

PROJECT DATA

PROJECT SCOPE:

THE PROPOSED SCOPE OF WORK INCLUDES DEMOLITION, CONSTRUCTION OF INTERIOR NON-LOAD BEARING WALLS, EXTERIOR INFILL WALLS (UNDER EXISTING HEADERS), EXTERIOR AND INTERIOR DOORS, WINDOWS, APPLIANCES, PLUMBING FIXTURES, LIGHTING, FINISHES, AND ASSOCIATED PLUMBING AND ELECTRICAL WORK.

BUILDING SUMMARY:

ADDRESS: 817 MAIN STREET, GREENPORT, NY 11944
ZONING: R1 - ONE FAMILY RESIDENCE DISTRICT

THE PROPOSED CHANGES OF USE INVOLVE: 1) THE REVERSION OF A 1-STORY, EXISTING NON-CONFORMING UNCONDITIONED GARAGE BACK TO A CONDITIONED RESIDENTIAL SPACE WHICH IS TO BE UTILIZED AS A PHYSICIANS OFFICE, PERMITTED (ACCESSORY USE) AND 2) THE REVERSION OF AN EXISTING BED AND BREAKFAST (CONDITIONAL USE) BACK TO A SINGLE FAMILY RESIDENCE (PERMITTED USE).

GOVERNING CODES

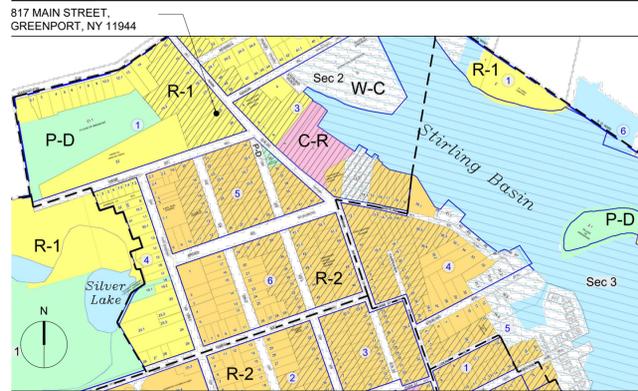
ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING CODES, AMENDMENTS, AND ANY ADOPTED CITY AMENDMENTS TO THESE CODES AND THEIR ORDINANCES:

- NEW YORK STATE RESIDENTIAL BUILDING CODE - 2020
- NEW YORK STATE MECHANICAL CODE - 2020
- NEW YORK STATE PLUMBING CODE - 2020
- NEW YORK STATE FIRE CODE - 2020
- NEW YORK STATE ENERGY CONSERVATION CODE - 2020
- NEW YORK STATE FUEL GAS CODE - 2020
- NATIONAL ELECTRIC CODE - 2017

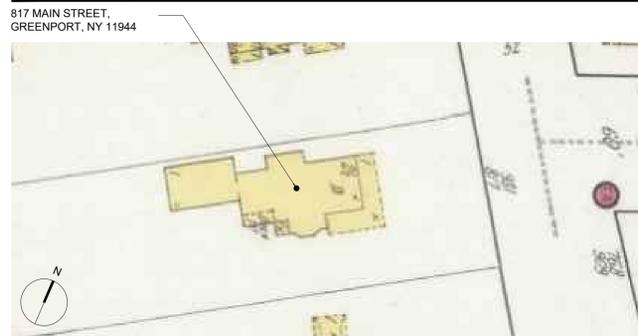
GOVERNING AGENCIES

VILLAGE OF GREENPORT BUILDING DEPARTMENT: 236 THIRD STREET, GREENPORT, NY 11944

VICINITY MAP (N.T.S.)



SANBORN MAP (N.T.S.)



NYSECC COMPLIANCE STATEMENT

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONALISM JUDGEMENT THESE PLANS AND SPECIFICATIONS ARE COMPLIANT WITH THE 2020 ENERGY CONSERVATION CODE OF NEW YORK STATE

RESIDENTIAL ENERGY EFFICIENCY (NYS)

R401.3 CERTIFICATE (MANDATORY)
A PERMANENT CERTIFICATE SHALL BE COMPLETED BY THE BUILDER OR OTHER APPROVED PARTY AND POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM OR AN APPROVED LOCATION INSIDE THE BUILDING. WHERE LOCATED ON AN ELECTRICAL PANEL, THE CERTIFICATE SHALL NOT COVER OR OBSTRUCT THE VISIBILITY OF THE CIRCUIT DIRECTORY LABEL, SERVICE DISCONNECT LABEL OR OTHER REQUIRED LABELS. THE CERTIFICATE SHALL INDICATE THE PREDOMINANT R-VALUES OF INSULATION INSTALLED IN OR ON CEILINGS, ROOFS, WALLS, FOUNDATION COMPONENTS SUCH AS SLABS, BASEMENT WALLS, CRAWL SPACE WALLS AND FLOORS AND DUCTS OUTSIDE CONDITIONED SPACES; U-FACTORS OF FENESTRATION AND THE SOLAR HEAT GAIN COEFFICIENT (SHGC) OF FENESTRATION, AND THE RESULTS FROM ANY REQUIRED DUCT SYSTEM AND BUILDING ENVELOPE AIR LEAKAGE TESTING PERFORMED ON THE BUILDING. WHERE THERE IS MORE THAN ONE VALUE FOR EACH COMPONENT, THE CERTIFICATE SHALL INDICATE THE VALUE COVERING THE LARGEST AREA. THE CERTIFICATE SHALL INDICATE THE TYPES AND EFFICIENCIES OF HEATING, COOLING AND SERVICE WATER HEATING EQUIPMENT. WHERE A GAS-FIRED UNVENTED ROOM HEATER, ELECTRIC FURNACE OR BASEBOARD ELECTRIC HEATER IS INSTALLED IN THE RESIDENCE, THE CERTIFICATE SHALL INDICATE "GAS-FIRED UNVENTED ROOM HEATER," "ELECTRIC FURNACE" OR "BASEBOARD ELECTRIC HEATER," AS APPROPRIATE. AN EFFICIENCY SHALL NOT BE INDICATED FOR GAS-FIRED UNVENTED ROOM HEATERS, ELECTRIC FURNACES AND ELECTRIC BASEBOARD HEATERS

R402.1 GENERAL (PRESCRIPTIVE)
THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH THE REQUIREMENTS OF SECTIONS R402.1.1 THROUGH R402.1.5.

EXCEPTIONS:
THE FOLLOWING LOW-ENERGY BUILDINGS, OR PORTIONS THEREOF, SEPARATED FROM THE REMAINDER OF THE BUILDING BY BUILDING THERMAL ENVELOPE ASSEMBLIES COMPLYING WITH THIS SECTION SHALL BE EXEMPT FROM THE BUILDING THERMAL ENVELOPE PROVISIONS OF SECTION R402.
1.1. THOSE WITH A PEAK DESIGN RATE OF ENERGY USAGE LESS THAN 3.4 BTU/H • FT² (10.7 W/M²) OR 1.0 WATT/FT² OF FLOOR AREA FOR SPACE-CONDITIONING PURPOSES. 1.2. THOSE THAT DO NOT CONTAIN CONDITIONED SPACE. LOG HOMES DESIGNED IN ACCORDANCE WITH ICC 400

RESIDENTIAL ENERGY EFFICIENCY (NYS) - CONT.

R402.3 FENESTRATION (PRESCRIPTIVE)
IN ADDITION TO THE REQUIREMENTS OF SECTION R402, FENESTRATION SHALL COMPLY WITH SECTIONS R402.3.1 THROUGH R402.3.5.

R402.4 AIR LEAKAGE (MANDATORY)
THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.1 THROUGH R402.4.5.

R402.4.3 FENESTRATION AIR LEAKAGE
WINDOWS, SKYLIGHTS AND SLIDING GLASS DOORS SHALL HAVE AN AIR INFILTRATION RATE OF NOT GREATER THAN 0.3 CFM PER SQUARE FOOT (1.5 L/S/M²), AND FOR SWINGING DOORS, NOT GREATER THAN 0.5 CFM PER SQUARE FOOT (2.6 L/S/M²), WHEN TESTED IN ACCORDANCE WITH NFRC 400 OR AAMA/WDMA/CSA 1011.S.2/A440 BY AN ACCREDITED, INDEPENDENT LABORATORY AND LISTED AND LABELED BY THE MANUFACTURER.

EXCEPTION: SITE-BUILT WINDOWS, SKYLIGHTS AND DOORS.

R403.3.2 SEALING (MANDATORY)
DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH EITHER THE MECHANICAL CODE OF NEW YORK STATE OR RESIDENTIAL CODE OF NEW YORK STATE, OR THE NEW YORK CITY CONSTRUCTION CODE, AS APPLICABLE.

EXCEPTIONS:
AIR-IMPERMEABLE SPRAY FOAM PRODUCTS SHALL BE PERMITTED TO BE APPLIED WITHOUT ADDITIONAL JOINT SEALS. FOR DUCTS HAVING A STATIC PRESSURE CLASSIFICATION OF LESS THAN 2 INCHES OF WATER COLUMN (500 PA), ADDITIONAL CLOSURE SYSTEMS SHALL NOT BE REQUIRED FOR CONTINUOUSLY WELDED JOINTS AND SEAMS, AND LOCKING-TYPE JOINTS AND SEAMS OF OTHER THAN THE SNAP-LOCK AND BUTTON-LOCK TYPES.

R403.3.5 BUILDING CAVITIES (MANDATORY)
BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS.

R403.4 MECHANICAL SYSTEM PIPING INSULATION (MANDATORY)
MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS GREATER THAN 105°F (41°C) OR LESS THAN 55°F (13°C) SHALL BE INSULATED TO AN R-VALUE OF NOT LESS THAN R-3.

R403.4.1 PROTECTION OF PIPING INSULATION
PIPING INSULATION EXPOSED TO WEATHER SHALL BE PROTECTED FROM DAMAGE, INCLUDING THAT CAUSED BY SUNLIGHT, MOISTURE, EQUIPMENT MAINTENANCE AND WIND. THE PROTECTION SHALL PROVIDE SHIELDING FROM SOLAR RADIATION THAT CAN CAUSE DEGRADATION OF THE MATERIAL. ADHESIVE TAPE SHALL BE PROHIBITED.

R403.10 POOLS AND PERMANENT SPA ENERGY CONSUMPTION (MANDATORY)
THE ENERGY CONSUMPTION OF POOLS AND PERMANENT SPAS SHALL BE IN ACCORDANCE WITH SECTIONS R403.10.1 THROUGH R403.10.3.

R403.10.1 HEATERS
THE ELECTRIC POWER TO HEATERS SHALL BE CONTROLLED BY A READILY ACCESSIBLE ON-OFF SWITCH THAT IS AN INTEGRAL PART OF THE HEATER MOUNTED ON THE EXTERIOR OF THE HEATER, OR EXTERNAL TO AND WITHIN 3 FEET (914 MM) OF THE HEATER. OPERATION OF SUCH SWITCH SHALL NOT CHANGE THE SETTING OF THE HEATER THERMOSTAT. SUCH SWITCHES SHALL BE IN ADDITION TO A CIRCUIT BREAKER FOR THE POWER TO THE HEATER. GAS-FIRED HEATERS SHALL NOT BE EQUIPPED WITH CONTINUOUSLY BURNING IGNITION PILOTS.

R403.10.2 TIME SWITCHES
TIME SWITCHES OR OTHER CONTROL METHODS THAT CAN AUTOMATICALLY TURN OFF AND ON ACCORDING TO A PRESET SCHEDULE SHALL BE INSTALLED FOR HEATERS AND PUMP MOTORS. HEATERS AND PUMP MOTORS THAT HAVE BUILT-IN TIME SWITCHES SHALL BE IN COMPLIANCE WITH THIS SECTION.

EXCEPTIONS:
WHERE PUBLIC HEALTH STANDARDS REQUIRE 24-HOUR PUMP OPERATION. PUMPS THAT OPERATE SOLAR- AND WASTE-HEAT-RECOVERY POOL HEATING SYSTEMS.

[NY] R403.10.3 COVERS
OUTDOOR HEATED POOLS AND OUTDOOR PERMANENT SPAS SHALL BE PROVIDED WITH A VAPOR-RETARDANT COVER OR OTHER APPROVED VAPOR-RETARDANT MEANS. OUTDOOR HEATED POOLS AND OUTDOOR HEATED PERMANENT SPAS HEATED TO MORE THAN 90°F (32°C) SHALL HAVE A POOL COVER WITH A MINIMUM INSULATION VALUE OF R-12.

EXCEPTION: WHERE MORE THAN 60 PERCENT OF THE ENERGY FOR HEATING IS FROM SITE-RECOVERED ENERGY OR A SOLAR ENERGY SOURCE, COVERS OR OTHER VAPOR-RETARDANT MEANS SHALL NOT BE REQUIRED.

R403.11 PORTABLE SPAS (MANDATORY)
THE ENERGY CONSUMPTION OF ELECTRIC-POWERED PORTABLE SPAS SHALL BE CONTROLLED BY THE REQUIREMENTS OF APSP 14.

R403.12 RESIDENTIAL POOLS AND PERMANENT RESIDENTIAL SPAS
RESIDENTIAL SWIMMING POOLS AND PERMANENT RESIDENTIAL SPAS THAT ARE ACCESSORY TO DETACHED ONE- AND TWO-FAMILY DWELLINGS AND TOWNHOUSES THREE STORIES OR LESS IN HEIGHT ABOVE GRADE PLANE AND THAT ARE AVAILABLE ONLY TO THE HOUSEHOLD AND ITS GUESTS SHALL BE IN ACCORDANCE WITH APSP 15A.

R404.1 LIGHTING EQUIPMENT (MANDATORY)
NOT LESS THAN 90 PERCENT OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LAMPS.

R503.2 CHANGE IN SPACE CONDITIONING
ANY NONCONDITIONED OR LOW-ENERGY SPACE THAT IS ALTERED TO BECOME CONDITIONED SPACE SHALL BE REQUIRED TO BE BROUGHT INTO FULL COMPLIANCE WITH THIS CODE.

EXCEPTION: WHERE THE SIMULATED PERFORMANCE OPTION IN SECTION R405 IS USED TO COMPLY WITH THIS SECTION, THE ANNUAL ENERGY COST OF THE PROPOSED DESIGN IS PERMITTED TO BE 110 PERCENT OF THE ANNUAL ENERGY COST OTHERWISE ALLOWED BY SECTION R405.3.

ENERGY REQUIREMENTS

RESIDENTIAL ENERGY EFFICIENCY
COUNTY: GREENPORT
CLIMATE ZONE: 4A
2020 NYSECC - TABLE R402.1.2

ITEM DESCRIPTION	PROPOSED DESIGN VALUE	CODE PRESCRIBED VALUE CITATION	COMPLIANCE
FENESTRATION U-FACTOR	U = .25	MAXIMUM: U-0.32	YES
SKYLIGHT U-FACTOR	N/A	MAXIMUM: U-0.55	N/A
GLAZED FENESTRATION SHGC	SHGC = .26	MAXIMUM: SHGC - .4	YES
CEILING R-VALUE	R = 49	MINIMUM: R-49	YES
WOOD FRAME WALL R-VALUE	R = 20	MINIMUM: R-20 or 13+5ci	YES
MASS WALL R-VALUE	N/A	MINIMUM: R-8/R-13	N/A
FLOOR R-VALUE	R = 19	MINIMUM: R-19	YES
BASEMENT WALL R-VALUE	N/A	MINIMUM: R-10/R-13	N/A
SLAB R-VALUE & DEPTH	N/A	MINIMUM: R-10 DEPTH MIN: 2 FT	N/A
CRAWL SPACE WALL R-VALUE	N/A	MINIMUM: R-10/R-13	N/A

DESIGN CRITERIA

LIVE LOADS (PSF)	VALUE
UNINHABITABLE ATTICS WITHOUT STORAGE	10
UNINHABITABLE ATTICS WITH LIMITED STORAGE	20
HABITABLE ATTICS & ATTICS SERVED WITH FIXED STAIRS	30
BALCONIES (EXTERIOR) & DECKS	40
FIRE ESCAPES	40
GUARDS & HANDRAILS	200
GUARD IN-FILL COMPONENTS	50
PASSENGER VEHICLE GARAGES	50
ROOMS OTHER THAN SLEEPING ROOMS	40
SLEEPING ROOMS	30
STAIRS	40

CLIMATIC & GEOGRAPHIC	VALUE
GROUND SNOW LOAD (PSF)	30
WIND - SPEED (MPH)	120
SEISMIC DESIGN CATEGORY	B
WEATHERING (CONCRETE)	SEVERE
FROST DEPTH (IN.)	42
TERMITE (PROBABILITY)	MODERATE-HEAVY
DECAY (PROBABILITY)	SLIGHT-MODERATE

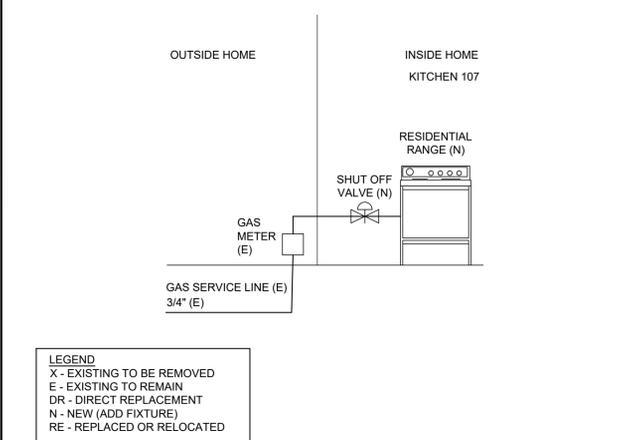
ZONING REQUIREMENTS

R-1 RESIDENTIAL ZONE / WITHIN HISTORIC NEIGHBORHOOD OVERLAY				
	REQUIRED/ PERMITTED	EXISTING	PROPOSED	
MIN REQUIRED SETBACKS				
FRONT YARD	30'	53'-10"	53'-10"	
SIDE YARD NORTH	12'- 30"	3'-0"	3'-0"	
SIDE YARD SOUTH	12'- 30"	17'-0"	17'-0"	
REAR YARD	30'-0"	72'-3"	72'-3"	
MAX LOT COVERAGE	30%	14%	18%	
MAX BUILDING HEIGHT	35'-0"	28'-5"	28'-5"	
MIN PROPERTY LINE SET BACK	5'-0"	3'-0"	3'-0"	
REQUIRED OFF-STREET PARKING	2 SPACES	2 SPACES	2 SPACES	
PROFESSIONAL PHYSICIAN OFFICE PARKING SPACES	5	5	5	

MAXIMUM FLOW AND WATER CONSUMPTION

MAXIMUM FLOW RATES AND CONSUMPTION FOR PLUMBING FIXTURES AND FIXTURE FITTINGS	
PLUMBING FIXTURE OR FIXTURE FITTING	MAXIMUM FLOW RATE OR QUANTITY
LAVATORY FAUCET	1.5 GPM AT 60 PSI
SHOWER HEAD	2.0 GPM AT 80 PSI
SINK FAUCET	2.2 GPM AT 60 PSI
WATER CLOSET	1.28 GALLONS PER FLUSHING CYCLE

GAS RISER DIAGRAM



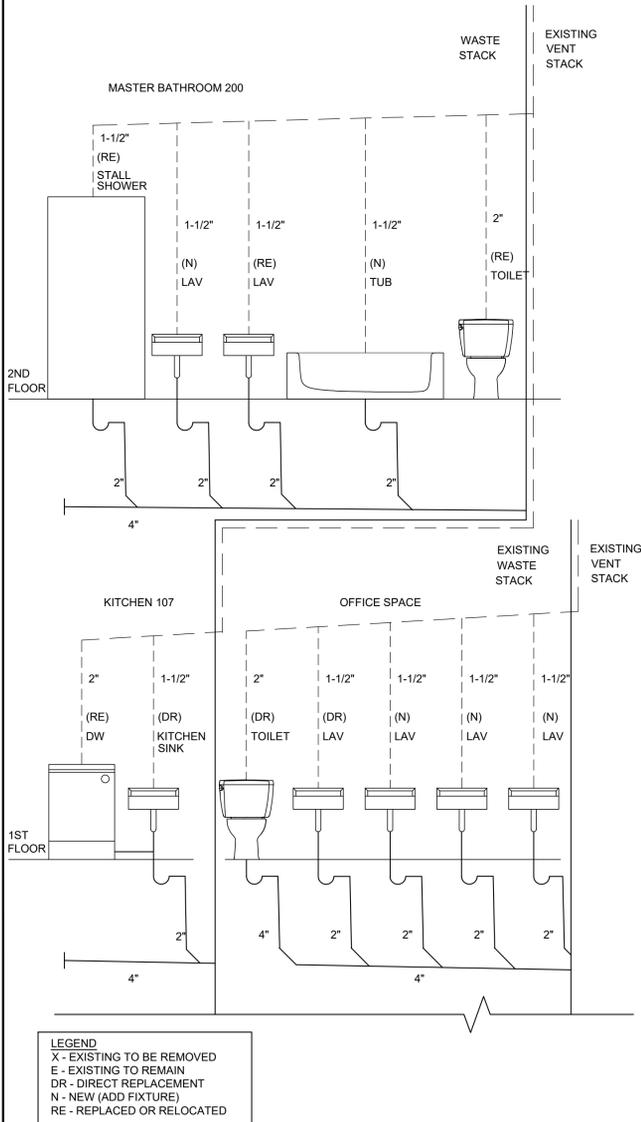
FILED UNDER SEPARATE PERMIT

- SWIMMING POOL.
- PERGOLA RENOVATION.

