENT OF STATE 2020 SUBPPLEMENTAL CODE. A 6 MIL POLVETHYLENE FILM SHALL BE APPLIED TO THE BELOW GRADE PORTION OF EXTERIOR WALLS PRIOR TO BACKFILLING

FRAMING NOTES

- ALL FRAMING TECHNIQUES SHALL MEET THE REQUIREMENTS OF THE 2020 INTERNATIONAL BUILDING CODE AND NEW YORK DEPARTMENT OF STATE 2020 UNIFORM CODE SUPPLEMENT.

- OF STATE 2020 UNIFORM CODE SUPPLEMENT.
 STRUCTURAL LUMBER SHALL BE GREEN DOUGLAS FIR LARCH NO. 2,
 OR BETTER, UNLESS OTHERWISE NOTED ON THE PLANS
 INTERIOR METAL FRAMING SHALL BE 18 GAUGE OR BETTER UNLESS
 OTHER WISE NOTED ON THE PLANS
 FLOORS, WALLS, CEILINGS AND RAFTERS TO BE SPACED AT 16
 INCHES O.C. UNLESS NOTED
 UNLESS OTHERWISE NOTED, ALL BEARING WALL HEADERS TO BE (2)
 2X10 #2 BTR. DOUG. FIR.BEARING WALL HEADERS TO HAVE (2) JACK 2XTUB2 + B IT. DOUG. FIRE BEATHS WALL HEADERS TO HAVE (2) JACK STUDS AND (2) FULL LENGTH STUDS ON EACH SIDE OF ALL OPENINGS LVL HEADERS TO HAVE (3) JACK STUDS AND (2) FULL LENGTH STUDS ON EACH SIDE OF OPENINGS. BEATING WALL WINDOW SILLS SHALL ALSO HAVE (2) WINDOW SILL PLATES FOR 2X4 WALL OPENINGS
- BETWEEN 4" AND 6"0 AND 2X6 WALL OPENINGS BETWEEN 5"11 AND 8"9.
 PROVIDE FIRE AND BLOCKING WHERE APPLICABLE.
 ALL FLUSH BEAMS/HEADERS TO BE INSTALLED WITH HEAVY DUTY GALVINIZED HANGERS AND ANCHORS WHERE APPLICABLE TO ALL
- GALVINIZED HANDERS AND ANYONDER THE AT HEAD CONNECTING JOISTS.

 DOUBLE UP FLOOR JOISTS UNDER WALLS THAT RUN PARALLEL TO THE
 FLOOR JOIST AND UNDER BATHTUBS.FLOORS TO HAVE CERAMIC TILE
 INSTALLED SHALL BE VERIFIED FOR PROPER LOAD CAPACITY UNLESS NOTED ON PLANS
- NOTED ON PLANS.
 7). PROVIDE 2 1-3/4" THICK MICROLAMS (HEIGHT TO MATCH FLOOR JOISTS) AROUND STAIRWELL AND/OR OTHER ACCESS OPENINGS UNLESS OTHERWISE NOTED (TYPICAL).
 PROVIDE BLOCKING/BRIDGING IN FLOOR JOISTS AT 8"D O.C., USE SOLID BLOCKING IN FLOOR JOISTS UNDER ALL BEARING WALLS.

- BLOCKING IN FLOOR JOISTS UNDER ALL BEARING WALLS.
 PROVIDE INSULATION BAFFLES AT EAVE VENTS BETWEEN RAFTERS.
 INSTALL DRAFT BLOCKING AS NEEDED.
 UNLESS OTHERWISE NOTED, ALL ROOFS AND WALLS TO HAVE A
 MINIMUM 1/2" THICK, 4-PLY FIR CDX EXTERIOR SHEATHING GRADE
 PLYWOOD. PLYWOOD TO COVER OVER PLATES AND HEADERS.
 UNLESS OTHERWISE NOTED USE 3/4" THICK TAG PTS FIR OR
 ADVANTED BLYWOOD SUIGE (OZP ADVESCE).
- ONLESS OF HEAVISE NOTED USE 344" THICK 18G PTS FIR OR ADVANTECH PLYWOOD SUBFLOOR ADHERED WITH PL400 ADHESIVE AND SCREWED TO FLOOR JOISTS. FINISHED FLOOR TO BE INSTALLED OVER SUBFLOOR AS PER MANUFACTURES INSTRUCTIONS. ALL BATHROOM WALLS TO HAVE 5/8" THICK MOISTURE-RESISTANT SHEETROCK.