LIST OF DRAWINGS

SHEET NUMBER	SHEET TITLE
ARCHITECTURAL	
G.001	NYS DOB NOTES
G.002	GENERAL NOTES
A.010	SYMBOLS AND ABBREVIATIONS
A.020	ACCESSIBILITY DETAILS & TYPICAL MOUNTING HEIGHTS
A.030	SCHEDULES
A.031	DOOR AND WINDOW SCHEDULES
A.032	SCHEDULES
A.050	LANDSCAPE PLAN & SITE SURVEY
A.051	SITE PLAN
A.052	ZONING ANALYSIS
A.200	OFFICE FLOOR PLANS AND DETAILS
A.201	BATHROOM & KITCHEN PLANS AND DETAILS
A.300	1ST & 2ND FLOOR POWER PLANS
A.500	1ST & 2ND FLOOR FINISH PLANS
A.700	INTERIOR ELEVATIONS - KITCHEN
A.701	INTERIOR ELEVATIONS - MASTER BATHROOM
A.702	INTERIOR ELEVATIONS - OFFICE
A.703	INTERIOR ELEVATIONS - OFFICE
A.750	EXISTING AND PROPOSED EXTERIOR ELEVATIONS
A.900	CONSTRUCTION DETAILS
A.901	EXTERIOR RAMP DETAILS

PLUMBING RISER DIAGRAM



SAITTA GREENPORT
817 MAIN STREET
GREENPORT, NY 11944

Issue No.	Rev. No.	Date	Issued For
1		09/08/21	HPC
2		10/13/21	PLANNING BOARD
3		10/27/21	PROGRESS SET
4		11/01/21	PERMIT
5		12/15/21	ZONING COMMENTS
6		01/12/22	PERMIT
7		02/07/22	PERMIT

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DOB STAMPY SIGNATURES
DOB SIGN

NYS DOB NOTES

Project No. 210421-SIGP

G.001

CARPENTRY

- 6.1 CONVENTIONAL LUMBER
- A. FRAMING SHALL BE ERCTED PLUMB, LEVEL AND TRUE AND SECURELY NAILED. SOLID SAWN LUMBER SHALL BE GRADE STAMPED AT THE FACTORY, SURFACED DRY AND OF THE FOLLOWING SPECIFICATION AND GRADE FOR INDICATED USE.
- B. RAFTERS, STUDS AND PLATES: HEM, FIR NO. 1 OR (2X6 OR LARGER) DOUGLAS FIR LARCH NO. 2 FLOOR JOISTS, HEADERS, GIRDERS: DOUGLAS FIR LARCH NO. 2 FLITCH BEAMS STUDS AND PLATES (2X4); HEM, FIR STUD GRADE, EXTREME FIBER IN BENDING = 1450psi, MODULUS OF ELASTICITY = 1,700,000, MAXIMUM MOISTURE CONTENT = 19%
- C. ALL FLUSH HEADER BEAMS, ETC. SHALL BE SECURED WITH STEEL JOIST HANGERS. DOUBLE ALL JOISTS PARALLEL TO PARTITIONS ABOVE.
- D. ALL WORK SHALL COMPLY WITH THE CRITERIA SET FORTH IN THE TIMBER CONSTRUCTION MANUAL - LATEST EDITION.
- E. THE FOLLOWING STANDARDS APPLY TO THIS WORK AS MINIMUM REQUIREMENTS:
- HARDWOODS US COMMERCIAL STANDARDS CS 35
 - SOFT WOODS WEST COAST LUMBERMAN ASSOCIATION
 - PLYWOOD AMERICAN PLYWOOD ASSOCIATION
 - GRADE MARKING AMERICAN LUMBER STANDARDS COMMITTEE IN CONFORMITY WITH DEPARTMENT OF COMMERCE R163
- F. PROVIDE ALL ANCHORS, BOLTS, ANCHOR BOLTS, BRIDLE IRONS, JOIST HANGERS, TIERS, NAILS, STRAPS BOLTS AND ALL OTHER METAL FASTENING REQUIRED FOR THE PROPER INSTALLATION OF WORK.
- G. JOISTS TRUSSES AND RAFTERS SHALL BE BRIDGED AT 6 FEET ON CENTER MINIMUM WITH OPEN ROW OF 1"x3" CROSS BRIDGING ACCURATELY CUT AND FITTED WITH EACH PIECE NAILED AT EACH END WITH TWO NAILS.
- H. BEARING WALLS SHALL BE FRAMED WITH 2X DOUBLE SILLS AND DOUBLE PLATES, 2X STUDS AT THE SAME SPACING AT THE JOISTS ABOVE BUT NO MORE THAN 16" ON CENTER, WITH NOT LESS THAN ONE LINE OF HORIZONTAL BEARING. OPENINGS SHALL HAVE DOUBLE HEADERS UNLESS SPECIFIC SIZES ARE INDICATED ON PLANS OR DETAILS AND CRIPPLES FROM HEAD TO BOTTOM PLATE. PROVIDE FIRE STOPS AS REQUIRED.
- I. PROVIDE POSTS AND CORNER BLOCKING AT ALL INTERSECTIONS OF ALL WALLS AND SECURE WITH NAILS OR SCREWS TO ACHIEVE INTERLOCKING OF ALL WALLS.
- G. LATERAL NAIL HOLDING AND WITHDRAWAL ARE AS PROVIDED IN THE CODE FOR DOUGLAS FIR SAWN LUMBER. NAILS INSTALLED PARALLEL TO THE GLUE LINES ON THE NARROW FACE SHALL NOT BE SPACED CLOSER THAN 4 INCHES FOR 10 PENNY COMMON NAILS AND 3 INCHES FOR 8 PENNY COMMON NAILS. NAILS INSTALLED PERPENDICULAR TO THE GLUE LINES ON THE WIDE FACE SHALL BE INSTALLED IN ACCORDANCE WITH CODE. THESE NAILING SPECIFICATIONS ARE BASED ON A MEMBER AT LEAST 3/4" OF AN INCH THICK AND 3-1/2 INCHES WIDE. HOLDING POWER BOLTS INSTALLED PERPENDICULAR TO THE GLUE LINES IS AS PROVIDED IN THE CODE FOR DENSE DOUGLAS FIR. SPECIFIC APPROVAL IS REQUIRED FOR OTHER THAN NAILED AND BOLTED CONNECTIONS.
- I. THESE VALUES ARE SUBJECT TO ADJUSTMENT FOR DURATION OF LOAD AND FOR REPETITIVE MEMBER USE AS PROVIDED IN THE BUILDING CODE.
- H. IDENTIFICATION: THE MICRO-LAM LAMINATED VENEER LUMBER IS TO BE IDENTIFIED WITH A STAMP(S) NOTING THE NAME AND PLANT OF THE MANUFACTURER, THE GRADE, THE NATIONAL RESEARCH BOARD REPORT NUMBER AND THE QUALITY CONTROL AGENCY.
- 6.4 FRAMING
- A. SET ALL JOISTS AND GIRDERS WITH NATURAL CAMBER UP. DOUBLE UP FLOOR JOISTS UNDER PARTITIONS RUNNING PARALLEL TO JOISTS, OR AS PER PLANS. DOUBLE UP ROOF RAFTERS AROUND SKYLIGHTS.
- B. ALL WALLS SHALL BE ADEQUATELY BRACED UNTIL THE ENTIRE STRUCTURAL FRAME HAS BEEN INSTALLED AND IS STRUCTURALLY SOUND.
- C. PLYWOOD SHALL BE APA GRADE STAMPED. ROOF AND WALL SHEATHING AND SUBFLOORING: STANDARD C-D INTERIOR PLYWOOD WITH EXTERIOR GLUE; PANEL INDICATION INDEX 42/20 FOR 5/8 OF AN INCH THICK AND 32/18 FOR 1/2 OF AN INCH THICK. APPLY SHEATHING WITH FACE GRAIN PERPENDICULAR TO FRAMING SUPPORTS. USING 6d COMMON NAILS FOR 1/2 INCH AND 8d COMMON NAILS FOR 5/8 INCH.
- ROOF: 1/2"
 - FLOORS: 3/4" (TONGUE AND GROOVE)
 - WALLS: 1/2"
- D. ALL SUB-FLOORING TO BE 3/4" TONGUE AND GROOVE PLYWOOD SECURED WITH CONSTRUCTION ADHESIVE AND 1-1/2 INCH DECK SCREWS.

THERMAL AND MOISTURE PROTECTION

7.0 THERMAL AND MOISTURE PROTECTION

7.1 INSULATION AND MOISTURE CONTROL

- A. INSULATE FLOORS OF OVERHANGS AND FLOORS OVER CRAWL SPACES WITH R-19 (MIN. 6" THICK) FIBERGLASS BATT INSULATION. ALL EXTERIOR WALLS TO BE INSULATED WITH MINIMUM R-20, R13 + 5 ci FIBERGLASS BATT INSULATION UNLESS OTHERWISE NOTED.
- B. BATT INSULATION INSTALLED IN ATTIC AND CRAWL SPACES SHALL HAVE A CLASS III FLAME SPREAD 76-200, AS DETERMINED BY ASTM E84. COVERING OF INSULATION SHALL BE CLASS I FLAME SPREAD 0-25.
- C. FLASHING SHEET METAL: METAL FLASHING AND DRIP EDGES SHALL BE APPROVED SHEET METAL. PROVIDE FLASHING FOR CHIMNEYS, SADDLE, TOPS OF HORIZONTAL BANDS, SKIRTS, WINDOWS AND DOORS. INSTALL BASE FLASHING, WALL AND ROOF JOINT FLASHING, RIDGE, HIP, VALLEY AND EDGE FLASHING, CRICKETS, SKYLIGHT FLASHING, ETC., AS REQUIRED TO MAKE FOR WATER TIGHT JOINTS.
- D. INSTALL ALUMINUM GUTTERS AND LEADERS IF SHOWN ON THE DRAWINGS AND CONNECT TO SITE'S STORM WATER DRAINAGE SYSTEM (BY ENGINEER), KEEP LEADERS AND GUTTERS SEPARATED FROM THE ABUTTING WALL SURFACES TO AVOID STAINING AND CORROSION. PROVIDE PROPER JOINTS FOR EXPANSION AND CONTRACTION. (NIC)
- G. INSTALL TYVEK HOUSE WRAP OR EQUAL OVER EXTERIOR WALLS, WINDOW OPENINGS, AND DOOR OPENINGS IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. SEAL ALL SEAMS, JOINTS, CORNERS, FLASHINGS, HEADERS AND ALL EXTERIOR VENTING HOLES WITH 3M OR EQUAL CONTRACTOR SHEATHING TAPE #8086.
- H. CONTRACTOR TO CAULK ALL OPENINGS IN EXTERIOR WALLS. CAULKING TO BE FIRST QUALITY SILICONE SEALANT AS MANUFACTURED BY DOW OR EQUAL. INSTALLATION TO BE IN STRICT CONFORMANCE TO MANUFACTURER'S REQUIREMENTS, CONTRACTOR TO PROPERLY CLEAN AND PREPARE SURFACES AS REQUIRED.
- I. FLASH ALL EXTERIOR OPENINGS WITH APPROVED WATERPROOF BUILDING PAPER TO EXTEND AT LEAST 3" UNDER THE BUILDING PAPER BEHIND THE WALL COVERING OR GREATER AS SPECIFIED BY THE MANUFACTURER.

DEMOLITION NOTES

- THE CONTRACTOR SHALL VISIT AND FAMILIARIZE HIMSELF WITH AND CLARIFY ALL EXISTING CONDITIONS AND VARIANCES PRIOR TO SUBMITTAL OF PROPOSAL.
- OBTAIN PERMITS AND NOTICES AUTHORIZING DEMOLITION AS REQUIRED.
- CONTRACTOR TO COORDINATE ALL PHASES OF DEMOLITION FOR PROJECT AND NOTIFY ARCHITECT OF ANY DISCREPANCIES OR CONFLICTING CONDITIONS WHICH WOULD INTERFERE WITH THE SATISFACTORY COMPLETION OF THE WORK, PRIOR TO THE START OF DEMOLITION.
- COORDINATE DEMOLITION AND REMOVALS WITH THE OWNER PRIOR TO THE COMMENCEMENT OF WORK.
- DO NOT MIX RUBBISH WITH THAT OF BUILDING OCCUPANTS, REMOVE MATERIALS FROM BUILDING PREMISES AND LEGALLY DISPOSE OF.
- CAREFULLY REMOVE THOSE ITEMS TO BE SAVED FOR RELOCATION OR REUSE. CONTRACTOR SHALL COORDINATE WITH OWNER AS TO THE PROTECTION AND/OR STORAGE OF ANY ITEMS TO BE SAVED FROM DEMOLITION.
- DEMOLITION SHALL BE DONE IN A NEAT WORKMANLIKE MANNER, WITHIN THE LIMITS IN THE DRAWINGS AND IN ALL CASES TO THE EXTENT NEEDED TO PRODUCE THE INTENDED WORK.
- TAKE EXTRA PRECAUTION TO PROTECT FREQUENTLY USED ACCESS WAYS TO AREAS OF WORK FROM UNUSUAL WEAR AND TEAR.
- MAINTAIN THE INTEGRITY OF EXISTING PARTITIONS.

CONSTRUCTION NOTES

- ALL DIMENSIONS ARE FINISH TO FINISH, UNLESS OTHERWISE NOTED.
- THE GENERAL CONTRACTOR SHALL LAYOUT PARTITIONS STARTING FROM CONDITIONS WHERE ALIGNMENT WITH EXISTING CONSTRUCTION IS SHOWN.
- ALL GYPSUM BOARD PARTITIONS SHALL BE PROPERLY BRACED ACCORDING TO APPLICABLE CODE.
- ALL GYPSUM BOARD SHALL BE INSTALLED VERTICALLY IN FULL LENGTH SECTIONS.
- GYPSUM BOARD AT TOILETS AND AROUND PANTRY SINK TO BE MOLD AND MOISTURE RESISTANT (U.O.N.).
- ALL GYPSUM BOARD IS TO BE 5/8" (15MM) TYPE "X" (U.O.N.).
- FINAL PARTITION LAYOUT SHALL BE APPROVED BY ARCHITECT IN-FIELD PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL SUBMIT ALL SHOP DRAWINGS FOR APPROVAL TO ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
- ALL EXISTING CONSTRUCTION TO REMAIN SHALL BE PATCHED AND REPAIRED AS REQUIRED AND PREPARED TO RECEIVE NEW FINISHES PER FINISH PLAN.
- ALL SURFACES OR FINISHES TO REMAIN, IF DAMAGED DURING DEMOLITION OR ANY STAGE OF THE WORK, SHALL BE REPAIRED BY THE GENERAL CONTRACTOR AT HIS EXPENSE TO "LIKE NEW" CONDITION.
- CONTRACTOR TO FILL AND SEAL ALL FLOOR/PARTY WALL PENETRATIONS TO MAINTAIN ANY EXISTING FIRE RATINGS, FIREBLOCKING, AND/OR DRAFTSTOPPING.
- G.C. TO PROTECT ALL CEILINGS AND TO PATCH CEILING AND ANY AREA/SURFACE DAMAGED OR AFFECTED BY ELECTRICAL AND PLUMBING WORK IN THE CEILING.
- THE GENERAL CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS ON THE SITE WHICH MIGHT REQUIRE ACCESS DOORS, AND SHALL INCLUDE IN HIS BID AS A SEPARATE PRICE THE COST OF FURNISHING AND INSTALLING THESE ACCESS DOORS, STATING QUANTITY AND UNIT COST.

FIREBLOCKING AND DRAFTSTOPPING

R302.11 FIREBLOCKING

IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF BOTH VERTICAL AND HORIZONTAL CONCEALED DRAFT OPENINGS AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE.

FIREBLOCKING SHALL BE PROVIDED IN WOOD-FRAMED CONSTRUCTION IN THE FOLLOWING LOCATIONS:

- IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
 - VERTICALLY AT THE CEILING AND FLOOR LEVELS.
 - HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET (3048 MM).
- AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
- IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R302.7.
- AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E136 REQUIREMENTS.
- FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, SEE SECTION R1003.19.
- FIREBLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING UNIT SEPARATION.

R302.11.1 FIREBLOCKING MATERIALS

- EXCEPT AS PROVIDED IN SECTION R302.11, ITEM 4, FIREBLOCKING SHALL CONSIST OF THE FOLLOWING MATERIALS:
- TWO-INCH (51 MM) NOMINAL LUMBER.
 - TWO THICKNESSES OF 1-INCH (25.4 MM) NOMINAL LUMBER WITH BROKEN LAP JOINTS.
 - ONE THICKNESS OF 23/32-INCH (18.3 MM) WOOD STRUCTURAL PANELS WITH JOINTS BACKED BY 23/32-INCH (18.3 MM) WOOD STRUCTURAL PANELS.
 - ONE THICKNESS OF 3/4-INCH (19.1 MM) PARTICLEBOARD WITH JOINTS BACKED BY 3/4-INCH (19.1 MM) PARTICLEBOARD.
 - ONE-HALF-INCH (12.7 MM) GYPSUM BOARD.
 - ONE-QUARTER-INCH (6.4 MM) CEMENT-BASED MILLBOARD.
 - BATTS OR BLANKETS OF MINERAL WOOL OR GLASS FIBER OR OTHER APPROVED MATERIALS INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE.
 - CELLULOSE INSULATION INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263, FOR THE SPECIFIC APPLICATION.

R302.11.1.1 BATTS OR BLANKETS OF MINERAL OR GLASS FIBER

BATTS OR BLANKETS OF MINERAL OR GLASS FIBER OR OTHER APPROVED NONRIGID MATERIALS SHALL BE PERMITTED FOR COMPLIANCE WITH THE 10-FOOT (3048 MM) HORIZONTAL FIREBLOCKING IN WALLS CONSTRUCTED USING PARALLEL ROWS OF STUDS OR STAGGERED STUDS.

R302.11.1.2 UNFACED FIBERGLASS

UNFACED FIBERGLASS BATT INSULATION USED AS FIREBLOCKING SHALL FILL THE ENTIRE CROSS SECTION OF THE WALL CAVITY TO A HEIGHT OF NOT LESS THAN 16 INCHES (406 MM) MEASURED VERTICALLY, WHERE PIPING, CONDUIT OR SIMILAR OBSTRUCTIONS ARE ENCOUNTERED, THE INSULATION SHALL BE PACKED TIGHTLY AROUND THE OBSTRUCTION.

R302.11.1.3 LOOSE-FILL INSULATION MATERIAL

LOOSE-FILL INSULATION MATERIAL SHALL NOT BE USED AS A FIREBLOCK UNLESS SPECIFICALLY TESTED IN THE FORM AND MANNER INTENDED FOR USE TO DEMONSTRATE ITS ABILITY TO REMAIN IN PLACE AND TO RETARD THE SPREAD OF FIRE AND HOT GASES.

R302.11.2 FIREBLOCKING INTEGRITY

THE INTEGRITY OF FIREBLOCKS SHALL BE MAINTAINED.

R302.12 DRAFTSTOPPING

IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR-CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET (92.9 M2). DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS, WHERE THE ASSEMBLY IS ENCLOSED BY A FLOOR MEMBRANE ABOVE AND A CEILING MEMBRANE BELOW. DRAFTSTOPPING SHALL BE PROVIDED IN FLOOR-CEILING ASSEMBLIES UNDER THE FOLLOWING CIRCUMSTANCES:

- CEILING IS SUSPENDED UNDER THE FLOOR FRAMING.
- FLOOR FRAMING IS CONSTRUCTED OF TRUSS-TYPE OPEN-WEB OR PERFORATED MEMBERS.

R302.12.1 MATERIALS

DRAFTSTOPPING MATERIALS SHALL BE NOT LESS THAN 1/2-INCH (12.7 MM) GYPSUM BOARD, 3/8-INCH (9.5 MM) WOOD STRUCTURAL PANELS OR OTHER APPROVED MATERIALS ADEQUATELY SUPPORTED. DRAFTSTOPPING SHALL BE INSTALLED PARALLEL TO THE FLOOR FRAMING MEMBERS UNLESS OTHERWISE APPROVED BY THE BUILDING OFFICIAL. THE INTEGRITY OF THE DRAFTSTOPS SHALL BE MAINTAINED.

PLUMBING NOTES

THE PLUMBING SYSTEMS (SANITARY, WASTE, VENT AND WATER DISTRIBUTION) AND ALL ASSOCIATED EQUIPMENT SHALL BE CONSTRUCTED, INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CURRENT NEW YORK STATE PLUMBING CODE. ALL PLUMBING WORK SHALL COMPLY WITH CHAPTERS 1 THROUGH 15 OF THE NEW YORK STATE PLUMBING CODE.

- PROTECTION OF PIPING AND PLUMBING SYSTEM COMPONENTS AS OUTLINED IN SECTION PC305 SHALL BE PROVIDED AS REQUIRED.
- GENERAL PIPING MATERIALS SHALL BE AS PER SECTION PC303.
- PIPING SUPPORT SHALL BE AS DIRECTED IN SECTIONS PC308.
- WATER SUPPLY SYSTEM AND DISTRIBUTION SHALL BE AS DIRECTED IN SECTIONS PC601 THROUGH PC613. VALVES SHALL BE PROVIDED AT RISERS AND ELSEWHERE PER SECTION PC606.
- SANITARY MATERIALS, DRAINAGE, SIZING, GRADING, AND OFFSETS SHALL BE AS OUTLINED IN SECTIONS PC701 THROUGH PC716.
- CLEAN-OUTS SHALL BE AS PER SECTION PC708.
- TRAPS SHALL BE AS PER SECTIONS PC1002.
- VENT MATERIALS, SIZING, GRADING, CONNECTIONS, LOCATIONS AND OFFSETS SHALL BE AS DIRECTED IN SECTIONS PC901 THROUGH PC920.
- SPECIAL AND MISCELLANEOUS PIPING SHALL BE AS DIRECTED IN SECTION PC1201 THROUGH PC1203.

ELECTRICAL NOTES

- ONLY EQUIPMENT AND MATERIALS LISTED BY THE UNDERWRITERS LABORATORY SHALL BE USED FOR ALL NEW ELECTRICAL WORK.
- THE ELECTRICAL SUBCONTRACTOR IS RESPONSIBLE FOR ALL PERMITS AND APPROVALS FOR ELECTRICAL WORK AND SHALL ARRANGE FOR INSPECTION UPON COMPLETION. HE SHALL FURNISH "CERTIFICATE OF ELECTRICAL INSPECTION."
- G.C. IS TO VERIFY THAT THERE IS SUFFICIENT ELECTRICAL POWER AVAILABLE ON THE EXISTING ELECTRICAL PANEL TO COMPLETE THE INSTALLATION AS INDICATED.
- ELECTRICAL CONTRACTOR SHALL DISCONNECT, CONNECT AND PROVIDE NECESSARY ELECTRIC RUNS IN ORDER TO CONFORM WITH PLANS.
- SWITCHES, DUPLEX OUTLETS, COVER PLATES AND FLOOR MOUNTED OUTLETS SHALL BE INSTALLED BY COMPETENT ELECTRICIANS IN FIRST-CLASS MANNER.
- G.C. SHALL REVISE AND UPDATE LABELS FOR ALL CIRCUIT BREAKERS AT ALL ELECTRICAL CLOSETS OR PANELS ON THE JOB.
- G.C. SHALL COORDINATE WITH THE ELECTRICAL AND WOODWORK CONTRACTORS TO PROVIDE CUT-OUTS IN FIELD, AS REQUIRED, FOR EXTENSION OF ELECTRIC OUTLETS, CABLES, ETC. INTO CABINETWORK AS SPECIFIED.
- THE ELECTRICAL CONTRACTOR SHALL INCLUDE AND COORDINATE ELECTRICAL REQUIREMENTS FOR ALL HVAC EQUIPMENT, EXHAUST FANS, WATER HEATERS AND SPECIAL EQUIPMENT, ETC.
- THE INTENT IS TO PROVIDE A COMPLETE SYSTEM CONFORMING TO THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE AND ANY STATE OR LOCAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND INSPECTIONS OF THE WORK.
- CONTRACTOR TO VERIFY ALL SWITCHING LOCATIONS AND TYPES WITH THE OWNER PRIOR TO ROUGH-IN.
- CONTRACTOR TO VERIFY ALL LIGHTING LOCATIONS WITH THE OWNER PRIOR TO ROUGH-IN.
- ANY EXTERIOR OUTLETS SHALL HAVE GROUND FAULT CIRCUIT INTERRUPTER GFCI PROTECTION.
- CONTRACTOR TO PROVIDE STEEL PLATE 'RACO' PROTECTORS TO PROTECT ALL NON-METALLIC SHEATHED CABLES WITHIN 1-1/4" OF THE EDGE OF ANY STUD.
- FURNISH AND INSTALL ALL OUTLETS, SWITCHES, FIXTURES AND EQUIPMENT INDICATED, INCLUDING LIGHT BULBS, AND INSTALL ANY FIXTURES AND EQUIPMENT FURNISHED BY OWNER.
- NON-METALLIC SHEATHED CABLE SHALL BE CONCEALED OR PROTECTED.
- PROVIDE GROUND-FAULT-CIRCUIT-INTERRUPTERS (GFI) PROTECTION FOR ALL 125-VOLT, SINGLE PHASE, 15-AND 20- AMP BATHROOM, LAUNDRY, GARAGE AND EXTERIOR RECEPTACLES, COUNTERTOP RECEPTACLES WITHIN 6'-0" OF ALL SINK LOCATIONS, AND ALL KITCHEN RECEPTACLES.

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Issue No.	Rev. No.	Date	Issued For
1		09/08/21	HPC
2		10/13/21	PLANNING BOARD
3		10/27/21	PROGRESS SET
4		11/01/21	PERMIT
5		12/15/21	ZONING COMMENTS
6		01/12/22	PERMIT
7		02/07/22	PERMIT
-	-	-	-
-	-	-	-
-	-	-	-

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DOB STAMP / SIGNATURES

DOB BEGIN

GENERAL NOTES

Project No.
210421-SIGP

G.002

GRAPHIC SYMBOLS

GENERAL SYMBOLS

	EXISTING CONSTRUCTION TO REMAIN		KEYNOTE
	AREA N.I.C.	EX	DENOTES EXISTING TO REMAIN
		R	DENOTES RELOCATED EXISTING

DEMOLITION SYMBOLS

	ITEM TO BE REMOVED
--	--------------------

CONSTRUCTION SYMBOLS

	COLUMN GRID	XXX 000 AREA	ROOM NAME ROOM NUMBER ROOM AREA
	ELEVATION OR SECTION TAG		DOOR NUMBER (SEE SCHEDULE)
	DETAIL NUMBER		WINDOW LETTER (SEE SCHEDULE)
	SHEET NUMBER		ALIGN WITH ESTABLISHED SURFACES
	INDICATES AREA TO RECEIVE CUSTOM MILLWORK PROVIDED BY G.C. - SEE INTERIOR ELEVATIONS		REVISION REFERENCE
	INDICATES AREAS OF CABINERY FURNISHED BY OWNER'S CONSULTANT AND INSTALLED BY G.C. - G.C. TO SCHEDULE CONSULTANT		CENTRAL VACUUM BIB
	INDICATES AREAS OF CABINERY PROVIDED BY OWNER'S CONSULTANT. G.C. TO CONTACT AND SCHEDULE INSTALL		HOSE BIB
	NEW PARTITION		FROST PROOF HOSE BIB
	NEW KNEE WALL PARTITION		SHOWERHEAD
	INDICATES PARTITION TYPE		FLOOR DRAIN
	NEW C.M.U. PARTITION		R = # OF HANG RODS S = # OF SHELVES
	INDICATES PARTITION TYPE		SOFFIT OR BEAM ABOVE
	WATER HEATER		WATER HEATER
	FURNACE		FURNACE
	BOILER		BOILER
	AIR HANDLER		AIR HANDLER
	CIRCUIT BREAKER BOX		CIRCUIT BREAKER BOX

FINISH SYMBOLS

	CEILING FINISH
	WALL FINISH
	BASE FINISH
	FLOOR FINISH (SEE FINISH SCHEDULE)
	SPECIFIED FINISH (SEE FINISH SCHEDULE)
	INDICATES CENTER START POINT FOR FLOOR FINISH PATTERN GRID. ARROWS INDICATE DIRECTION TO CENTER GRID/JOINTS/TILES BETWEEN SURFACES.
	CARPET PATTERN DIRECTION
	WOOD FLOOR
	TILE FLOOR

DETAIL MATERIAL HATCHES

	PLYWOOD		EARTH		STONE
	MDF		CMU		SOLID SURFACE
	GRAVEL		EXISTING WALL		FINISH WOOD
	CERAMIC TILE		THIN SET		RIGID
	CONCRETE		STEEL		ALUMINUM
	CEMENT BOARD		DRYWALL		CARPET
	BRICK		BATT INSULATION		CLOSE CELL SPRAY FOAM

GRAPHIC SYMBOLS

POWER SYMBOLS

	CEILING MOUNTED DUPLEX RECEPTACLE
	FLUSH FLOOR MOUNTED DUPLEX RECEPTACLE
	FLUSH FLOOR MOUNTED QUADRUPLEX RECEPTACLE OUTLET
	WALL MOUNTED SIMPLEX RECEPTACLE
	WALL MOUNTED DUPLEX RECEPTACLE
	WALL MOUNTED QUADRUPLEX RECEPTACLE
	WALL MOUNTED DEDICATED SIMPLEX RECEPTACLE
	WALL MOUNTED DEDICATED DUPLEX RECEPTACLE
	WALL MOUNTED SPECIALTY APPLIANCE/EQUIPMENT RECEPTACLE. CONTRACTOR TO VERIFY POWER REQUIREMENTS AND LOCATION WITH MANUFACTURER'S SPECIFICATIONS. SWITCH-CONTROLLED OUTLET (SEE CORRESPONDING SWITCH # ON RCP)
	WALL MOUNTED RECESSED CLOCK OUTLET
	WALL MOUNTED WATERPROOF EXTERNAL RATED OUTLET
	SINGLE ELECTRICAL RECEPTACLE MOUNTED INTO SYSTEM FURNITURE PANEL OR MILLWORK.
	DUPLEX ELECTRICAL RECEPTACLE MOUNTED INTO SYSTEM FURNITURE PANEL OR MILLWORK.
	QUADRUPLEX ELECTRICAL RECEPTACLE MOUNTED INTO SYSTEM FURNITURE PANEL OR MILLWORK.
	ELECTRICAL PLUG MOLD
	GFCI
	USB
	S

LOW VOLTAGE SYMBOLS

	CEILING MOUNTED TELEPHONE JACK RECEPTACLE
	CEILING MOUNTED DATA RECEPTACLE (# INDICATES NUMBER OF CABLE RUNS TO RECEPTACLE AND "X" INDICATES NUMBER OF DATA JACKS AT THE RECEPTACLE)
	CEILING MOUNTED TELEPHONE/DATA RECEPTACLE
	FLOOR MOUNTED TELEPHONE RECEPTACLE
	FLOOR MOUNTED DATA RECEPTACLE. (# INDICATES NUMBER OF CABLE RUNS TO THE RECEPTACLE AND "X" INDICATES NUMBER OF JACKS AT THE RECEPTACLE)
	FLOOR MOUNTED TELEPHONE/DATA RECEPTACLE
	FLOOR MOUNTED TV RECEPTACLE
	WALL MOUNTED TELEPHONE RECEPTACLE
	WALL MOUNTED DATA RECEPTACLE (# INDICATES NUMBER OF CABLE RUNS TO RECEPTACLE AND "X" INDICATES NUMBER OF DATA JACKS AT THE RECEPTACLE)
	WALL MOUNTED TELEPHONE/DATA RECEPTACLE
	WALL MOUNTED TV RECEPTACLE
	WALL MOUNTED SINGLE USB CHARGER
	FLOOR MOUNTED HARDWIRE (WHIP) POWER/DATA/ TELEPHONE CONNECTION FOR SYSTEM FURNITURE. (SEE SYSTEM FURNITURE FOR # OF POWER/DATA/TELEPHONE RUNS)
	WALL MOUNTED HARDWIRE (WHIP) POWER/ DATA/TELEPHONE CONNECTION FOR SYSTEM FURNITURE. (SEE SYSTEM FURNITURE FOR # OF POWER/DATA/TELEPHONE RUNS)
	QUADRUPLEX TELEPHONE/DATA RECEPTACLE MOUNTED INTO SYSTEM FURNITURE PANEL OR MILLWORK.
	BLANK FACEPLATE CORD PULL (ULTR PRO 1 BRUSH WALL PLATE OR SIM). TYPICALLY ONE HIGH ON THE WALL MOUNTED BEHIND A WALL MOUNTED TV AND ONE LOW ON THE WALL WHERE EQUIPMENT BOXES WILL SIT. CONNECT BEHIND THE WALL WITH A CONDUIT.
	WALL MOUNTED RECESSED LOW VOLTAGE AUDIO / VIDEO FACEPLATE AT EACH END OF CONDUIT. PRE-WIRE A/V FACEPLATE BEHIND WALL. FACEPLATE SHOULD BE A TRIPLE SIZE (3G) WALL PLATE W/ 1 SET AUDIO RCA, 1 COAX, 1 CAT5E DATA JACK, 2 SETS COMPONENT RCA, 1 COMPOSITE VIDEO RCA, 1 S-VIDEO, 1 VGA DB15, AND 2 HDMI. VERIFY MOUNTING HEIGHT WITH OWNER PRIOR TO INSTALLATION.

DEVICE SYMBOLS

	CARD READER		KEY PAD
	INTERCOM DEVICE		MOTION DETECTOR
	DOOR RELEASE BUTTON		WIRELESS ACCESS POINT
	DOOR BELL		ELECTRIC METER
	ELECTROMAGNETIC DOOR HOLD OPEN		GAS METER
	ELECTRIC LOCKSET		WATER METER
	MAGNETIC LOCK		FIRE WARDEN STATION
	SECURITY SYSTEM DOOR MONITOR CONTACT		FIRE ALARM PULL BOX
	INTRUSION ALARM		JUNCTION BOX
	KEY SWITCH		

PLUMBING SYMBOLS

	EXIST VENT STACK
	EXIST SOIL STACK
	NEW VENT STACK
	NEW SOIL STACK

GRAPHIC SYMBOLS

REFLECTED CEILING SYMBOLS

	ACOUSTICAL CEILING GRID (SEE FINISH SCHEDULE)
	INDICATES CEILING/SOFFT HEIGHT FROM EXISTING STRUCTURE SLAB
	INDICATES CENTER START POINT FOR DROPPED CEILING GRID. ARROWS INDICATE DIRECTION TO CENTER GRID/JOINTS/TILES BETWEEN SURFACES.
	AREA OF NEW GWB CEILING

LIGHTING/SWITCHING SYMBOLS

	"# " INDICATES SWITCH DESTINATION (ALL FIXTURES) "J" INDICATES A JAMB SWITCH
	RECESSED FIXTURE
	RECESSED ADJUSTABLE FIXTURE
	RECESSED WALL-WASHER FIXTURE
	SURFACE MOUNTED FIXTURE
	PENDANT FIXTURE
	WALL SCONCE FIXTURE
	DROP IN FIXTURE
	TRACK LIGHTING FIXTURE
	SURFACE MOUNTED LINEAR FIXTURE (SEE LIGHT FIXTURE SCHEDULE)
	PENDANT MOUNTED LINEAR FIXTURE (SEE LIGHT FIXTURE SCHEDULE)
	UNDER CABINET COVE FIXTURE (SEE LIGHT FIXTURE SCHEDULE)
	CEILING FAN
	FLOOD FIXTURE (SEE LIGHT FIXTURE SCHEDULE)
	WALL MOUNTED LIGHT SWITCH. # DENOTES CORRESPONDING FIXTURE SWITCHING (LETTER J DENOTES JAMB SWITCH)(LETTER M DENOTES MOTION SENSOR IN ADDITION TO SWITCH)(LETTER E DENOTES EXHAUST FAN) (LETTER RF DENOTES RADIANT FLOOR THERMOSTAT)
	WALL MOUNTED LIGHT SWITCH W/ DIMMER CONTROL. # DENOTES CORRESPONDING FIXTURE SWITCHING (LETTER J DENOTES JAMB SWITCH)(LETTER M DENOTES MOTION SENSOR IN ADDITION TO SWITCH)
	WALL MOUNTED OUTLET SWITCH. # DENOTES CORRESPONDING OUTLET SWITCHING
	WALL MOUNTED OUTLET SWITCH W/ DIMMER CONTROL. # DENOTES CORRESPONDING OUTLET SWITCHING
	VOLUME CONTROL
	"EM" TAG DENOTES A FIXTURE SHOULD BE CONNECTED TO AN EMERGENCY BATTERY BACKUP. SEE MANUFACTURER'S SPECIFICATIONS TO ORDER CORRECT COMPONENTS.

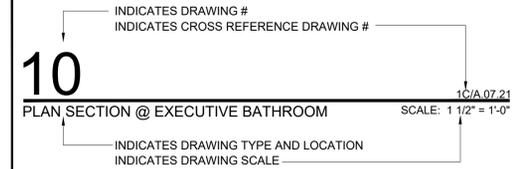
LIFE SAFETY SYMBOLS

	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	SMOKE / CARBON MONOXIDE DETECTOR
	SPEAKER
	SURFACE MOUNTED CEILING SPEAKER
	WALL MOUNTED SPEAKER
	RECESSED WALL SPEAKER
	STROBE
	FIRE SPRINKLER
	WALL MOUNTED FIRE SPRINKLER
	CEILING MOUNTED EXIT SIGN, SHOWS QUANTITY OF FACE(S) AND DIRECTION OF ARROWS
	WALL MOUNTED EXIT SIGN, SHOWS QUANTITY OF FACE(S) AND DIRECTION OF ARROWS
	WALL MOUNTED EXIT SIGN WITH EMERGENCY LIGHTS, SHOWS QUANTITY OF FACE(S) AND DIRECTION OF ARROWS
	WALL MOUNTED EMERGENCY LIGHTS
	SECURITY CAMERA

HVAC/EQUIPMENT SYMBOLS

	INDICATES DUCTWORK ABOVE. SEE ENGINEERING DRAWINGS FOR EXACT DUCT LOCATIONS.		SUPPLY DIFFUSER IN CEILING
	LINEAR RETURN PLENUM LOCATION INSTALLED IN VERTICAL SURFACE		SUPPLY DIFFUSER IN WALL
	LINEAR SUPPLY PLENUM LOCATION INSTALLED IN VERTICAL SURFACE		SUPPLY DIFFUSER IN FLOOR
	LINEAR RETURN PLENUM LOCATION INSTALLED IN HORIZONTAL SURFACE		RETURN REGISTER IN CEILING
	LINEAR SUPPLY PLENUM LOCATION INSTALLED IN HORIZONTAL SURFACE		RETURN REGISTER IN WALL
			RETURN REGISTER IN FLOOR
	THERMOSTAT		ACCESS PANEL
	EXHAUST FAN		

DRAWING TITLES



ABBREVIATIONS

#	Pound OR Number	EQ	Equal	OC	On Center
&	And	EX	Existing	OH	Opposite Hand
@	At	EXP JT	Expansion Joint	OZ	Ounce
ACT	Acoustic Ceiling Tile	EXT	Exterior	PCC	Pre-Cast Concrete
AD	Area Drain	FD	Floor Drain or Fire Department	PLUMB	Plumbing
AFF	Above Finished Floor	FEC	Fire Extinguisher	PLYD	Plywood
ALUM	Aluminum			PT	Pressure Treated
ANOD	Anodized			PNT	Paint or Painted
BMT	Basecoat	FIXT	Fixture	PVC	Polyvinyl Chloride
BYND	Beyond	FLR	Floor	RBR	Rubber
BOT	Bottom	FM	Filled Metal	RCP	Reflected Ceiling Plan
CIP	Cast In Place	FO	Face Of	RD	Roof Drain
CHNL	Channel	FND	Foundation	REQD	Required
CJ	Control Joint	GA	Gauge	RM	Room
CLG	Ceiling	GALV	Galvanized	SIM	Similar
CLR	Clear	GC	General Contractor	SPEC	Specification
CMU	Concrete Masonry Unit	GWB	Gypsum Wall Board		
COL	Column	HC	Hollow Core	SPK	Sprinkler or Speaker
COMPR	Compressible	HI	High	SSTL	Stainless Steel
CONC	Concrete	HM	Hollow Metal	STC	Sound Transmission Coefficient
CONT	Continuous	HP	High Point	STL	Steel
CPT	Carpet	HR	Hour	STRUC	Structure or Structural
CT	Ceramic Tile	HVAC	Heating, Ventilating, and Air Conditioning	T&G	Tongue And Groove
CTYD	Courtyard	IRGWB	Impact Resistant Gypsum Wall Board	TELE	Telephone
DBL	Double			TLT	Toilet
DEMO	Demolish or Demolition	ILO	In Lieu Of	TO	Top Of
DIA	Diameter	INSUL	Insulated or Insulation	TOC	Top Of Concrete
DIM	Dimension	INT	Interior	TOS	Top Of Steel
DIMS	Dimensions	LO	Low	TPD	Toilet Paper Dispenser
DN	Down	MAX	Maximum	T/D	Telephone/Data
DR	Door	MO	Masonry Opening	TYP	Typical
DWG	Drawing	MECH	Mechanical	UON	Unless Otherwise Noted
EA	Each	MEMBR	Membrane	U/S	Underside
EJ	Expansion Joint	MRGWB	Moisture-Resistant Gypsum Wall Board	VIF	Verify In Field
EL	Elevation	MTL	Metal	VP	Version Panel
ELEV	Elevator or Elevation	NIC	Not In Contract	W	With
EPDM	Ethylene Propylene Diene M-Class (Roofing)	NO	Number	WD	Wood
		NOM	Nominal	XXX	Letters