 1 HR FIRE RATED ASSEMBLYS TO HAVE ONE LAYER OF 5/8" TYPE X

- 14. THE PINE HALED ASSEMBLYS TO HAVE ONE LAYER OF 56" TYPE X SHEET ROCK AND TO MEET ANSIVUL 263 AND UL DESIGN NO. U419
 15. 2 HR FIRE RATED ASSEMBLYS TO HAVE TWO LAYERS OF 5.0" TYPE X SHEET ROCK AND TO MEET ANSIVUL 263 AND UL DESIGN NO. U419
 16. ALL ROOFS AND SHEATHING TO BE INSTALLED WITH ICE AND WATER SHIELD, HENRY BLUE SKIN OR APPROVED FOULL.
 17. ALL FLAT ROOFS TO BE APPLIED WITH AN EPDM 6MILL MATERIALS.
- ALL SILL PLATES AND WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED. SILL PLATES TO BE INSTALLED WITH FOAM SILL GASKETS AND COP-R-TEX TERMITE SHIELD OR APPROVED EQUAL

FIREBLOCKING NOTES

AS REQUIRED BY CURRENT 2018 IBC/2020 SUPPLEMENT - FIREBLOCKING REQUIRED. FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH YERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND

FIREBLOCKING SHALL BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:

- IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS, CONCEALED FURHED SPACES, AT THE CEILING AND FLOOR LEVELS. CONCEALED HORIZOTAL FURHED SPACES SHALL ALSO BE FIREBLOCKED AT INTERVALS NOT EXCEEDING 10 FEET. BATTS OR BLANKETS OF MINERAL OR GLASS FIBER SHALL BE ALLOWED AS FIREBLOCKING IN WALLS CONSTRUCTED USING PARALLEL ROWS OF STUDS OR STAGGERED STUDS. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND
- HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
- COVE CEILINGS.
 IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH CURRENT N.Y.S. RESIDENTIAL CODE.
 AT OPENINGS AROUND VENTS, PIPES AND DUCTS AT CEILING AND FLOOR LEVEL, TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF
- RECOMMENDED FIRE BLOCKING PRODUCTS BOSS 814 OR APPROVED
- RECOMMENDED FIRE BLOCKING PRODUCTS BOSS 814 OR APPROVE EQUAL TO MEET ASTM E-814 (UL 1479) PROVIDE 5/8" TYPE-X SHEETROCK FIRE STOPPING AT 10'D MAXIMUM DISTANCES FOR NON ACCESSIBLE AREAS.

INSULATION

- INSULATION TO MEET OR EXCEED MYS ECCC 2020 ENERGY CODE 2018 IBC AND 2020 SUPPLEMENTAL CODE INSULATION TO FOLLOW SPECIFICATIONS AS OUTLINED IN RESCHECK
- INSULATION TO FOLLOW SPECIFICATIONS AS OUTLINED IN RESC VAULTED CEILINGS INSULATED TO R45 OR GREATER ABOVE GRADE WALLS TO BE INSULATED TO R-32 OR GREATER FOUNDATION WALLS TO BE INSULATED TO R-10 OR GREATER FRAMED FLOORS TO BE INSULATED TO R-32 OR GREATER SLABS ON GRADE TO BE INSULATED TO R-10 UNDER SLAB.