DRAWING / PROJECT DEFINITIONS

A-XX:	CONSTRUCTION DOCUMENTS - DRAWINGS SUPPLIED FOR BIDDING AND CONSTRUCTION (SEE TITLE BLOCK FOR MOST RECENT DATED RELEASE)
SK-XX:	DESIGN SKETCH - DRAWING PREPARED FOR OWNER APPROVAL OR GENERAL CONTRACTOR COMMENTS.
ASK-XX:	ADDENDUM SKETCH (DURING BID PHASE) - DRAWING PREPARED FOR ADDITIONAL CLARIFICATION TO CONSTRUCTION DOCUMENTS DURING THE BID PHASE. ASK'S BECOME PART OF THE CONTRACT FOR CONSTRUCTION FOR CONSTRUCTION BETWEEN OWNER AND GENERAL CONTRACTOR.
CSK-XX:	CONSTRUCTION SKETCH (DURING CONSTRUCTION PHASE) - DRAWING PREPARED FOR OWNER APPROVED CHANGES OR ARCHITECT CLARIFICATIONS. CSK'S BECOME PART OF SCOPE OF WORK AND THE CONSTRUCTION DOCUMENTS.
CCD-XX:	CONSTRUCTION CHANGE DIRECTIVE - WRITTEN COMMUNICATION PREPARED BY THE OWNER OR ARCHITECT REQUESTING CHANGES TO THE CONSTRUCTION DOCUMENTS.
CO-XX:	CHANGE ORDER - WRITTEN DOCUMENT PREPARED BY THE GENERAL CONTRACTOR IN RESPONSE TO A CONSTRUCTION CHANGE DIRECTIVE OR CONSTRUCTION SKETCH LISTING CHANGE OF COST OF WORK (CONTRACT SUM) AND CHANGE TO TIME OF WORK (CONTRACT TIME), IF ANY, FOR OWNER APPROVAL.
PUNCH-LIST:	A WRITTEN DOCUMENT, PREPARED BY THE GENERAL CONTRACTOR AND SUBMITTED TO THE ARCHITECT, THAT REPRESENTS ALL ITEMS OF WORK LEFT TO BE COMPLETED AT THE TIME OF SUBSTANTIAL COMPLETION. THE ARCHITECT HAS THE RIGHT TO ADD ITEMS INCLUDED IN THE CONSTRUCTION DOCUMENTS BUT OVERLOOKED BY THE GENERAL CONTRACTOR TO THE LIST.
VISUAL REFERENCE BOOK:	A VISUAL DOCUMENT PREPARED BY THE ARCHITECT FOR OWNERS VISUAL REFERENCE OF PRODUCTS SPECIFIED. THIS DOCUMENT IS PROVIDED TO THE GENERAL CONTRACTOR AS A GENERAL REFERENCE GUIDE. WRITTEN SCHEDULES AND CONSTRUCTION DRAWINGS TAKE PRECEDENCE IF A CONFLICT OCCURS. THE GENERAL CONTRACTOR SHOULD NOTIFY THE ARCHITECT IMMEDIATELY OF ANY CONFLICTS.
SHOP DRAWINGS:	DRAWINGS, DIAGRAMS, AND OTHER DATA SPECIFICALLY PREPARED FOR THE WORK BY THE CONTRACTOR OR A SUBCONTRACTOR, SUB-SUBCONTRACTOR, MANUFACTURER, SUPPLIER, OR DISTRIBUTOR TO ILLUSTRATE SOME PORTION OF WORK. REFER TO REQUIRED SHOP DRAWINGS IDENTIFIED WITH (SD).
PRODUCT DATA:	ILLUSTRATIONS, STANDARD SCHEDULES, PERFORMANCE CHARTS, INSTRUCTIONS, BROCHURES, DIAGRAMS, AND OTHER INFORMATION FURNISHED BY THE CONTRACTOR TO ILLUSTRATE MATERIALS OR EQUIPMENT FOR SOME PORTION OF THE WORK. REFER TO REQUIRED PRODUCT DATA SHEET IDENTIFIED WITH (PD).
SAMPLES:	PHYSICAL EXAMPLES THAT ILLUSTRATE MATERIALS, EQUIPMENT, OR WORKMANSHIP AND ESTABLISH STANDARDS BY WHICH THE WORK WILL BE JUDGED. REFER TO REQUIRED SAMPLES IDENTIFIED WITH (SA).
PROJECT RECORD BINDER:	A WRITTEN COMPILATION OF DOCUMENTATION PREPARED BY THE GENERAL CONTRACTOR THAT INCLUDES ANY REQUIRED AS BUILT DRAWINGS, FINISH, FIXTURE AND EQUIPMENT PRODUCT CUT SHEETS, MANUFACTURER WARRANTIES AND USER/MAINTENANCE MANUALS AS APPLICABLE. REFER TO REQUIRED SUBMITTALS IDENTIFIED WITH (PR).
MATERIAL MANUAL:	A 4' X 8' PLYWOOD BOARD LOCATED ON THE JOBSITE WITH ALL APPROVED SAMPLES APPROPRIATELY LABELED/IDENTIFIED AND FASTENED TO THE BOARD WITH VELCRO TAPE (SEE TYPICAL MATERIAL BOARD DETAIL). REFER TO REQUIRED MATERIAL BOARD ITEMS IDENTIFIED WITH (MAT).

SCOPING DEFINITIONS

- FURNISH:** TO SUPPLY AND DELIVER TO THE PROJECT SITE, READY FOR UNLOADING, UNPACKING, ASSEMBLY, INSTALLATION AND SIMILAR OPERATIONS
- INSTALL:** TO UNLOCK, UNPACK, ASSEMBLE, ERECT, PLACE, ANCHOR, APPLY, WORK TO DIMENSIONS, FINISH, CUT, PROTECT, CLEAN AND PERFORM SIMILAR OPERATIONS AT THE PROJECT SITE
- PROVIDE:** TO FURNISH AND INSTALL AS DESCRIBED ABOVE



SAITTA GREENPORT

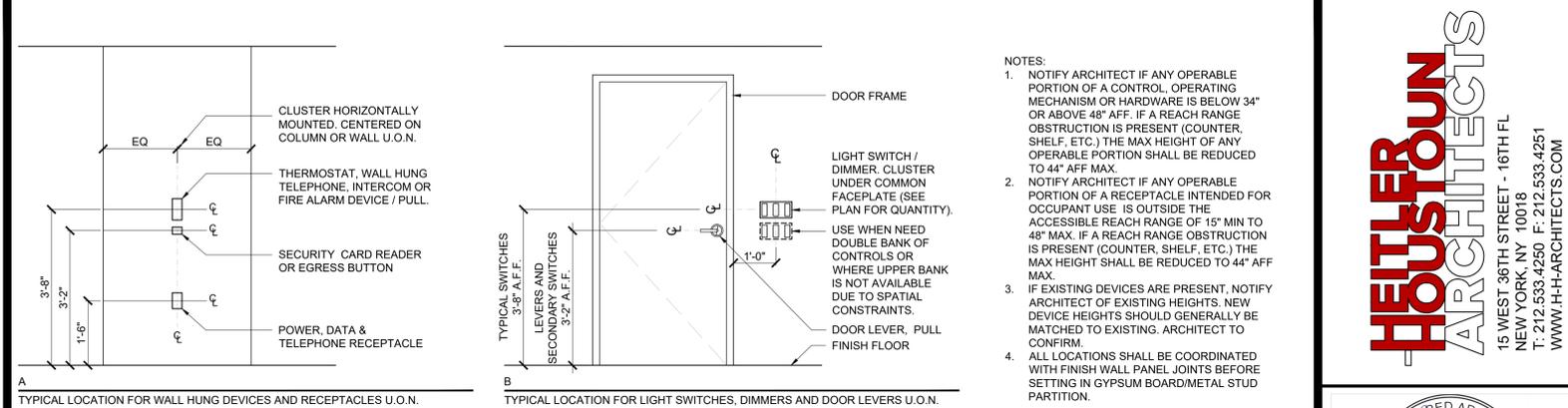
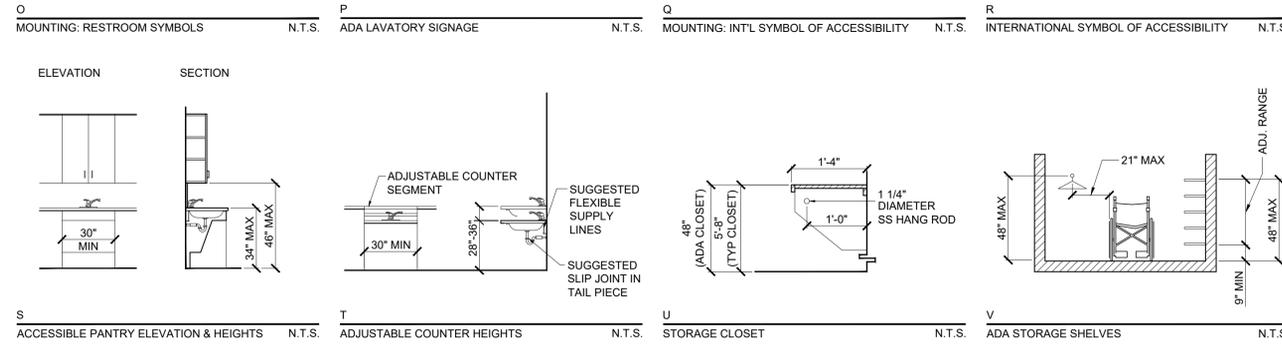
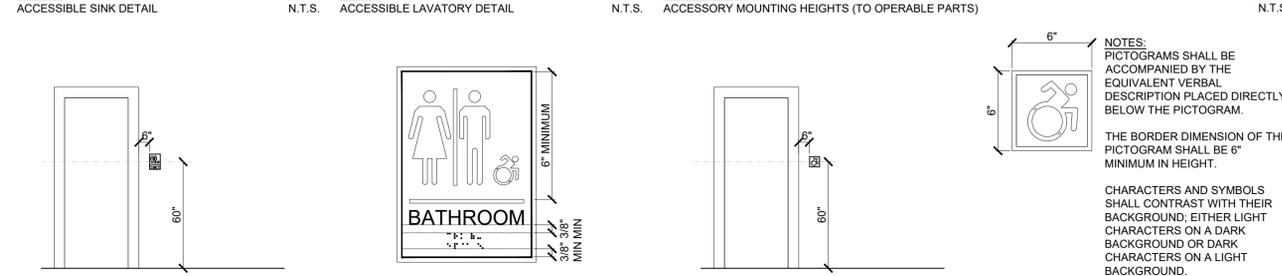
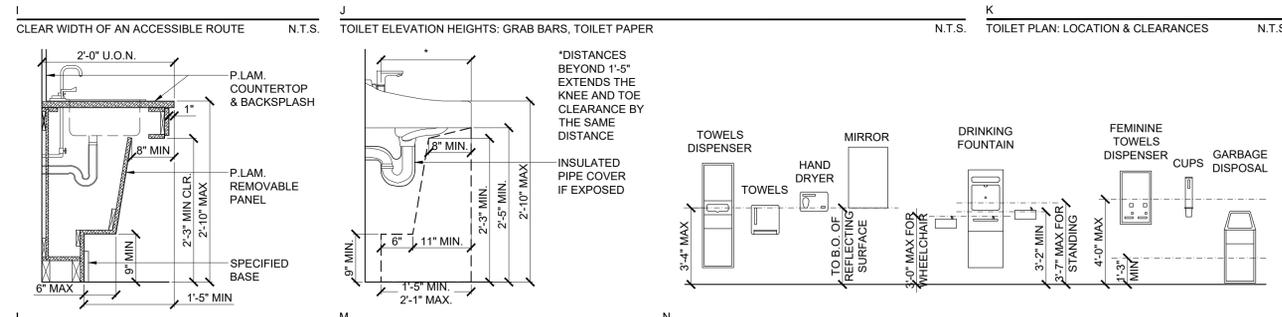
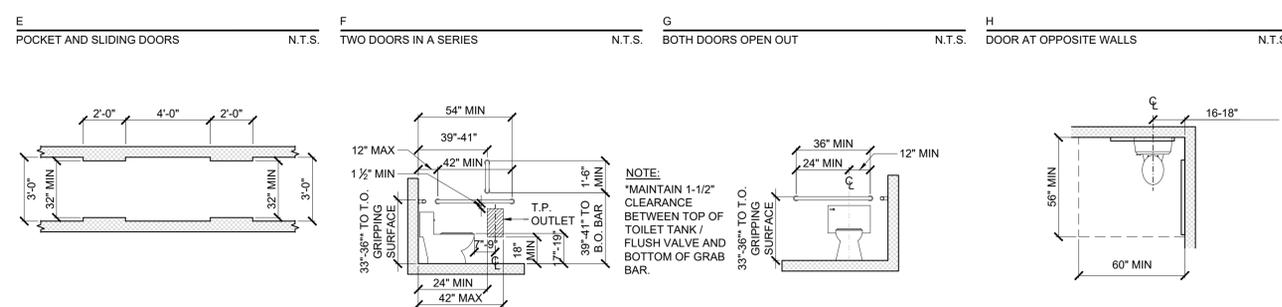
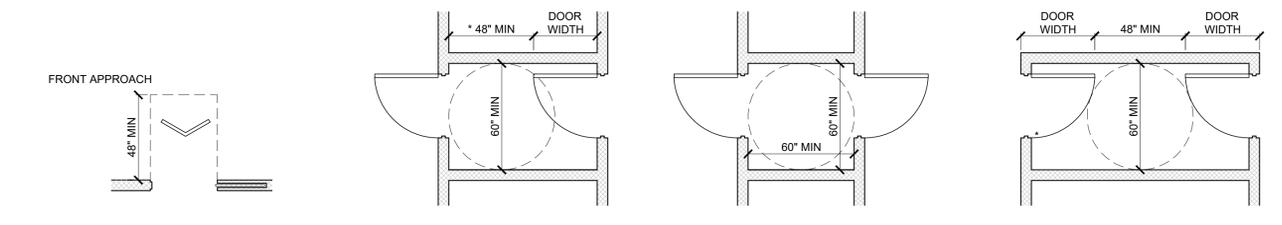
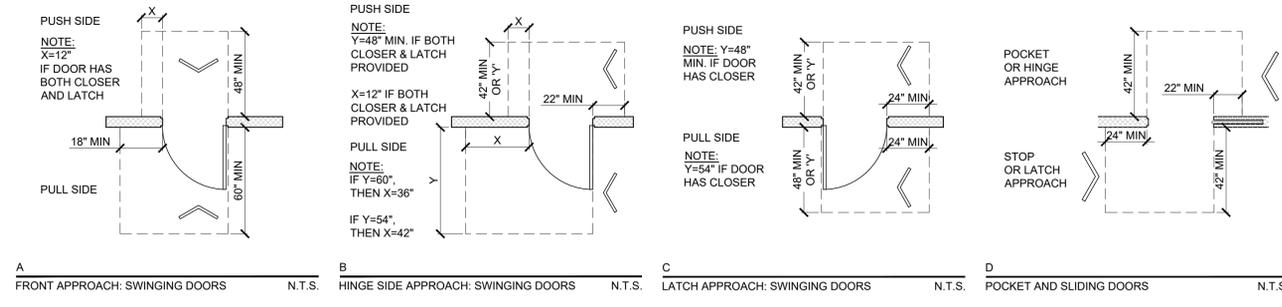
817 MAIN STREET
GREENPORT, NY 11944

Issue No.	Rev. No.	Date	Issued For
1		09/08/21	HPC
2		10/13/21	PLANNING BOARD
3		10/27/21	PROGRESS SET
4		11/01/21	PERMIT
5		12/15/21	ZONING COMMENTS
6		01/12/22	PERMIT
7		02/07/22	PERMIT
-	-	-	-
-	-	-	-

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DOB STAMP / SIGNATURES

DOB SIGN



2 TYPICAL MOUNTING HEIGHTS

1/2" = 1'-0"



1 ACCESSIBILITY DETAILS

1/4" = 1'-0"

- NOTES:
1. NOTIFY ARCHITECT IF ANY OPERABLE PORTION OF A CONTROL, OPERATING MECHANISM OR HARDWARE IS BELOW 34" OR ABOVE 48" AFF. IF A REACH RANGE OBSTRUCTION IS PRESENT (COUNTER, SHELF, ETC.) THE MAX HEIGHT OF ANY OPERABLE PORTION SHALL BE REDUCED TO 44" AFF MAX.
 2. NOTIFY ARCHITECT IF ANY OPERABLE PORTION OF A RECEPTACLE INTENDED FOR OCCUPANT USE IS OUTSIDE THE ACCESSIBLE REACH RANGE OF 15" MIN TO 48" MAX. IF A REACH RANGE OBSTRUCTION IS PRESENT (COUNTER, SHELF, ETC.) THE MAX HEIGHT SHALL BE REDUCED TO 44" AFF MAX.
 3. IF EXISTING DEVICES ARE PRESENT, NOTIFY ARCHITECT OF EXISTING HEIGHTS. NEW DEVICE HEIGHTS SHOULD GENERALLY BE MATCHED TO EXISTING. ARCHITECT TO CONFIRM.
 4. ALL LOCATIONS SHALL BE COORDINATED WITH FINISH WALL PANEL JOINTS BEFORE SETTING IN GYPSUM BOARD/METAL STUD PARTITION.



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DOB STAMP / SIGNATURES

DOB SIGN

ACCESSIBILITY DETAILS & TYPICAL MOUNTING HEIGHTS

FINISH SCHEDULE X-#

TAG	DESCRIPTION	MANU.	PRODUCT / MODEL / SPECIES / GRADE	COLOR	FINISH	SIZE / THICKNESS	SCOPE	SUB (Y/N)	MAT. (Y/N)	NOTES
B-1	BASE TRIM - OFFICE	PERFORMANCE SPEC	FLAT STOCK / POPLAR	P-3	-	6" x 1/2"	GC(P)	Y	N	-
B-2	NOT USED	-	-	-	-	-	-	-	-	-
B-3	BASE TRIM - RESIDENTIAL	PERFORMANCE SPEC	FLAT STOCK / POPLAR	P-9	-	5" x 1/2"	GC(P)	Y	N	-
CT-1	NOT USED	-	-	-	-	-	-	-	-	-
CT-2	CARPET - STAIR RUNNER	STARK	EVRY 15-0 WIDE	ASH	60%WOOL / 40% VISCOSE; LOOP PILE	V.I.F.	GC(P)	Y	Y	-
M-1	METAL TILE TRANSITION STRIP - WALL - OFFICE	SCHLUTER	JOLLY	AKGB	BRUSHED COPPER ANODIZED ALUMINUM	MATCH TILE HEIGHT	GC(P)	Y	N	USE TO FINISH EXPOSED TILE EDGES. MITERED JOINTS FOR HEX SHAPES.
M-2	METAL TILE TRANSITION STRIP - FL	SCHLUTER	SCHIENE	EB	BRUSHED STAINLESS STEEL	MATCH TILE HEIGHT	GC(P)	Y	N	-
M-3	METAL TILE TRANSITION STRIP - FL	SCHLUTER	RENO-TK	EB	BRUSHED STAINLESS STEEL	MATCH TILE HEIGHT	GC(P)	Y	N	-
M-4	METAL - SHOWER CLOSURE	PERFORMANCE SPEC	BRIGHT BLACK ANODIZED ALUMINUM	BLACK	MATTE	-	GC(P)	Y	Y	-
P-1	PAINT - CEILING - OFFICE	BENJAMIN MOORE	#508 WATERBORNE CEILING PAINT	STANDARD WHITE (09)	FLAT	N/A	GC(P)	Y	Y	REFER TO SCHEDULE NOTE #11
P-2	PAINT - WALL - OFFICE	BENJAMIN MOORE	#N319 REGAL CLASSIC PREMIUM INTERIOR 100% EGGSHELL FINISH	WHITE ICE#OC-88	EGGSHELL	N/A	GC(P)	Y	Y	REFER TO SCHEDULE NOTE #11
P-3	PAINT - BASE - OFFICE	BENJAMIN MOORE	#487 ULTRA SPEC SCUFF-X	STANDARD WHITE (01)	SEMIGLOSS	N/A	GC(P)	Y	Y	REFER TO SCHEDULE NOTE #11
P-4	PAINT - INT DOORS & FRAMES - OFFICE	BENJAMIN MOORE	#793 ADVANCE WATERBORNE INTERIOR ALKYD	STANDARD WHITE (01)	SEMIGLOSS	N/A	GC(P)	Y	Y	REFER TO SCHEDULE NOTE #11
P-5	PAINT - CEILING - RESIDENTIAL	BENJAMIN MOORE	#508 WATERBORNE CEILING PAINT	STANDARD WHITE (01)	FLAT	N/A	GC(P)	Y	Y	REFER TO SCHEDULE NOTE #11
P-6	PAINT - DAMP AREAS - RESIDENTIAL	BENJAMIN MOORE	#532 AURA BATH & SPA WATERBORNE INTERIOR PAINT	CLOUD WHITE #OC-130	MATTE	N/A	GC(P)	Y	Y	REFER TO SCHEDULE NOTE #11
P-7	PAINT - WALL - GENERAL RESIDENTIAL	BENJAMIN MOORE	#548 REGAL SELECT PREMIUM INTERIOR PAINT	LANCASTER WHITEWASH #HC-174	MATTE	N/A	GC(P)	Y	Y	REFER TO SCHEDULE NOTE #11
P-8	PAINT - WALL - ACCENT-RESIDENTIAL	BENJAMIN MOORE	#548 REGAL SELECT PREMIUM INTERIOR PAINT	TBD	MATTE	N/A	GC(P)	Y	Y	REFER TO SCHEDULE NOTE #11
P-9	PAINT - BASE & TRIM - RESIDENTIAL	BENJAMIN MOORE	#487 ULTRA SPEC SCUFF-X	CLOUD WHITE #OC-130	SEMI-GLOSS	N/A	GC(P)	Y	Y	REFER TO SCHEDULE NOTE #11
P-10	PAINT - INT DOORS & FRAMES - RESIDENTIAL	BENJAMIN MOORE	#793 ADVANCE WATERBORNE INTERIOR ALKYD	CLOUD WHITE #OC-130	SEMI-GLOSS	N/A	GC(P)	Y	Y	REFER TO SCHEDULE NOTE #11
P-11	PAINT - WALL - EXTERIOR	BENJAMIN MOORE	#N447 ULTRA SPEC EXT	MATCH EXISTING	FLAT	N/A	GC(P)	Y	Y	REFER TO SCHEDULE NOTE #11
P-12	PAINT - ROOF - EXTERIOR	BEHR	MULTI-SURFACE ROOF PAINT	N320-6 ARROWHEAD	FLAT	N/A	GC(P)	Y	Y	REFER TO SCHEDULE NOTE #11
S-1	STONE - KITCHEN - RESIDENTIAL	ABC STONE	TAJ MAHAL QUARTZITE	-	LEATHER / POLISHED	3/4" THICK SLAB	GC(P)	Y	Y	REFER TO REQUIRED VENDOR LIST; DEMI-BULLNOSED EXPOSED EDGE AT WALL; FLAT EDGE AT COUNTER TOP
S-2	STONE - MASTER BATH - RESIDENTIAL	ARTISTIC TILE	GODDESS WHITE MARBLE; SKU#SLGWP2	-	POLISHED	3/4" THICK SLAB	GC(P)	N	N	REFER TO REQUIRED VENDOR LIST
S-3	STONE - BATH - RESIDENTIAL	ARTISTIC TILE	BIANCO CARRARA MARBLE; SKU#SLBCCP2	-	POLISHED	3/4" THICK SLAB	GC(P)	N	N	REFER TO REQUIRED VENDOR LIST
T-1	TILE - FLOOR - OFFICE	PROSPEC	CASALGRANDE PADANA BASALTINA	STROMBOLI	MATTE	24" x 48"	GC(P)	Y	Y	1/8" THICK GROUT; MAPEI COLOR#104 TIMBERWOLF
T-2	TILE - FLOOR & WALL - OFFICE WC	STONE SOURCE	ELECTRA COSMO	BLACK AND GOLD	MATTE	13.5" NOMINAL x 3/8" THICK	GC(P)	Y	Y	1/8" THICK GROUT; MAPEI COLOR#10 BLACK
T-3	TILE - FLOOR - KITCHEN	TCL	FMG MAXFINE LIME STONE	ASH	STRUCTURED	12" x 12" (6MM THICK)	GC(P)	Y	Y	1/8" THICK GROUT; MAPEI COLOR#XX; REFER TO REQUIRED VENDOR LIST; FACTORY CUT TO PREFERRED SIZE; ALTERNATE WITH T-4 FOR CHECKERBOARD PATTERN
T-4	TILE - FLOOR - KITCHEN	TCL	FMG MAXFINE LIME STONE	MOON	STRUCTURED	12" x 12" (6MM THICK)	GC(P)	Y	Y	1/8" THICK GROUT; MAPEI COLOR#XX; REFER TO REQUIRED VENDOR LIST; FACTORY CUT TO PREFERRED SIZE; ALTERNATE WITH T-3 FOR CHECKERBOARD PATTERN
T-5	TILE - FLOOR & WALL - MASTER BATH	ARTISTIC TILE	BIANCO CARRARA MARBLE FIELD TILE; SKU#SBCT412	-	TUMBLLED	4" x 12" x 3/8"	GC(P)	Y	Y	STACKED; 1/8" THICK GROUT; MAPEI COLOR#XX; REFER TO REQUIRED VENDOR LIST
T-6	TILE - SHOWER FLOOR - MASTER BATH	ARTISTIC TILE	BIANCO CARRARA MARBLE MOSAIC TILE POLISHED STONE BROKEN JOINT 3.0CM; SKU#SBCEMPBJ3	-	POLISHED	-	GC(P)	Y	Y	1/8" THICK GROUT; MAPEI COLOR (TBD); REFER TO REQUIRED VENDOR LIST
T-7	TILE - ACCENT WALL - MASTER BATH	ARTISTIC TILE	ESTRELLA BE BOP WHITE MOSAIC GLOSS GLASS; SKU#GJGESTBBW	-	GLOSS	-	GC(P)	Y	Y	1/8" THICK GROUT; MAPEI COLOR (TBD); REFER TO REQUIRED VENDOR LIST
T-8	TILE - FLOOR - BATH	TBD	-	-	-	-	GC(P)	Y	Y	1/8" THICK GROUT; MAPEI COLOR (TBD); REFER TO REQUIRED VENDOR LIST
T-9	TILE - SHOWER FLOOR - BATH	TBD	-	-	-	-	GC(P)	Y	Y	1/8" THICK GROUT; MAPEI COLOR (TBD); REFER TO REQUIRED VENDOR LIST
T-10	TILE - WALL - BATH	TBD	-	-	-	-	GC(P)	Y	Y	1/8" THICK GROUT; MAPEI COLOR (TBD); REFER TO REQUIRED VENDOR LIST
T-11	TILE - FIREPLACE - FACING	TBD	-	-	-	-	GC(P)	Y	Y	1/8" THICK GROUT; MAPEI COLOR (TBD); REFER TO REQUIRED VENDOR LIST
T-12	TILE - FIREPLACE - HEARTH	TBD	-	-	-	-	GC(P)	Y	Y	1/8" THICK GROUT; MAPEI COLOR (TBD); REFER TO REQUIRED VENDOR LIST
WF-1	WOOD - FRONT DOOR - RESIDENTIAL EXT	PERFORMANCE SPEC	RE-FINISH EXISTING	TBD	-	-	GC(P)	Y	Y	GC TO SUBMIT 3 TEST SAMPLES PER SPEC FOR APPROVAL BEFORE APPLICATION
WF-2	WOOD - FLOOR - RESIDENTIAL EXT	PERFORMANCE SPEC	RE-FINISH EXISTING	TBD	-	-	GC(P)	Y	Y	GC TO SUBMIT 3 TEST SAMPLES PER SPEC FOR APPROVAL BEFORE APPLICATION
WC-1	WALLCOVERING - CLINIC EXAM ROOMS	MDC	PROXIMITY MICRO - GESSO	TFC 1465	VINYL	-	GC(P)	Y	Y	-
WC-2	WALLCOVERING - CLINIC RECEPTION	TBD	TBD	TBD	VINYL	-	GC(P)	Y	Y	-
WC-3	WALLCOVERING - STAIR WALL	HOLLY HUNT	CARLISLE&CO-FUSION	LX1130 PORCELAIN	NON-WOVEN	36" TRIMMED	GC(P)	Y	Y	6 TILE/BOX
WC-4	WALLCOVERING - BEDROOM	HOLLY HUNT	WEITZNER-MASON WALLCOVERING TILE	W1080/02 DOVE	100% ABACA	16" x 16"	GC(P)	Y	Y	-
WV-1	WOOD VENEER - RESIDENTIAL	SHINNOKI	VENEERED LAMINATES	CHALK ASH	PREFINISHED	-	GC(P)	Y	Y	-

FINISH SCHEDULE NOTES:

- SEE G SERIES DRAWINGS FOR GENERAL FINISH NOTES.
- SEE FINISH PLAN A.500 AND INTERIOR ELEVATIONS A.700 SERIES FOR FINISH LOCATIONS.
- FOR ALL MILLWORK FINISHES, SEE INTERIOR ELEVATIONS A.700 SERIES, AND MILLWORK DETAILS A.1000 SERIES.
- USE ONLY WATER BASED POLYURETHANE WOOD FINISHES AND 'NO' OIL BASED FINISHES TO REDUCE EXPOSURE TO VOC'S.
- PROVIDE STAIN SAMPLES FOR FINISHES MARKED (Y) IN THE MAT. COLUMN.
- GC TO SCHEDULE VISIT TO STONE YARD WITH CLIENT FOR FINAL STONE SLAB SELECTION.
- PROVIDE MATERIAL SUBMITTAL AND SHOP DRAWINGS OF COUNTERTOP TEMPLATE. PROVIDE SAMPLE TO ARCHITECT FOR APPROVAL.
- ARCHITECTS TO SELECT AND APPROVE ALL TILE AND STONE GROUT COLORS, LAYOUTS, JOINT SIZES AND PATTERNS PRIOR TO INSTALLATION. PROVIDE SHOP DRAWING OR FIELD MOCK-UP.
- TILE AND STONE: PROVIDE AND INSTALL ALL REQUIRED COORDINATING SPECIALTY TILE AND STONE PIECES TO COMPLETE REQUIRED LAYOUT IN SPECIFIED MATERIAL INCLUDING CORNER PIECES, END PIECES, BULLNOSES, TRANSITIONS, SADDLE AND TRIMS.
- STONE TO BE SEALED BY FABRICATOR. PROVIDE SAMPLE OF SEALED MATERIAL FOR APPROVAL.

ABBREVIATIONS:

- GC - GENERAL CONTRACTOR
- MW - MILLWORK VENDOR
- O - OWNER
- (P) - PROVIDE
- (F) - FURNISH ONLY
- (I) - INSTALL ONLY

PLUMBING SCHEDULE X

TAG	RM #	QTY	DESCRIPTION	MANU.	PRODUCT / MODEL	FINISH	DIMENSION	SCOPE	SUB (Y/N)	MAT. (Y/N)	NOTES
A	102, 103, 105	3	SINK-EXAM ROOMS & MOHS LAB	KOHLER	VAULT BAR SINK #K-3840-1	STAINLESS STEEL	15"x15"x9-5/16"	GC(P)	Y	N	ADA COMPLIANT; TOP MOUNT
B	102, 103, 105	3	FAUCET-EXAM ROOMS & MOHS LAB	KOHLER	PURIST PULL-OUT SINK FAUCET #K-7505-BL	MATTE BLACK	-	GC(P)	Y	N	ADA COMPLIANT
C	104	1	LAVATORY - OFFICE WC	NAMEEK'S	SHARP CERASTYLE 037100-U	WHITE	23.6"x18.9"x4.8"	GC(P)	Y	N	ADA COMPLIANT
D	104	1	LAVATORY FAUCET - OFFICE WC	DELTA	ZURA SINGLE HANDLE DECK MOUNT #S741-BL-DST	MATTE BLACK	-	GC(P)	Y	N	ADA COMPLIANT
E	104	1	WATER CLOSET W/ SEAT - OFFICE WC	KOHLER	HIGHLINE CLASSIC COMFORT HEIGHT #K-3493 & CACHET QUIET-CLOSE ELONGATED TOILET SEAT #K-4636	0/WHITE	21-1/4"W x 30-9/16"D x 17-1/8"H; TOILET SEAT 1-1/8"H	GC(P)	Y	N	ADA COMPLIANT. FLOOR MOUNTED. TWO-PIECE ELONGATED 1.6GPF TOILET. SPECIFY TANK AND CONFIRM TRIP LEVER INSTALLED AT APPROACH SIDE.
F	107	1	KITCHEN SINK	PERFORMANCE SPEC	VINTAGE FARMSTYLE SINK W/ STANDARD 3.5DIA DRAIN OPENING	WHITE	-	O(F); GC(I)	Y	N	UNDERMOUNT APRON SINK FOR 36"W BASE CABINET
G	107	1	KITCHEN FAUCET W/ SIDESPRAY	ROHL	3 LEG BRIDGE COUNTRY KITCHEN #A1458LPWS	ITALIAN BRASS	SPOUT: 8-55/64" REACH x 9-1/4"H	GC(P)	Y	N	8" WIDESPREAD DECK MOUNT. PORCELAIN LEVERS
H	107	1	KITCHEN POT FILLER	ROHL	WALL MOUNTED COUNTRY KITCHEN SWING ARM POT FILLER #A1451LP	ITALIAN BRASS	SPOUT: 24-5/8" REACH	GC(P)	Y	N	WALL MOUNT, PORCELAIN LEVERS
J	107	1	KITCHEN STRAINER	ROHL	SHAWS BASKET STRAINER #734IB	ITALIAN BRASS	FITS 3-1/2" DIA DRAIN OPENING & 1-1/2" MALE CONNECTION TO DRAIN PLUMBING	GC(P)	Y	N	
K	N/A	4	GUEST BATH VANITY	ARTISTIC TILE	PALMER INDUSTRIES VICTORIAN STYLE	POLISHED CHROME / GLASS / CARRARA MARBLE	24"W x 22"D	GC(P)	Y	N	W/ RAIL STYLE SHELF SUPPORT, STANDARD GLASS SHELF & S-3 COUNTERTOP, UNDERMOUNT WHITE CERAMIC OVAL SINK & S-3 BACKSPLASH
L	N/A	4	GUEST BATH FAUCET	RESTORATION HARDWARE	LUGARNO CROSS-HANDLE 8"WIDESPREAD FAUCET	POLISHED CHROME	SPOUT: 4-1/4" H	GC(P)	Y	N	DECK MOUNT; INCLUDE COORDINATING TAILPIECE
M	200	1	MASTER BATH VANITY	ARTISTIC TILE	PALMER INDUSTRIES VICTORIAN STYLE	POLISHED CHROME / GLASS / LINCOLN CALACATTA MARBLE	94"W x 22"D	GC(P)	Y	N	W/ RAIL STYLE SHELF SUPPORT, STANDARD GLASS SHELF & S-2 COUNTERTOP, (2) UNDERMOUNT WHITE CERAMIC OVAL SINKS & S-2 BACKSPLASH
N	200	2	MASTER BATH FAUCET	ROHL	PERRIN&ROWE EDWARDIAN LOW LEVEL SPOUT WIDESPREAD LAVATORY FAUCET WITH CROSS HANDLES #J.3706X	POLISHED CHROME	SPOUT: 3-1/2" H	GC(P)	Y	N	DECK MOUNT; INCLUDE COORDINATING TAILPIECE
P	200	2	MASTER BATH SHOWER HEAD	ROHL	RIOBEL#578 6" VERTICAL SHOWER ARM & 11" MEDA SQUARE RAIN SHOWERHEAD #R00598	CHROME	6"H ARM; 11" SQUARE HEAD	GC(P)	Y	N	CEILING MOUNT
Q	200	2	MASTER BATH SHOWER TRIM	ROHL	PERRIN&ROWE GEORGIAN ERA PRESSURE BALANCE TRIM W/ DIVERTER AND CROSS HANDLES #J.2710NX	POLISHED CHROME	6-1/4"DIA	GC(P)	Y	N	WALL MOUNT
R	200	2	MASTER BATH HAND SHOWER SET	ROHL	SINGLE-FUNCTION COUNTRY ANTI-CAL HANDSHOWER/HOSE/BAR/OUTLET SET W/ WHITE RESIN HANDLE #1300E	POLISHED CHROME	21-5/8"H x 2-5/8" PROJECTION	GC(P)	Y	N	WALL MOUNT
S	200	1	MASTER BATH TUB FILLER	ROHL	PERRIN&ROWE GEORGIAN ERA EXPOSED FLOOR MOUNTED BATHTUB FILLER W/ HANDSHOWER & CROSS HANDLES #J.3013X/1	POLISHED CHROME	41-1/2"H	GC(P)	Y	N	FLOOR MOUNT
T	200	1	MASTER BATH TUB	MTI	MELINDA 1 #74 W/ PEDESTAL	WHITE ACRYLIC	71-1/4"L x 35-1/4"W x 28-1/2"H	GC(P)	Y	N	FREESTANDING
U	200, N/A	6	MASTER BATH AND GUEST BATH UNDERMOUNT SINK	KOHLER	CAXTON OVAL UNDERMOUNT BATHROOM SINK W/ GLAZED UNDERSIDE #K-2205-G	WHITE	19-1/4"W x 16-1/8"D x 8-1/4"H	GC(P)	Y	N	UNDERMOUNT
V	200	1	MASTER BATH WATER CLOSET	KOHLER	HIGHLINE COMFORT HEIGHT #K-3999-0 W/ CACHET QUIET-CLOSE ELONGATED TOILET SEAT #K-4636	WHITE	18-1/8"W x 29-3/4"D x 16-1/2"H; TOILET SEAT 1-1/8"H	GC(P)	Y	N	ADA COMPLIANT. FLOOR MOUNTED. TWO-PIECE ELONGATED 1.28GPF CHAIR HEIGHT TOILET. SPECIFY TANK AND CONFIRM TRIP LEVER INSTALLED AT APPROACH SIDE.
W	200	1	MASTER BATH LINEAR FLOOR DRAIN	INFINITY DRAIN	#S-TIFAS 9980	STAINLESS STEEL	OVERALL: 80"L x 2-7/8"W x MIN. 2" H ABOVE WATERPROOFING	GC(P)	Y	N	ACCEPTS FLOORING MATERIAL UP TO 3/4" THICK
X	200	1	MASTER BATH STEAM SHOWER SYSTEM	STEAMIST ULTIMATE LUXURY STEAM & HOME SPA SYSTEM	TSG-30 GENERATOR REQUIRED	POLISHED CHROME	VARIABLE	GC(P)	Y	N	SPECIAL ORDER; REFER TO SPECIFIED COMPONENT LIST. SEE LIGHTING SCHEDULE ON 4/A.032 FOR RECESSED DOWNLIGHTS.

PLUMBING SCHEDULE NOTES:

- PROVIDE ALL PLUMBING FIXTURES INCLUDING ALL ASSOCIATED ROUGH PLUMBING, ACCESSORIES, AND REQUIRED BLOCKINGS/INSTALLATION REQUIREMENTS. SEE MANUFACTURER'S SPECIFICATIONS AND INSTALLATION INSTRUCTIONS.
- ALL SINKS, SHOWERS AND TUBS TO INCLUDE DRAINS AS REQUIRED. FINISH TO MATCH ADJACENT FAUCET.
- QUANTITIES AND LOCATIONS USED IN THIS SCHEDULE MUST BE CONFIRMED WITH PLANS AND ELEVATIONS. REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO SUBMITTING A BID.
- PROVIDE SUBMITTAL AS INDICATED TO ARCHITECT FOR REVIEW PRIOR TO PURCHASE OR FABRICATION.
- ALL HORIZONTAL SHOWER SURFACES (FLOORS, NICHES, CURBS, ETC.) TO BE SLOPED TOWARD DRAIN @ 1/4" PER FOOT.