REQUIRED INSULATION AS FOLLOWS

- CEILINGS: 4" SPRAYED CLOSED CELL CONTINUOUS INSULATION R6.5 per inch. WITH ROCKWOOL R235-12" for total of R49 WALLS: 3" SPRAED CLOSED CELL CONTINUOUSE INSULATION R6.5 PER INCH. WITH ROCKWOOL R15 3-12" FOR TOTAL OF R34.5 FLOORS: 3" SPRAYED CLOSED CELL CONTINUOUSE INSULATION R6.5 PER INCH. WITH ROCKWOOL R15 3-12" FOR TOTAL OF R34.5 SLABS 3" EXPANED POLYSTYRENE INSULATION FOR R12

PLUMBING NOTES

- All water supply, drainage and venting to be installed as per IBC 2020/2020 SUPPLEMENT, and shall meet Suffolk County Health Department requirements as stated on septic permit Verify septic system with the Engineer for Suffolk County Health Department
- approval.
 3). If wall studs, plates or joists are cut out during installation for any plumbing related work provide adequate bracing and plates to protect and secure the structure. Verify with the state code and manufacture's recommendation for maximum hole size and spacing permitted

HVAC SYSTEM NOTES

- 1). Mechanical subcontractor is responsible for adhearing to all applicable codes and safety
- 2). HVAC subcontractor is to fully coordinate all system data and requirements with the equipment supplier.
- 3), HVAC subcontractor to provide final system layout drawing / shop drawings and submit it the General Contractor and owner for final review and approval.

FLECTRICAL NOTES:

- All electrical to be installed as per IBC 2018/2020 SUPPLEMENT
 All electrical work shall be approved by a qualified Underwriter.
 Install Smoke detectors and Carbon Monoxide detectors throughout as required.
- by current N.Y.S. Residential Construction Code.

THESE NOTES ARE ONLY TO BE REFERRED TO IF MENTIONED IN

NAILING SCHEDULE

JOINT DESCRIPTION	NAIL QTY.	NAIL SPACING	NOTES
RAFTER TO	8' WALL: 3-8d COMMON	EACH	TOE-NAIL
TOP PLATE	10' WALL: 4-8d COMMON	RAFTER	
CEILING JOIST	8' WALL: 3-8d COMMON	EACH	TOE-NAIL
TO TOP PLATE	10' WALL: 4-8d COMMON	JOIST	
CEILING JOIST TO	AS PER TABLE 3.7	EACH	FACE
PARALLEL RAFTER	WFCM - SBC		NAIL
CEILING JOIST LAPS	AS PER TABLE 3.7	EACH	FACE
OVER PARTITION	WFCM - SBC	LAP	NAIL
COLLAR TIE	AS PER TABLE 3.4	EACH	FACE
TO RAFTER	WFCM - SBC	END	NAIL
BLOCKING	2 - 8d COMMON	EACH	TOE
TO RAFTER		END	NAIL
RIM BOARD	2 - 16d COMMON	EACH	END
TO RAFTER		END	NAIL

WALL FRAMING:			
JOINT DESCRIPTION	NAIL QTY.	NAIL SPACING	NOTES
TOP PLATE TO TOP PLATE	2 - 16d COMMON	PER FOOT	FACE NAIL SEE NOTE: 1
TOP PLATES AT INTERSECTIONS	4 - 16d COMMON	JOINTS EA. SIDE	FACE NAIL
OT DUTS DUTS	2 - 16d COMMON	24* O.C.	FACE NAIL
HEADER TO HEADER	16d COMMON	16" O.C. ALONG EDGES	FACE NAIL
TOP OR BOTTOM PLATE TO STUD	2 - 16d COMMON 3 - 16d COMMON	PER 2x4 STUD PER 2x6 STUD	END NAIL
BOTTOM PLATE TO: FLOOR JOIST, BAND JOIST, END JOIST OR BLOCKING	2 - 16d COMMON	PER FOOT	FACE NAIL SEE NOTE: 1,2