ABBREVIATIONS:

- GC - GENERAL CONTRACTOR
- MW - MILLWORK VENDOR
- O - OWNER
- (P) - PROVIDE
- (F) - FURNISH ONLY
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SAITTA GREENPORT
817 MAIN STREET
GREENPORT, NY 11944

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2	-	10/13/21	PLANNING BOARD
3	-	10/27/21	PROGRESS SET
4	-	11/01/21	PERMIT
5	-	12/15/21	ZONING COMMENTS
6	-	01/12/22	PERMIT
7	-	02/07/22	PERMIT

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DESIGNER SIGNATURES
DESIGNER

SCHEDULES

DOOR SCHEDULE

DR #	RM #	WIDTH	HT.	THK.	DOOR MAT.	DOOR FINISH	FRAME MAT.	FRAME FINISH	JAMB DETAIL	HEAD DETAIL	DOOR TYPE	HW SET	MANUFACTURER	SCOPE	SUB. (Y/N)	MAT. (Y/N)	NOTES
1	WAITING AREA-100	3'-0"	7'-0"	1-3/4"	WD/GL	SEE NOTES	WD	WHITE	-	-	A	1	ANDERSEN	GC(P)	Y	N	EXTERIOR FINISH COLONY WHITE, INTERIOR FINISH WHITE, MAPLE WOOD
2	EXAM RM-102	3'-0"	7'-0"	1-3/4"	WD	P-4	WD	P-4	A	-	B	2	PERFORMANCE SPEC	GC(P)	Y	N	-
3	EXAM RM-103	3'-0"	7'-0"	1-3/4"	WD	P-4	WD	P-4	A	-	B	2	PERFORMANCE SPEC	GC(P)	Y	N	-
4	MOHS LAB-105	3'-0"	7'-0"	1-3/4"	WD	P-4	WD	P-4	B	-	C	3	PERFORMANCE SPEC	GC(P)	Y	N	-
5	WC-104	3'-0"	7'-0"	1-3/4"	WD	P-4	WD	P-4	B	-	C	4	PERFORMANCE SPEC	GC(P)	Y	N	-
6	CLOSET	1'-10"	7'-0"	1-3/4"	WD	P-4	WD	P-4	A	-	B	5	PERFORMANCE SPEC	GC(P)	Y	N	-
7	MASTER BATH-200	2'-8" (EX)	6'-8" (VIF)	1-3/4"	WD (EX)	EX	WD (EX)	EX	EX	EX	EX	6	-	GC(P)	N	N	REUSE EXISTING CLOSET DOOR / FRAME
8	MASTER BATH-200	(2) 2'-0" + SIDE PANELS	8'-10"	1/2"	AL/GL	-	AL	BLACK	-	-	F	8	PERFORMANCE SPEC	GC(P)	Y	N	-
9	EXAM RM-102	6'-10"	6'-10" (VIF)	-	AL/WD/GL	SEE NOTES	AL	WHITE	D	C	E	7	ANDERSEN	GC(P)	Y	N	INCLUDE ON-FLOOR DRAINAGE SILL, GRAY. EXTERIOR FINISH COLONY WHITE, INTERIOR FINISH WHITE, MAPLE WOOD
10	EXAM RM-103	6'-10"	6'-10" (VIF)	-	AL/WD/GL	SEE NOTES	AL	WHITE	D	C	E	7	ANDERSEN	GC(P)	Y	N	INCLUDE ON-FLOOR DRAINAGE SILL, GRAY. EXTERIOR FINISH COLONY WHITE, INTERIOR FINISH WHITE, MAPLE WOOD

DOOR SCHEDULE NOTES:

- VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER'S RECOMMENDATION.
- PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION.
- VERIFY AND COORDINATE ALL DOOR SIZES AND UNDERCUTS WITH SADDLE AND FINISH FLOOR CLEARANCES
- ALL DOORS TO BE PROPERLY SHIMMED LEVEL AND METAL FLASHING INSTALLED (EXTERIOR DOORS).
- FURNISH REQUIRED JAMB EXTENSIONS FOR ALL DOORS BASED ON WALL ASSEMBLY THICKNESS.
- ALL DOOR GLAZING TO BE TEMPERED GLASS.
- ALL INTERIOR DOORS (NEW) TO BE UNDERCUT TO 5/8" (15MM) A.F.F. UNLESS OTHERWISE NOTED.
- ALL DOORS (NEW AND EXISTING) SHALL HAVE DOOR STOPS AND BUMPERS OR SILENCERS. DOOR STOPS TO BE FLOOR MOUNTED TYPE, UNLESS OTHERWISE NOTED.

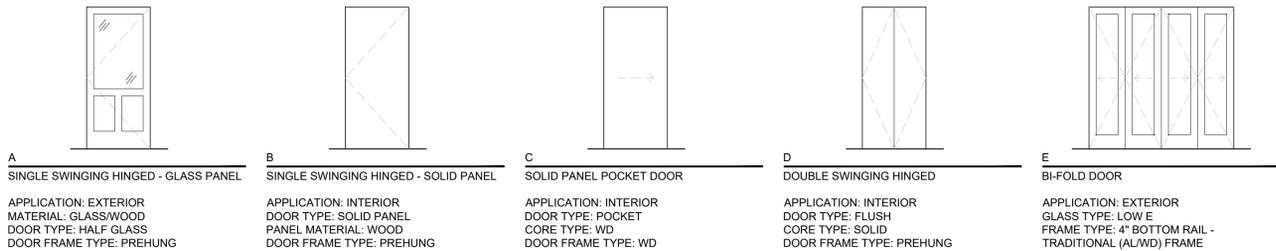
ABBREVIATIONS:

- HM - HOLLOW METAL
- EX - EXISTING
- GL - GLASS
- WD - SOLID WOOD
- AL - ALUMINUM
- FG - FIBERGLASS
- PH - PREHUNG PRODUCT
- CB - CUSTOM BUILT
- ST - STEEL
- MDF - MEDIUM DENSITY FIBERBOARD

- GC - GENERAL CONTRACTOR
- MW - MILLWORK VENDOR
- O - OWNER

- (P) - PROVIDE
- (F) - FURNISH ONLY
- (I) - INSTALL ONLY

DOOR TYPES



SWING DIRECTION IS FOR ILLUSTRATIVE PURPOSES ONLY. SEE CONSTRUCTION PLAN FOR DOOR SWING DIRECTION.

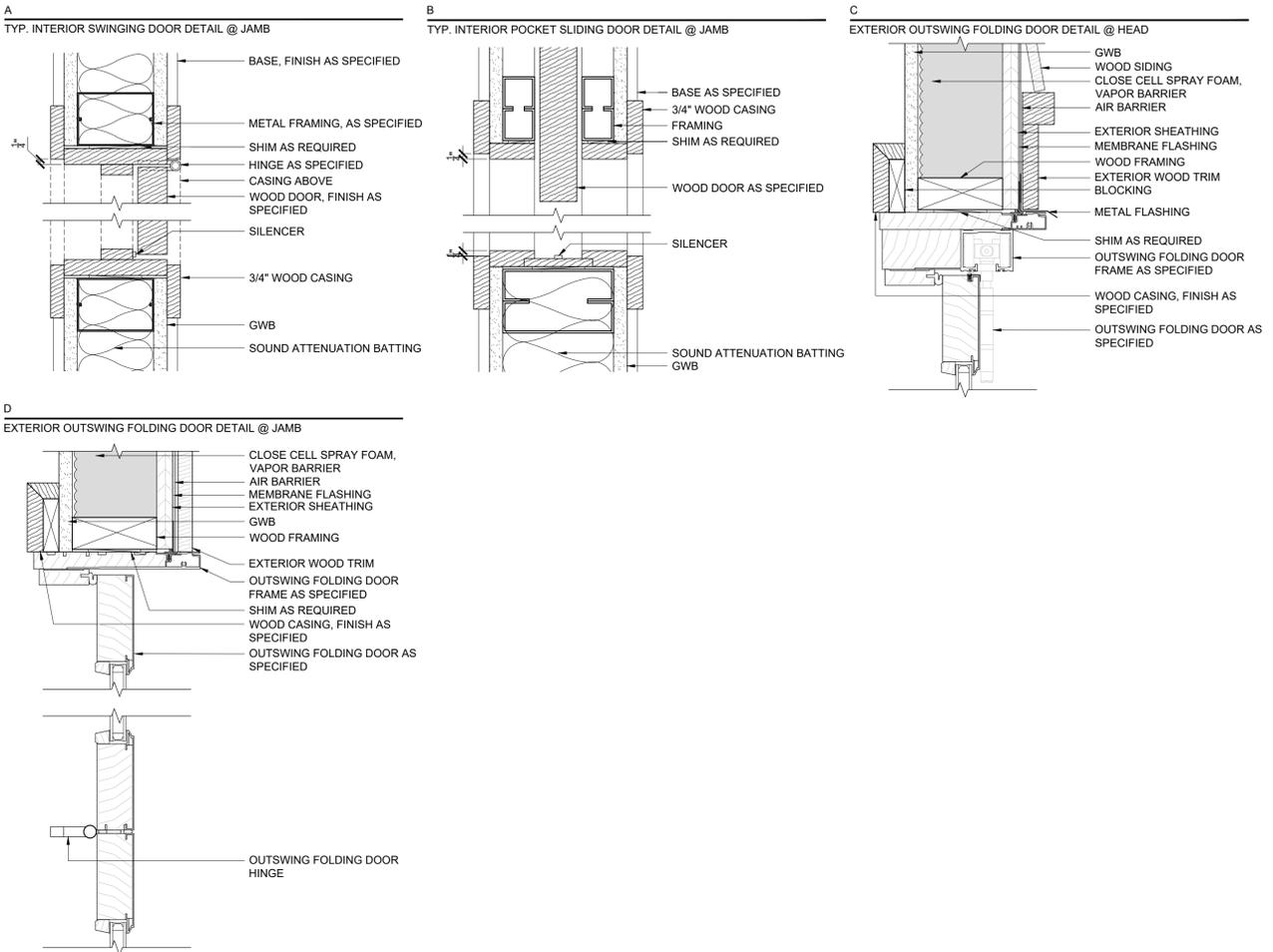


F SWINGING SHOWER DOORS - GLASS PANEL
APPLICATION: INTERIOR
MATERIAL: GLASS/AL
TYPE: SINGLE GLASS PANEL

HARDWARE SETS

- SWINGING DOOR-KEYED ENTRANCE**
LEVER: ANDERSEN WHITMORE (FINISH: ANTIQUE BRASS)
DEADBOLT: TBD
HINGES: IVES 5BB1 4 1/2" X 4 1/2" FULL MORTISE BUTT HINGES (FINISH: US10B OIL RUBBED BRONZE)
CLOSER: TBD
DOOR STOP: IVES FS410, 1 1/2"H (FINISH: 643E/716 - AGED BRONZE)
DOOR SWEEP: YES
WEATHER STRIP: YES
SILENCER: IVES SR65 RUBBER DOOR SILENCER WOOD (FINISH: GREY)
- SWINGING DOOR - PASSAGE**
LEVER: KWIKSET / CASEY LEVER (SQUARE) - 200CSL SQT 514 (FINISH: MATTE BLACK)
LATCH: DEADLATCH
HINGES: IVES 5BB1 4 1/2" X 4 1/2" FULL MORTISE BUTT HINGES (FINISH: 622 - MATTE BLACK - B-BLK)
CLOSER: NONE
DOOR STOP: IVES FS410, 1 1/2"H (FINISH: 622 - MATTE BLACK)
SILENCER: IVES SR65 RUBBER DOOR SILENCER WOOD (FINISH: GREY)
- SINGLE POCKET DOOR - PASSAGE (PER DOOR)**
POCKET DOOR SET: ACCURATE CS.2000 US19 CONCEALED FASTENERS, SPRING LOADED EDGE PULL, 5" (FINISH: OXIDIZED BLACK + LACQUER)
FLUSH PULL: ACCURATE CS2002B (NO LOCK)
TRACK AND GUIDE: GRANT TOP LINE 1200 SERIES SLIDING DOOR SYSTEM W/ 1210 STOPPER, HARDWARE, AND CENTER FLOOR GUIDE CONCEALED IN WALL CAVITY
- SINGLE POCKET DOOR - PRIVACY (PER DOOR)**
POCKET DOOR SET: ACCURATE CS.2002CPDL-5.234 US19 CONCEALED FASTENERS, PRIVACY THUMBTURN X EMERGENCY RELEASE, 2-3/4 BACKSET (FINISH: OXIDIZED BLACK + LACQUER)
FLUSH PULL: ACCURATE CS2002T (PRIVACY THUMBTURN)
TRACK AND GUIDE: GRANT TOP LINE 1200 SERIES SLIDING DOOR SYSTEM W/ 1210 STOPPER, HARDWARE, AND CENTER FLOOR GUIDE CONCEALED IN WALL CAVITY
- SINGLE SWINGING DOOR - DUMMY (PER DOOR)**
LEVER: KWIKSET / CASEY LEVER (SQUARE) - PULL ONLY - 488CSL SQT 514 (FINISH: MATTE BLACK)
HINGES: IVES 5BB1 4 1/2" X 4 1/2" FULL MORTISE BUTT HINGES (FINISH: 622 - MATTE BLACK - B-BLK)
DOOR STOP: IVES FS410, 1 1/2"H (FINISH: 622 - MATTE BLACK)
SILENCER: IVES SR65 RUBBER DOOR SILENCER WOOD (FINISH: GREY)
CATCH: IVES 326 MAGNETIC CATCH, DUAL DOUBLE POLE (FINISH: 673 ALUMINUM CLEAR COAT)
- EXISTING SINGLE CLOSET DOOR**
NOTES: SALVAGE AND RE-USE EXISTING DOOR HARDWARE.
- BI-FOLDING EXTERIOR DOORS**
LEVER: ANDERSEN FSB-1035 (FINISH: SATIN STAINLESS STEEL)
LOCKING SYSTEM: PER DOOR MANUFACTURER (FINISH: SATIN STAINLESS STEEL)
FLUSH SHOOT BOLT: PER DOOR MANUFACTURER (FINISH: SATIN STAINLESS STEEL)
HINGES: PER DOOR MANUFACTURER (FINISH: SATIN STAINLESS STEEL)
TRACK AND GUIDE: PER DOOR MANUFACTURER
- SHOWER ENCLOSURE (PER DOOR)**
LEVER: TBD
HINGES: TBD

TYPICAL DOOR DETAILS



WINDOW SCHEDULE

TAG	RM #	UNIT WD	UNIT HT	HDR	GLASS TYPE	MAT.	TYPE	JAMB DETAIL	HEAD DETAIL	SILL DETAIL	MANU.	PRODUCT / MODEL	SCOPE	SUB. (Y/N)	MAT. (Y/N)	NOTES
A	ATTIC	2'-6"	5'-3"	-	CLEAR LOW-E	-	A	-	-	-	ANDERSEN	100 SERIES CUSTOM SINGLE HUNG SPRINGLINE	GC (P)	Y	N	-
B	ATTIC	1'-2"	4'-0"	-	CLEAR LOW-E	-	B	-	-	-	ANDERSEN	100 SERIES PICTURE WINDOW (100REC1036)	GC (P)	Y	N	-

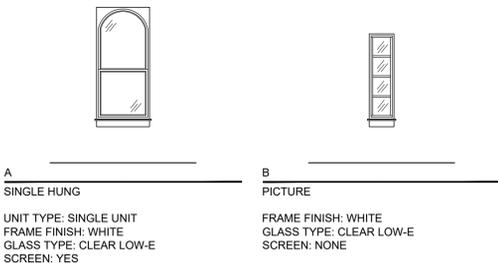
WINDOW SCHEDULE NOTES:

- VERIFY ALL ROUGH OPENINGS IN THE FIELD BASED ON MANUFACTURERS RECOMMENDATION. SIZES PROVIDED ARE UNIT SIZES.
- PROVIDE WINDOW ROSTER FROM SUPPLIER FOR FOR ALL CUSTOM WINDOWS FOR APPROVAL PRIOR TO PURCHASE.
- ALL WINDOWS TO BE PROPERLY SHIMMED LEVEL AND METAL FLASHING INSTALLED.
- PROVIDE REQUIRED JAMB EXTENSIONS FOR ALL WINDOWS BASED ON WALL ASSEMBLY THICKNESS.
- ALL GLAZING INCLUDING GLASS MIRRORS USED IN HAZARDOUS LOCATIONS AS OUTLINED IN THE RESPECTABLE BUILDING CODE SHALL BE TEMPERED GLASS AND IDENTIFIED AS SUCH.
- HEADER HEIGHTS ARE APPROXIMATE.

ABBREVIATIONS:

- HM - HOLLOW METAL
- EX - EXISTING
- WD - WOOD
- CL - CLAD
- AL - ALUMINUM
- SG - SAFETY GLASS
- IIW - INSERT WINDOW

WINDOW TYPES



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DOB SIGN

DOOR AND WINDOW SCHEDULES

1

APPLIANCE SCHEDULE

Table with columns: TAG, RM #, QTY., DESCRIPTION, MANU., PRODUCT / MODEL, FINISH/COLOR, DIMENSION, SCOPE, SUB. (Y/N), MAT. (Y/N), NOTES. Includes items for Refrigerator, Dishwasher, Range, Hood, Microwave Oven, Under-Counter Beverage Center, and Undercounter Refrigerator.

APPLIANCE SCHEDULE NOTES:

- 1. PROVIDE ALL APPROPRIATE VENTING AND TRANSITION PIECES PER MANUFACTURER'S RECOMMENDATIONS FOR APPLIANCES AS REQUIRED.
2. PROVIDE WATER AND/OR GAS SUPPLY HOOK-UP FOR ALL APPLIANCES AS REQUIRED.
3. QUANTITIES AND LOCATIONS USED IN THIS SCHEDULE MUST BE CONFIRMED WITH PLANS AND ELEVATIONS. REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO SUBMITTING A BID.

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2

EQUIPMENT SCHEDULE

Table with columns: TAG, RM #, QTY., DESCRIPTION, MANU., PRODUCT / MODEL, FINISH/COLOR, DIMENSION, SCOPE, SUB. (Y/N), MAT. (Y/N), NOTES. Includes items for Exam Chair, Autoclave, Excimer Laser Photography, Printer, Computer/Monitor, TV, and Vertical Digital Screen.

EQUIPMENT SCHEDULE NOTES:

- 1. PROVIDE APPROPRIATE VENTING AND TRANSITION PIECES PER MANUFACTURER'S RECOMMENDATIONS FOR ANY SPECIFIED DRYER, HOOD, OR HVAC EQUIPMENT.
2. QUANTITIES AND LOCATIONS USED IN THIS SCHEDULE MUST BE CONFIRMED WITH PLANS AND ELEVATIONS. REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO SUBMITTING A BID.

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3

ACCESSORIES SCHEDULE

Table with columns: TAG, RM #, QTY., DESCRIPTION, MANU., PRODUCT / MODEL, FINISH/COLOR, DIMENSION, SCOPE, SUB. (Y/N), MAT. (Y/N), NOTES. Includes items for ADA Grab Bars, Coat Hooks, Tissue Holders, Mirrors, Paper Towel Dispenser, Rejuvenation, Kitchen Soap Dispenser, Medicine Cabinet, Vanity Mirror, Pot Rack Set, and Towel Bar.

ACCESSORIES SCHEDULE NOTES:

- 1. QUANTITIES AND LOCATIONS USED IN THIS SCHEDULE MUST BE CONFIRMED WITH PLANS AND ELEVATIONS. REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO SUBMITTING A BID.
2. PROVIDE TAPE TEMPLATE OF ALL ACCESSORY LOCATIONS FOR OWNER APPROVAL PRIOR TO INSTALLATION.
3. PROVIDE BLOCKING AT ALL ACCESSORY LOCATIONS.

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4

LIGHTING SCHEDULE

Table with columns: TAG, QTY., DESCRIPTION, MANU., PRODUCT / MODEL, FINISH, LAMP / COLOR TEMP, UNIT LUMENS (LM), UNIT WATT (W), TOTAL WATT (W), SCOPE, SUB. (Y/N), MAT. (Y/N), NOTES. Includes items for Recessed Downlight, Large Pendant, Surface Mount Ceiling Light, Wall Sconce, Exit Sign, Recessed Downlight, Pendant, and Sconce.