END JOIST OR BLOCKING		FOOT	SEE NO
LOOR FRAMING:			
JOINT DESCRIPTION	NAIL QTY.	NAIL SPACING	NOTES
JOIST TO:	4 - 8d COMMON	PER	TOE
SILL, TOP PLATE OR GIRDER		JOIST	NAIL
BRIDGING	2 - 8d COMMON	EACH	TOE
TO JOIST		END	NAIL
BLOCKING	2 - 8d COMMON	EACH	TOE
TO JOIST		END	NAIL
BLOCKING TO;	3 - 16d COMMON	EACH	TOE
SILL OR TOP PLATE		BLOCK	NAIL
LEDGER STRIP	3 - 16d COMMON	EACH	FACE
TO BEAM		JOIST	NAIL
JOIST ON LEDGER	3 - 8d COMMON	PER	TOE
TO BEAM		JOIST	NAIL
BAND JOIST TO JOIST	3 - 16d COMMON	PER	END NAIL
BAND JOIST TO: SILL OR TOP PLATE	2 - 16d COMMON	PER	TOE NAIL SEE NOTE: 1

SILL OH TOP PLA		H	
ROOF SHEATHING:			
JOINT DESCRIPTION	NAIL QTY.	NAIL SPACING	
STRUCTURAL PANEL 8d		AS PER TABLE 3.8	

FILING SHEATHING:	NAIL	NAIL
DINT DESCRIPTION	QTY.	SPACING
GYPSUM WALLBOARD	5d COOLERS	7" O.C. EDGE 10" O.C. FIELD

WALL SHEATHING:			
JOINT DESCRIPTION	NAIL QTY.	NAIL SPACING	
STRUCTURAL PANELS	8d COMMON	AS PER TABLE 3.9 WFCM - SBC	
7/16* OSB PLYWOOD	6d COMMON	3° O.C. EDGE 6° O.C. FIELD	
GYPSUM WALLBOARD	5d COOLERS	7" O.C. EDGE	

WALLBUAND	10 O.C. FIELD					
OOR SHEATHING:						
IOINT DESCRIPTION	NAIL QTY.	NAIL SPACING				
RUCTURAL PANELS	8d COMMON	6° O.C. EDGE				

. Nating requirements are based on wall sheathing natiod 6° on-center at the panel edge. If all sheathing is natiod 3° on-center at the panel edge to obtain higher shear capacities, nation outrements for structural members shall be doubted, or alternate compactors, such as shear

. When wall sheathing is continuous over connected all be permitted to be reduced to 1 - 16d nail per foo

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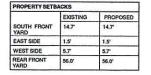
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148 BAY AVENUE

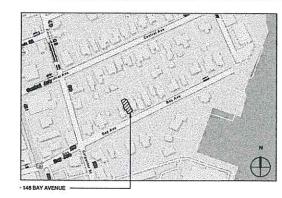
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GENERAL NOTES

T-002.00



COUNTY	SUFFOLK
TAX MAP NUMBER	1001-52-15
VILLAGE	GREENPORT
BLOCK	148
LOT	15
NUMBER OF FLOORS	3
LOT AREA	.08 ACRES OR 4,306,79 SQFT
ALLOWABLE BUILDING COVERAGE	1,292 OR 30%
EXISTING BUILDING COVERAGE	1,435 OR 33%
PROPOSED BUILDING COVERAGE	1,700 OR 39%
ZONING	R-2
ZONING MAP	GREENPORT VILLAGE
LANDMARK DESIGNATION	NONE
HISTORIC DISTRICT	YES
BUILDING HEIGHT	EXG 29 FT.
CONSTRUCTION CLASSIFICATION	VB- CONBUSTIBLE
OCCUPANCY USE GROUP	RESIDENTIAL R-2
ACCESSORY OCCUPANCY USE GROUP	-5
SPRINKERS SYSTEM	PARTIALLY SPRINKLERED (PROPOSED)



2 PLOT PLAN 2 1" = 80'-0"

2 PROPANE TANK METAL SHED 6' STOCKADE FENCE A-303,00 1 TAX LOT 7 FM LOT 55 TAX LOT 15 56' - 1 1/2" AC 6' STOCKADE FENCE A-303.00 WOOD/// SHED CARPENTER STREET (33' WIDE) \bigcirc N

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DRAWING REVISIONS

THIS APPLICATION IS APPROVED ONLY FOR WORK INDICATED ON THE APPLICATION SPECIFICATION SHEET. J OTHER MATTERS SHOWN ARE NOT TO BE RELIED UPON, O TO BE CONSEPERED AS ETHER BEING APPROVED OR IN

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BAY AVENUE (49.5' W)

148 BAY AVENUE

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Drawing Title:
PROPOSED SITE PLAN

A-100.00

PROPOSED SITE PLAN

DEMOLITION NOTES:

DI REMOVE ATTERIOR NON LOAD BEARING WALL

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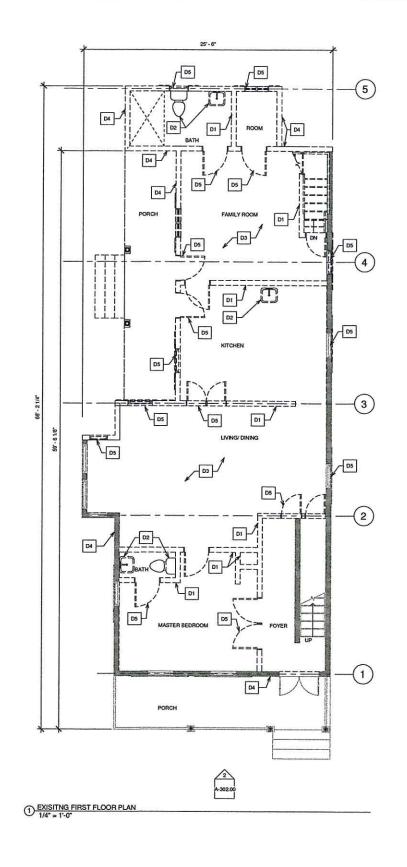
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DE REMOVE ROOF AND ROOF FRANKING FROM THIS LOCATIONS EXISTING STAIRS — WILL RETURN TO THE RIGHT & CONNECT TO EXT BILCO DOOR 4 **-**(3) EXISTING CHIMNEY TO BE REMOVED / D4 2 EXISTING BASEMENT 1/4" = 1'-0"



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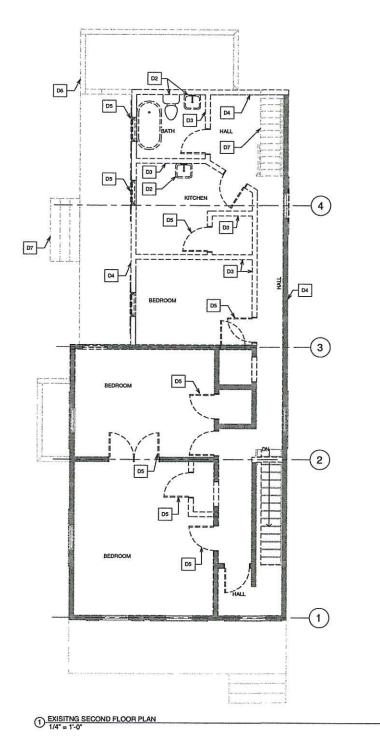
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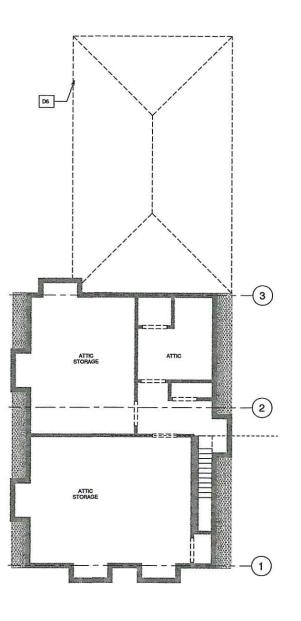
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148 BAY AVENUE