LIGHTING SCHEDULE NOTES:

- 1. SEE REFLECTED CEILING PLAN FOR FIXTURE COUNTS AND LOCATIONS.
2. SEE REFLECTED CEILING PLAN SYMBOLS ON DRAWING A.010 FOR LIGHTING KEY.
3. PROVIDE LAMPS IN ALL FIXTURES PRIOR TO COMPLETION OF CONSTRUCTION.
4. ALL SWITCHES TO BE WHITE PADDLE TYPE. PROVIDE AND INSTALL DIMMERS AND ANY REQUIRED MODULES TO COORDINATE WHERE INDICATED ON PLANS.
5. PROVIDE AND INSTALL ALL REQUIRED TRANSFORMERS AND ACCESSORIES. VERIFY LOCATIONS AND ACCESS REQUIREMENTS OF TRANSFORMERS/ENGINES WITH ARCHITECT.
6. UNDER-CABINET STRIP LIGHTING TO BE SIZED TO CLOSEST AVAILABLE LENGTHS TO CABINET LENGTHS. PROVIDE AND INSTALL ALL REQUIRED CONNECTIONS, HANGERS AND TRANSFORMERS FOR WORKING INSTALLATION OF SPECIFIED LIGHTING SYSTEM. GC TO COORDINATE WITH CABINETS.
7. QUANTITIES AND LOCATIONS USED IN THIS SCHEDULE MUST BE CONFIRMED WITH PLANS AND ELEVATIONS. REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO SUBMITTING A BID.
8. OWNER TO GIVE FINAL APPROVAL "IN-FIELD" OF ALL PENDANT INSTALLATION HEIGHTS.
9. PROVIDE APPROPRIATE SWITCHES ACCORDING MANUFACTURER'S RECOMMENDATIONS FOR ANY SPECIFIED LIGHT FIXTURE, CEILING FAN, OR EXHAUST FAN.
11. ANY LIGHTS INSTALLED WITHIN FLOOR/CEILING ASSEMBLIES THAT CONTAIN INSULATION OR ARE PART OF A THERMAL ENVELOPE MUST HAVE IC RATED HOUSING.
12. ALL SWITCHES TO BE LUTRON-DIVA AND GLOSS WHITE FINISH UNLESS OTHERWISE NOTED.
13. ALL WALL PLATES TO BE LUTRON - DESIGNER - CLARO AND GLOSS WHITE FINISH UNLESS OTHERWISE NOTED.

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GREENPORT, NY 11944

Table with columns: Issue No., Rev. No., Date, Issued For. Shows revision history for HPC, PLANNING BOARD, PROGRESS SET, PERMIT, ZONING COMMENTS, and PERMIT.

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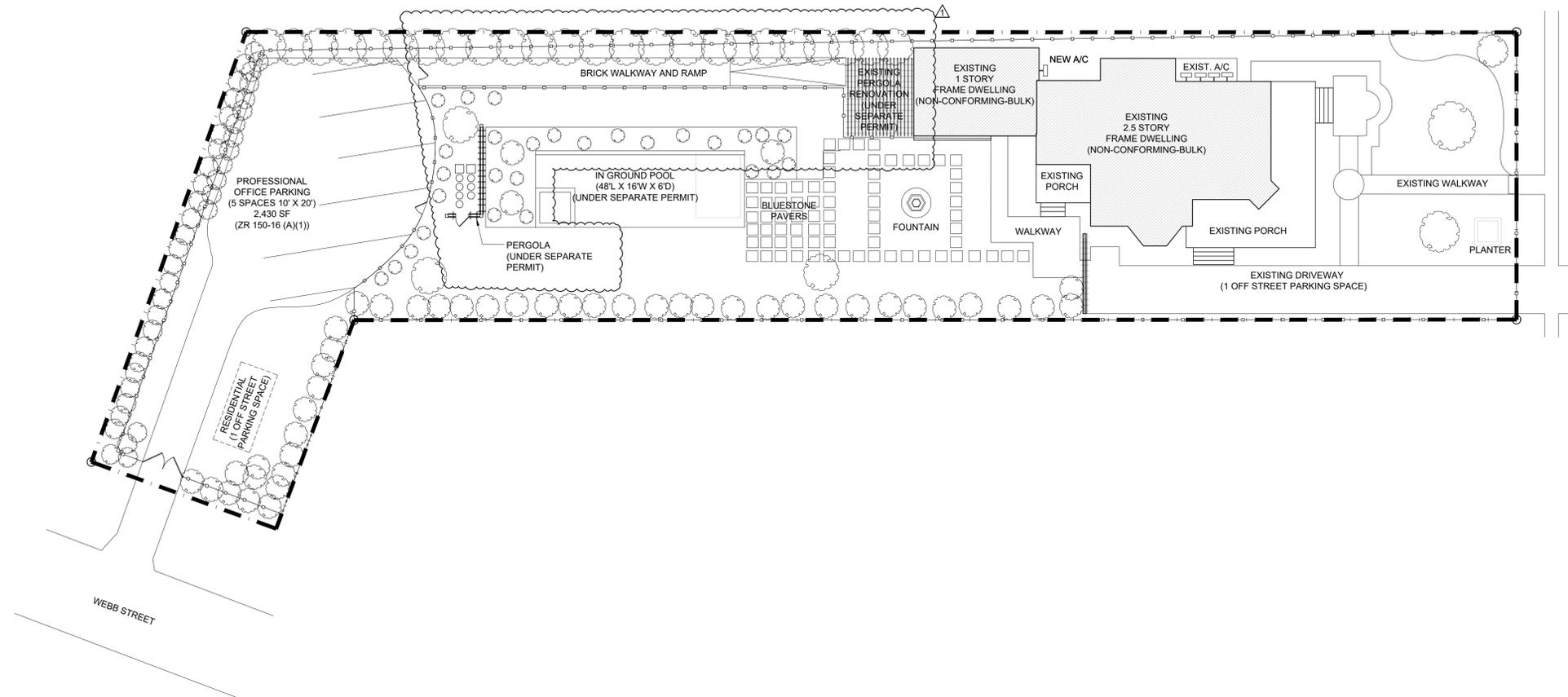
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SCHEDULES

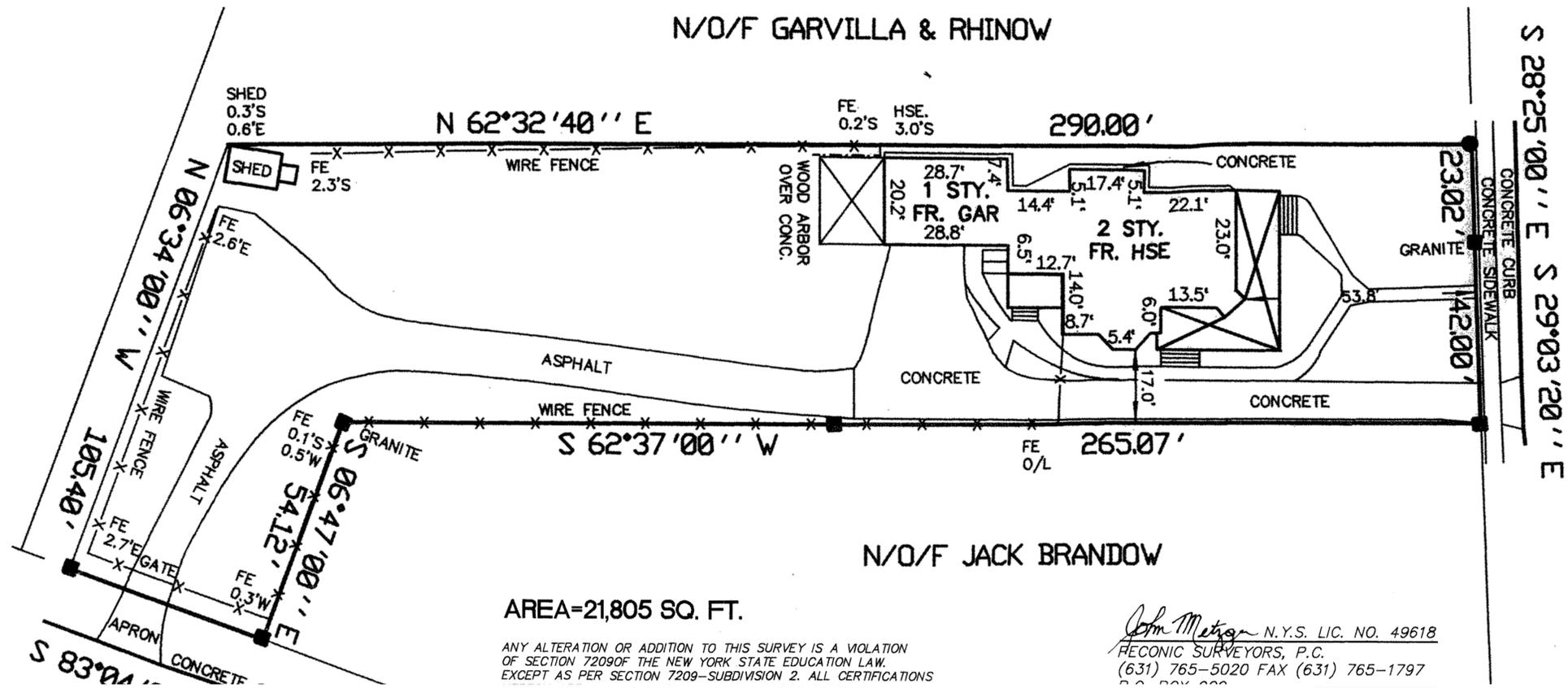
Project No. 210421-SIGP

A.032



1
LANDSCAPE PLAN

1/16" = 1'-0"



AREA=21,805 SQ. FT.

ANY ALTERATION OR ADDITION TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW. EXCEPT AS PER SECTION 7209-SUBDIVISION 2. ALL CERTIFICATIONS HEREON ARE VALID FOR THIS MAP AND COPIES THEREOF UNLESS IT SAID MAP OR COPIES BEAR THE IMPRESSED SEAL OF THE SURVEYOR WHOSE SIGNATURE APPEARS HEREON.

John Metzger N.Y.S. LIC. NO. 49618
 RECONIC SURVEYORS, P.C.
 (631) 765-5020 FAX (631) 765-1797
 P.O. BOX 300
 1230 TRAVELER STREET SOUTHOLD, N.Y. 11971 98-383

2
SITE SURVEY

N.T.S.



SAITTA GREENPORT
 817 MAIN STREET
 GREENPORT, NY 11944

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DOB STAMP / SIGNATURES

LANDSCAPE PLAN & SITE SURVEY

Project No. 210421-SIGP

A.050

SITE PLAN KEYNOTES

- LOCATION OF IN-GROUND SWIMMING POOL AND HOT TUB. FILED UNDER SEPARATE PERMIT.
- REPAIR EXISTING PERGOLA. FILED UNDER SEPARATE PERMIT.
- REMOVE EXISTING SEGMENT OF ASPHALT DRIVE.
- BRICK PATIO AND STEP.
- EXISTING COVERED PORCH TO REMAIN.
- WOOD PERGOLA ON BRICK WALL. SEE DRAWING 3/A.051.
- PROVIDE 54" TALL BLACK METAL POOL FENCE WITH 54" TALL OUT-SWINGING GATE WITH AUTOMATIC CLOSER / SELF CLOSING. SELF CATCHING PER NYSRC SECTION 328.4.2.7.
- PROVIDE 4'-0" TALL WOOD COMPOSITE FENCE IN FRONT YARD.
- PROVIDE 6'-6" TALL WOOD COMPOSITE FENCE IN REAR AND SIDE YARD.
- EXISTING DUSTLESS ASPHALT SURFACE TO REMAIN (ZR 150-16 (A)(5)).

SITE PLAN LEGEND

- EXISTING BUILDING FOOTPRINT
- EXISTING HARDSCAPE
- FENCE
- PROPERTY LINE
- SETBACK LINE
- ACCESSORY STRUCTURE SETBACK LINE
- AREA OF VEGETATIVE POOL SCREENING
- ON GRADE PATIO WALKWAY

ZONING REQUIREMENTS

BUILDING SUMMARY:

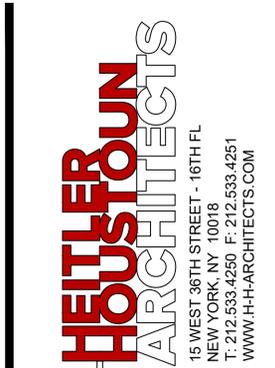
ADDRESS: 817 MAIN STREET, GREENPORT, NY 11944
ZONING: R1 - ONE FAMILY RESIDENCE DISTRICT

R-1 RESIDENTIAL ZONE / WITHIN HISTORIC NEIGHBORHOOD OVERLAY

	REQUIRED/ PERMITTED	EXISTING	PROPOSED
MIN REQUIRED SETBACKS			
FRONT YARD	30'-0"	53'-10"	53'-10"
SIDE YARD NORTH	12'-30"	3'-0"	3'-0"
SIDE YARD SOUTH	12'-30"	17'-0"	17'-0"
REAR YARD	30'-0"	72'-3"	72'-3"
MAX LOT COVERAGE	30%	14%	18%
MAX BUILDING HEIGHT	35'-0"	28'-5"	28'-5"
MIN PROPERTY LINE SET BACK	5'-0"	3'-0"	3'-0"
REQUIRED OFF-STREET PARKING	2 SPACES	2 SPACES	2 SPACES
PROFESSIONAL PHYSICIAN OFFICE PARKING	5 SPACES	5 SPACES	5 SPACES

SHEET NOTES

- SEE DRAWING A.010 FOR SYMBOL LEGEND AND G SERIES DRAWINGS FOR GENERAL NOTES AND SITE NOTES.
- DO NOT SCALE DRAWINGS. USE ONLY FIGURED DIMENSIONS. LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS.
- VERIFY ALL EXISTING DIMENSIONS IN FIELD AND REPORT ANY DIMENSIONAL DISCREPANCIES TO ARCHITECT (PRIOR TO STARTING WORK).
- PROVIDE PROTECTION FOR ALL AREAS AFFECTED BY DEMOLITION. G.C. TO BE RESPONSIBLE FOR ALL DAMAGES CAUSED BY IMPROPER PROTECTION AND MAKE ALL NECESSARY REPAIR OR REPLACEMENT WITHOUT ADDITIONAL COST TO THE OWNER.
- EXISTING TREES SHALL BE PROTECTED.
- APPLICANT WISHES TO RESCIND PREVIOUSLY APPROVED BED & BREAKFAST CONDITIONAL USE. PROFESSIONAL PRACTICE SHALL BE CARRIED ON BY THE RESIDENT OF THE DWELLING WITH NO MORE THAN TWO NONRESIDENT ASSISTANTS. (ZR 150-7 (C)(2)(a))



SAITTA GREENPORT
817 MAIN STREET
GREENPORT, NY 11944

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1		09/08/21	HPC
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3		10/27/21	PROGRESS SET
4		11/01/21	PERMIT
5		12/15/21	ZONING COMMENTS
6		01/12/22	PERMIT
7		02/07/22	PERMIT

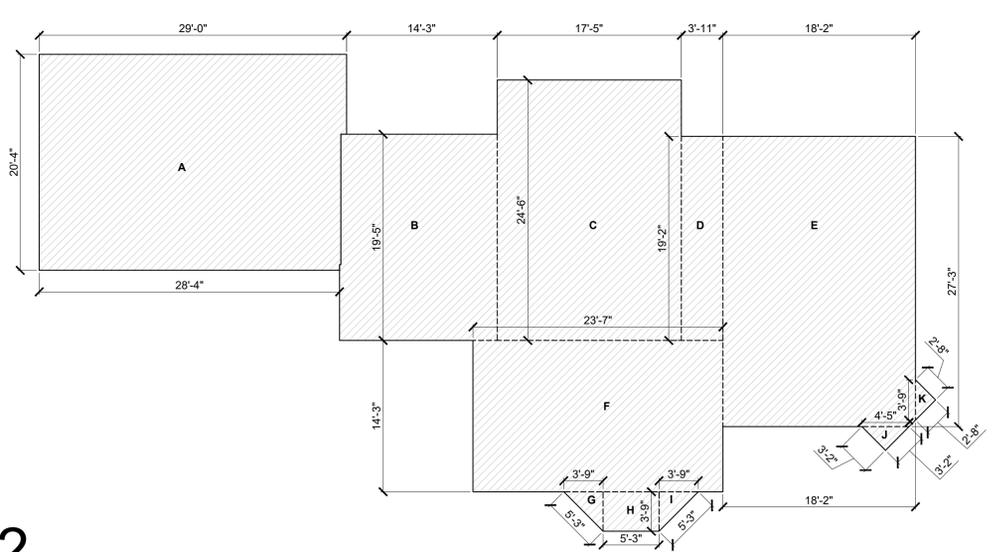
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SITE PLAN

Project No. 210421-SIGP
A.051

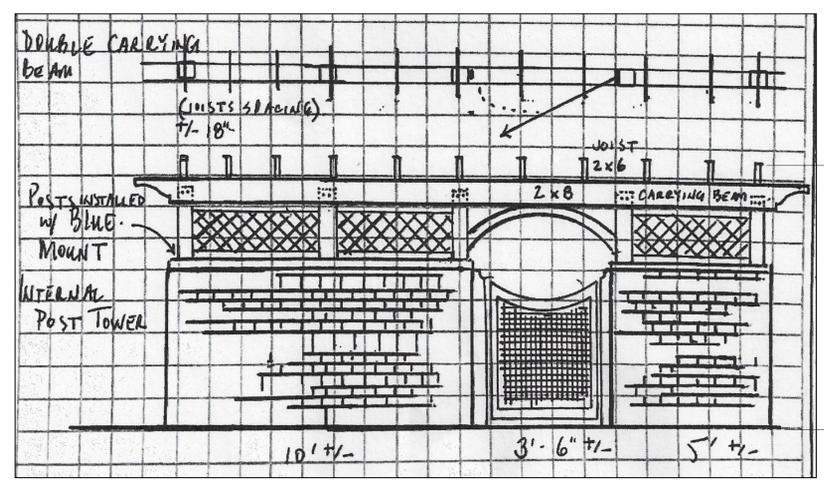
1 SITE PLAN
GROUND FLOOR AREA CALCULATIONS (ZR 150-7 (C)(2)(b))

BUILDING AREAS	DIMENSIONS	AREA SF	COMPLIES
ACCESSORY OFFICE AREA "A"	20'-4" x 29'-0" x 28'-4"	581 SF	
DWELLING AREA "B"	14'-3" x 19'-5"	286 SF	
DWELLING AREA "C"	17'-5" x 24'-6"	425 SF	
DWELLING AREA "D"	3'-11" x 19'-2"	75 SF	
DWELLING AREA "E"	18'-2" x 27'-3"	495 SF	
DWELLING AREA "F"	14'-3" x 23'-7"	335 SF	
DWELLING AREA "G"	3'-9" x 3'-9" x 5'-3"	7 SF	
DWELLING AREA "H"	3'-9" x 5'-3"	20 SF	
DWELLING AREA "I"	3'-9" x 3'-9" x 5'-3"	7 SF	
DWELLING AREA "J"	2'-8" x 2'-8" x 3'-9"	5 SF	
DWELLING AREA "K"	3'-2" x 3'-2" x 4'-5"	4 SF	
TOTAL GROUND FLOOR AREA		2,240 SF	
GROUND FLOOR COVERAGE AREA		26%	
PER VILLAGE OF GREENPORT CODE §150-7.C.(2)(b). ACCESSORY OFFICE SHALL OCCUPY NOT MORE THAN 30% OF THE AREA OF THE GROUND FLOOR OF THE MAIN BUILDING.		ACCESSORY OFFICE AREA 26% < 30%	YES



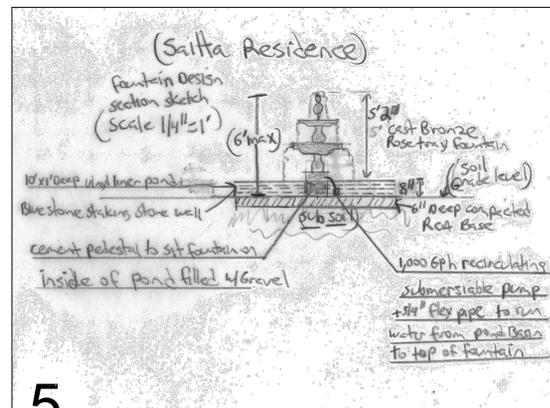
2 GROUND FLOOR AREA CALCULATION & AREA PLAN

3 BRICK WALL / PERGOLA ELEVATION



STRUCTURES	EXISTING SF	PROPOSED SF	COMPLIES
DWELLING (HOUSE & GARAGE)	2,240		
COVERED PORCH	706		
POOL		808	
FOUNTAIN		37	
BRICK WALL		8	
A/C UNITS	147	2.4	
TOTAL	3,093	855	
TOTAL EXISTING AND PROPOSED STRUCTURE AREA		3,946	
TOTAL LOT AREA		21,850	
LOT COVERAGE (STRUCTURE AREA / TOTAL LOT AREA)		18%	
PER VILLAGE OF GREENPORT CODE 150-12(A), MAX LOT COVERAGE ALLOWED IS 30%		18% < 30%	YES

4 LOT AREA COVERAGE CALCULATIONS



5 FOUNTAIN DESIGN SECTION



1/16" = 1'-0"

SCALE: N.T.S.