Drawing Title:
DEMOLITION PLANS

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2 EXISTING THIRD FLOOR

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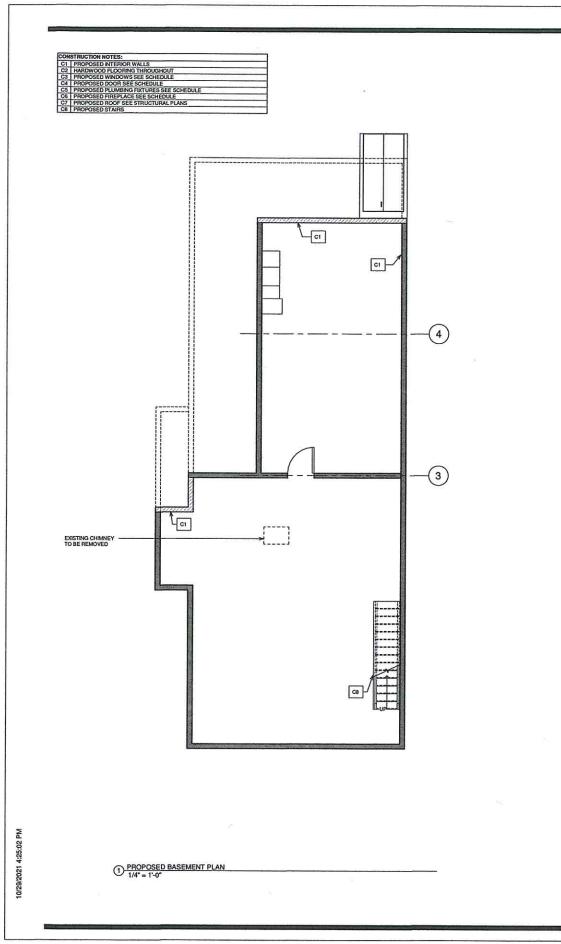
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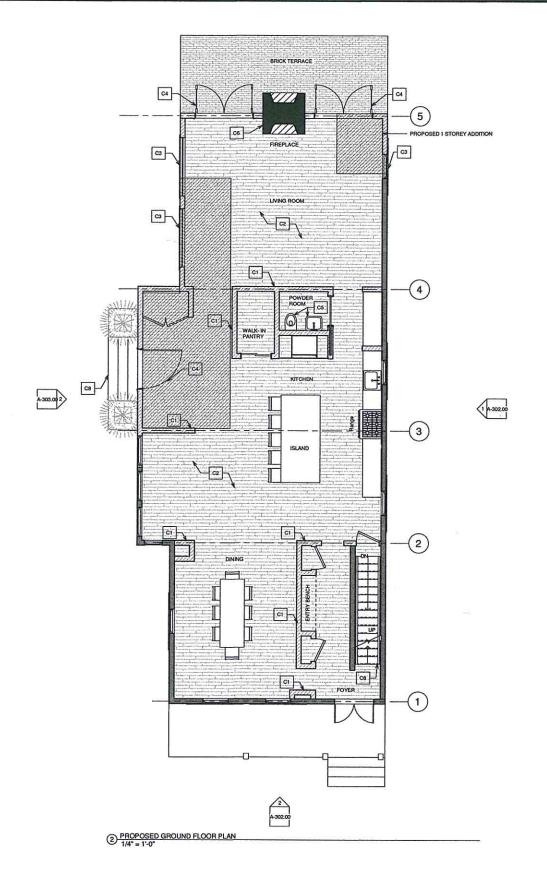
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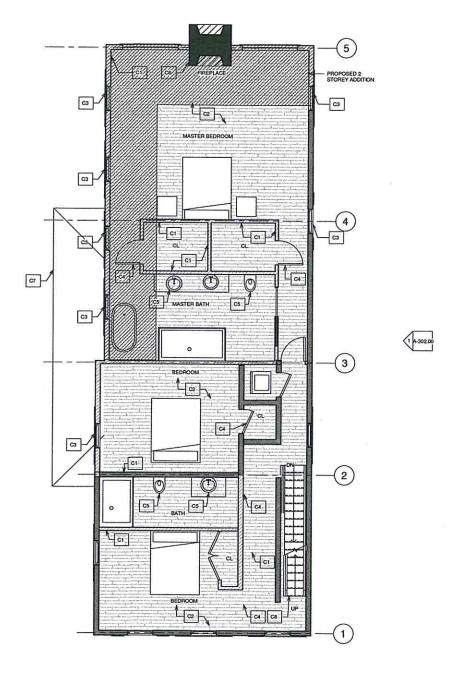
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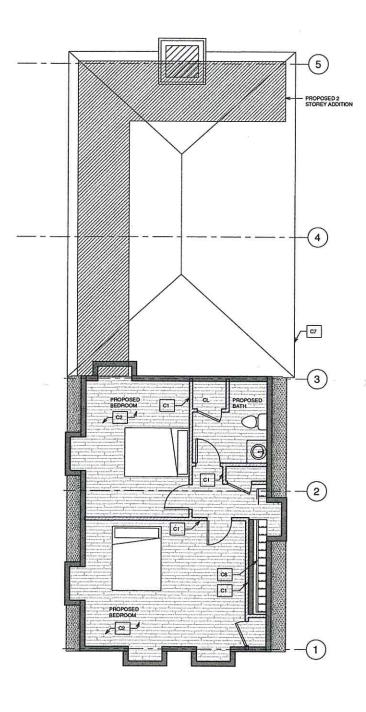
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148 BAY AVENUE

Drawing Title: PROPOSED PLANS

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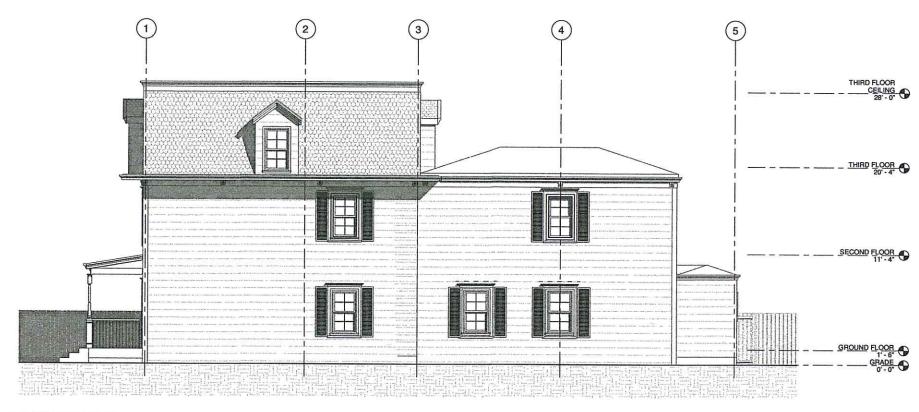
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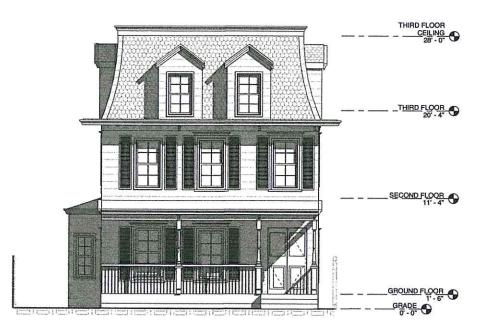
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1/4" = 1'-0"

PROPOSED THIRD FLOOR PLAN



1 EXISTING EAST ELEVATION



2 EXISTING NORTH ELEVATION

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148 BAY AVENUE

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1/4" = 1'-0"

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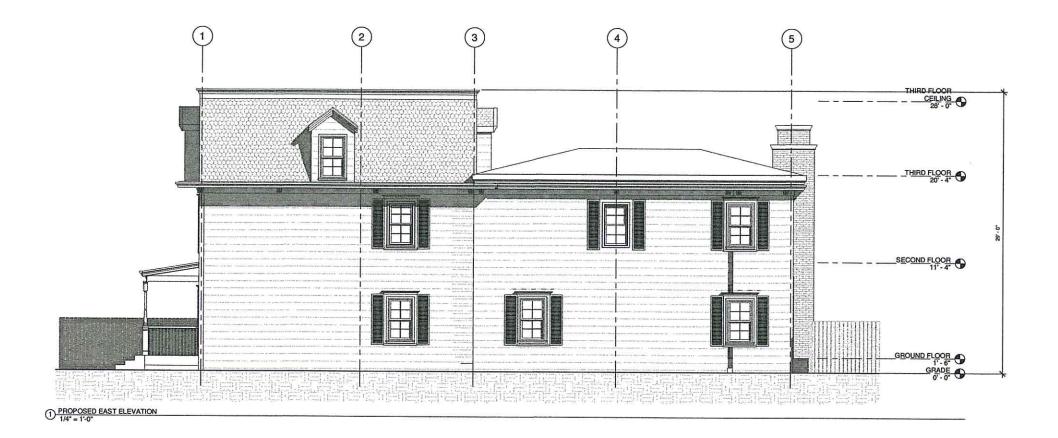
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Design

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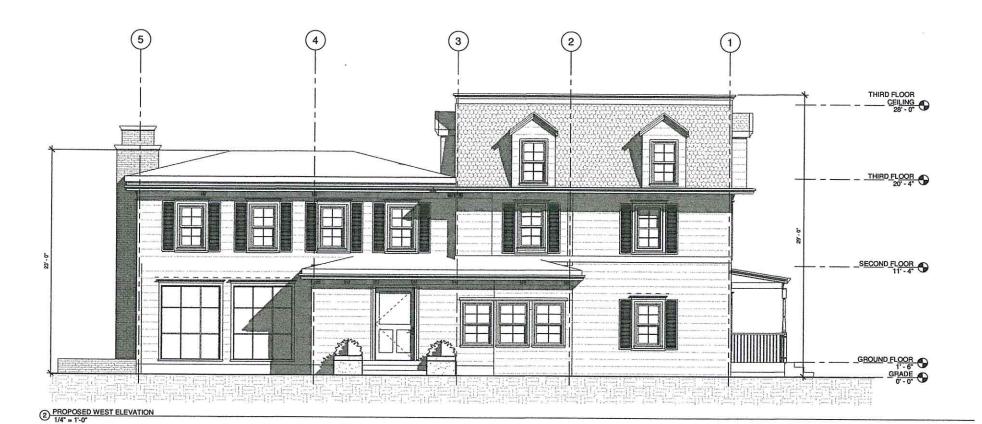
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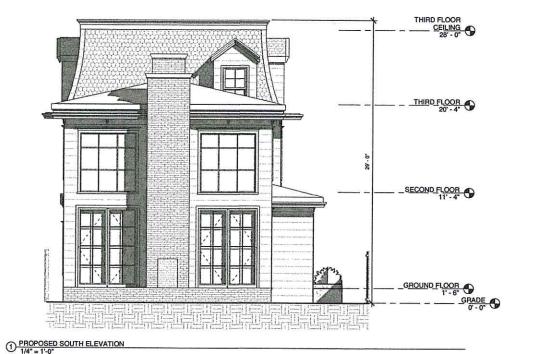
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