ZONING ANALYSIS

Table with columns: Article / Section / Item, ZR Section, ZR Text, Permitted/Required, Existing, Proposed, Compliance, Notes. Includes sections for Article II - Terminology, Article III - Zoning Districts and Zoning Map, Article IV - District Use Regulations, and Article V District Bulk and Parking Regulations.

Article VI Supplementary Regulations

Table with columns: Article / Section / Item, ZR Section, ZR Text, Permitted/Required, Existing, Proposed, Compliance, Notes. Includes sections for Residence District Regulations, Sign Regulations, and Article VIII Nonconforming Uses and Nonconforming Buildings.



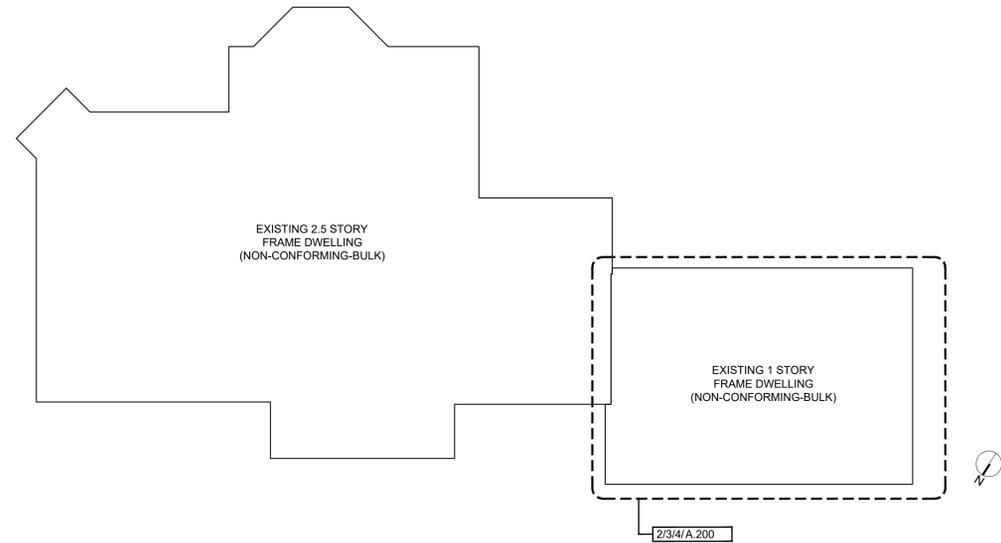
SAITTA GREENPORT 817 MAIN STREET GREENPORT, NY 11944

Issue Log table with columns: Issue No., Rev. No., Date, Issued For. Shows a series of permits and planning board actions from 09/08/21 to 02/07/22.

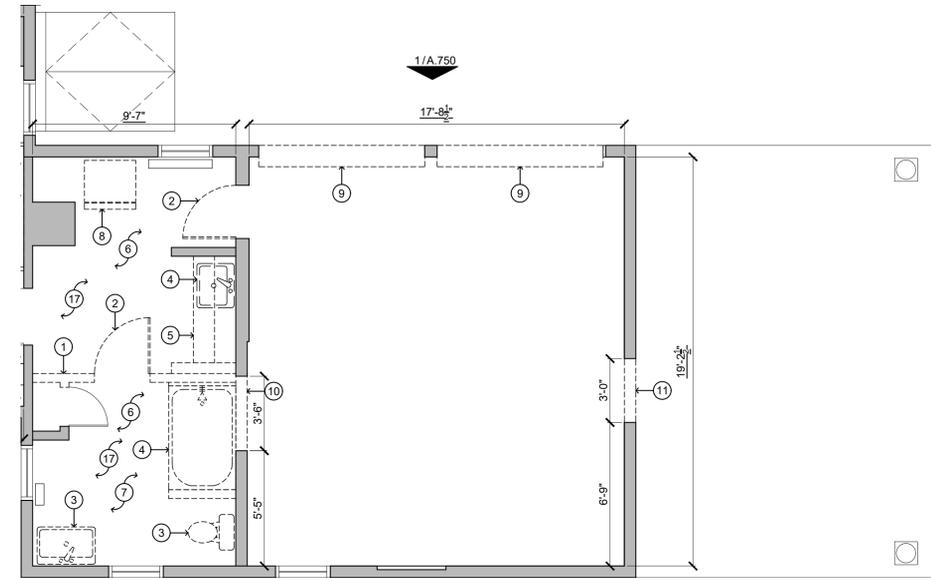
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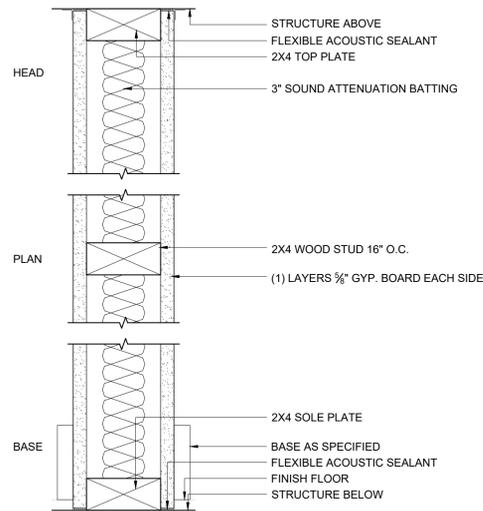
ZONING ANALYSIS



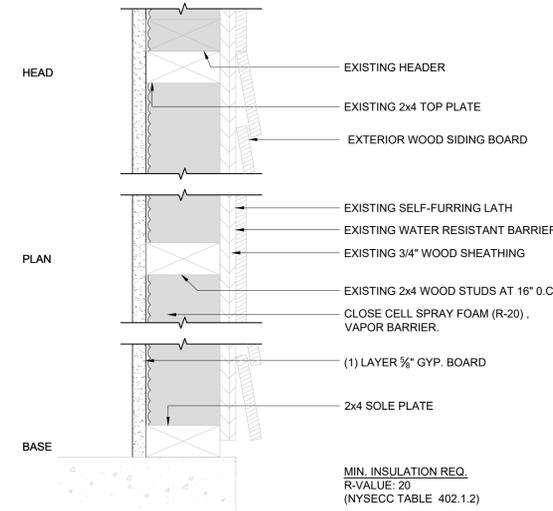
1 KEY PLAN 1/8" = 1'-0"



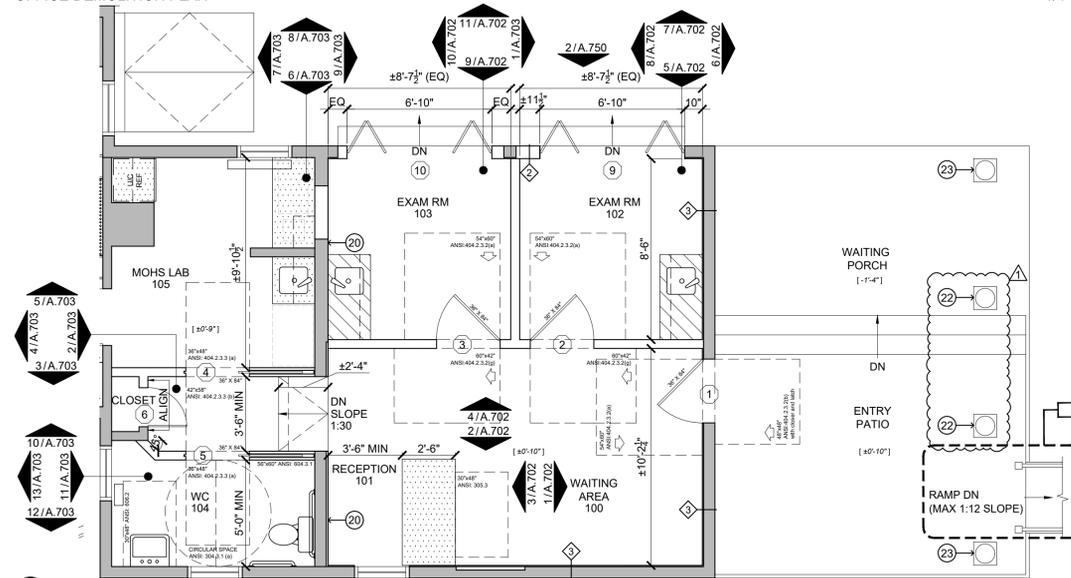
2 OFFICE DEMOLITION PLAN 1/4" = 1'-0"



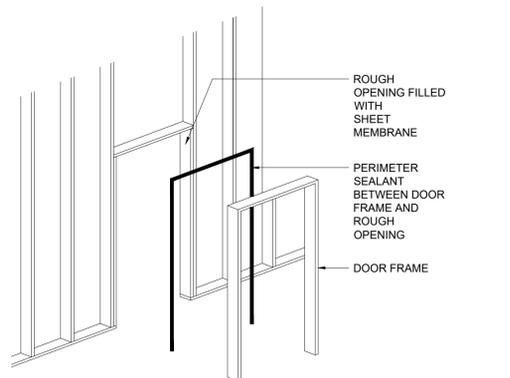
5 TYP. INTERIOR PARTITION DETAILS (NON-LOAD BEARING) 3" = 1'-0"



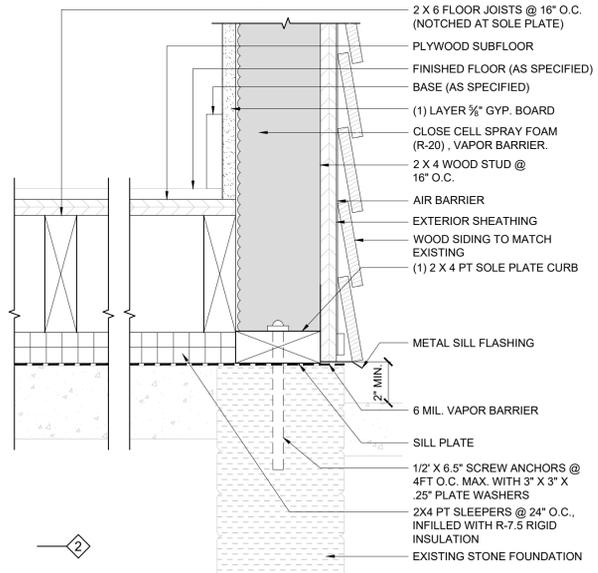
6 EXISTING EXTERIOR WALL (NON-CONDITIONED TO CONDITIONED) 3" = 1'-0"



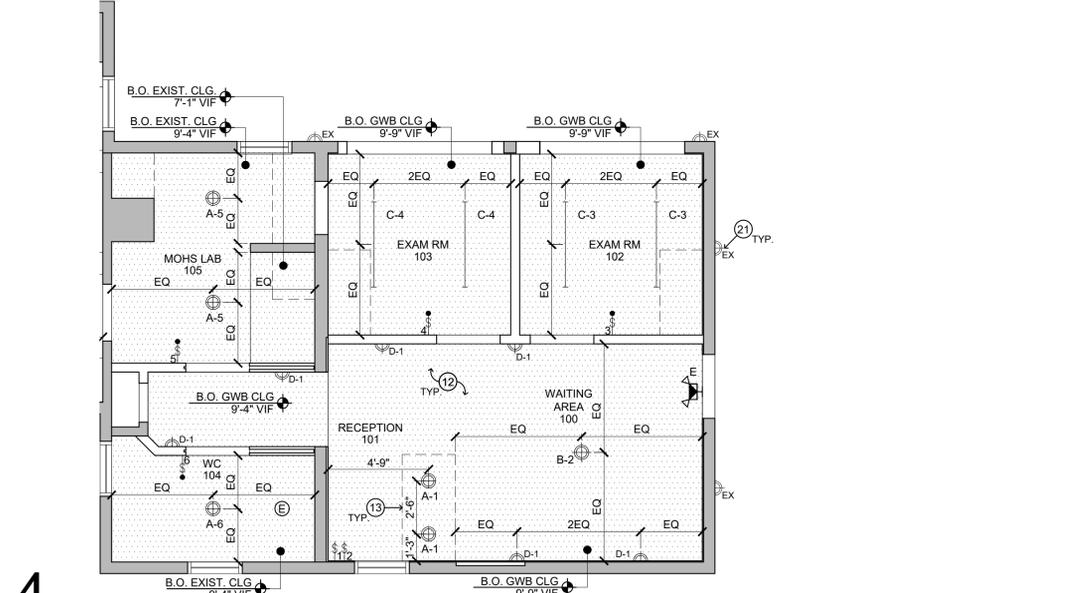
3 OFFICE CONSTRUCTION PLAN 1/4" = 1'-0"



7 AIR SEALING AT TYPICAL EXTERIOR DOOR-STUD 3" = 1'-0"



8 INFILL EXTERIOR WALL (GARAGE DOOR OPENING) 3" = 1'-0"



4 OFFICE REFLECTED CEILING PLAN 1/4" = 1'-0"

COMBINED PLAN KEYNOTES

- REMOVE EXISTING INTERIOR PARTITION WALL.
- REMOVE EXISTING DOOR.
- REMOVE EXISTING FIXTURES FOR DIRECT REPLACEMENT.
- REMOVE EXISTING PLUMBING FIXTURE.
- REMOVE EXISTING CABINERY / MILLWORK.
- REMOVE EXISTING FLOOR FINISH.
- REMOVE EXISTING BATHROOM ACCESSORIES (MIRROR, TOWEL BARS, HOOKS, TISSUE DISPENSER, ROD).
- REMOVE EXISTING APPLIANCES.
- REMOVE EXISTING GARAGE DOORS.
- REMOVE PORTION OF EXISTING WALL.
- REMOVE PORTION OF GARAGE WALL FOR NEW DOOR AS INDICATED.
- NEW GWB CEILING TO BE INSTALLED TIGHT TO UNDERSIDE OF JOISTS.
- LINE OF MILLWORK BELOW.
- REMOVE EXISTING RADIATOR.
- REMOVE EXISTING PIPES.
- REMOVE AND SALVAGE EXISTING DOOR, TRIM AND HARDWARE FOR FUTURE USE.
- REMOVE EXISTING LIGHTS IN THIS AREA.
- REMOVE ALL EXISTING CROWN MOULDING NEAR CEILING.
- INFILL EXISTING CEILING POP-UP TO MATCH EXISTING CEILING.
- TAPE, SPACKLE AND FINISH EXISTING SHEETROCK PARTITION.
- EXISTING SCONES TO REMAIN.
- NEW COLUMNS AT EXISTING PERGOLA. REPAIR FILED UNDER SEPARATE PERMIT.
- EXISTING COLUMNS AT EXISTING PERGOLA. REPAIR FILED UNDER SEPARATE PERMIT.
- PROVIDE ACCESS PANEL FOR ACCESS TO STEAM SHOWER GENERATOR.

SHEET NOTES

- SEE DRAWING A.010 FOR SYMBOL LEGEND AND G. SERIES FOR GENERAL NOTES AND DEMOLITION NOTES.
- PLAN KEYNOTES AND SHEET NOTES APPLY TO ALL A.200 SERIES PLAN DRAWINGS.
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- INSTALL NEW LATICRETE 9235 WATERPROOFING MEMBRANE IN ALL "WET AREAS" AFFECTED BY NEW CONSTRUCTION. SEE 5/A.025 FOR WATERPROOFING DETAIL.
- PROVIDE PURPLE BOARD GYP ON ALL WALLS IN WET LOCATIONS.
- INSTALL LIGHT SWITCHES IN ORDER DEPICTED IN DRAWINGS.
- LIGHT SWITCH FACEPLATE COLOR TO MATCH ADJACENT WALL, UNLESS OTHERWISE NOTED.
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- ALL SCONCE HEIGHTS PROVIDED ON INTERIOR ELEVATIONS A.700 SERIES
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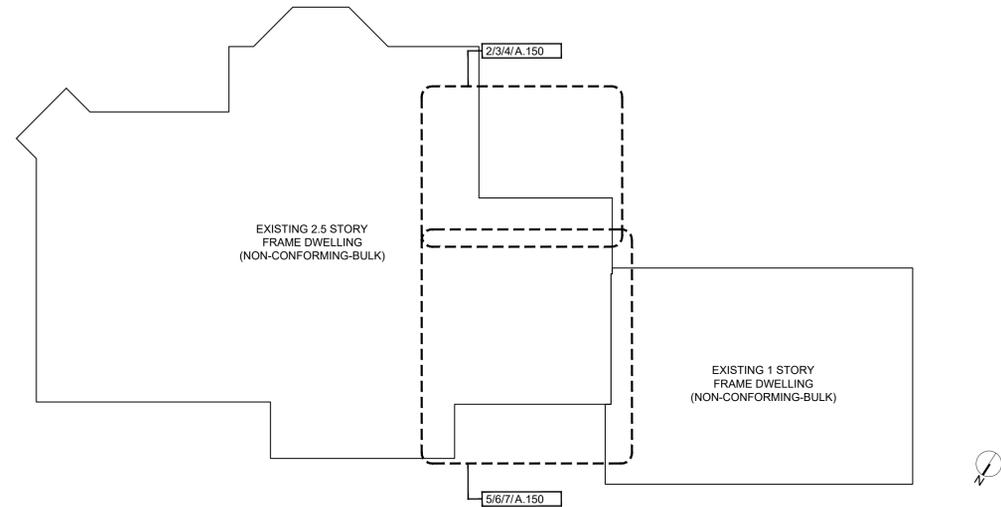
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-	-	-	-
-	-	-	-

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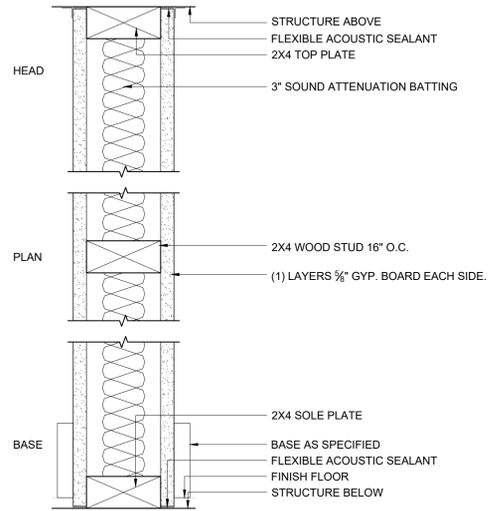
DOB STAMP SIGNATURES

DOB SIGN

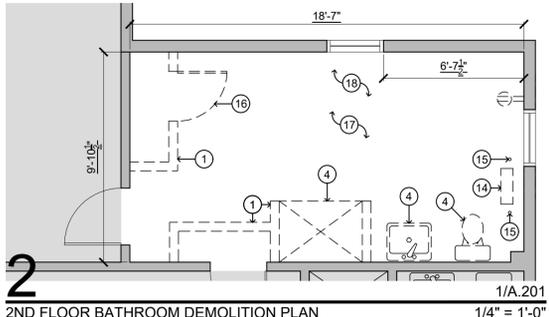
OFFICE FLOOR PLANS AND DETAILS



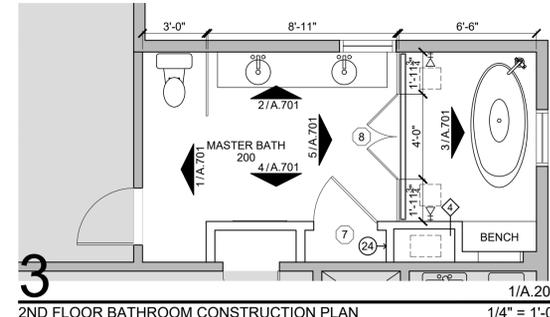
1 SITE PLAN 1/8" = 1'-0"



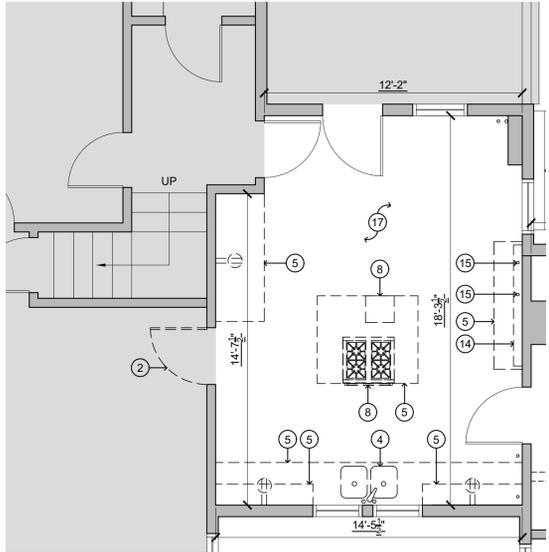
8 TYP. INTERIOR PARTITION DETAILS (NON-LOAD BEARING) 3" = 1'-0" **11** TYP. PLUMBING PARTITIONS 3/A.201 3" = 1'-0"



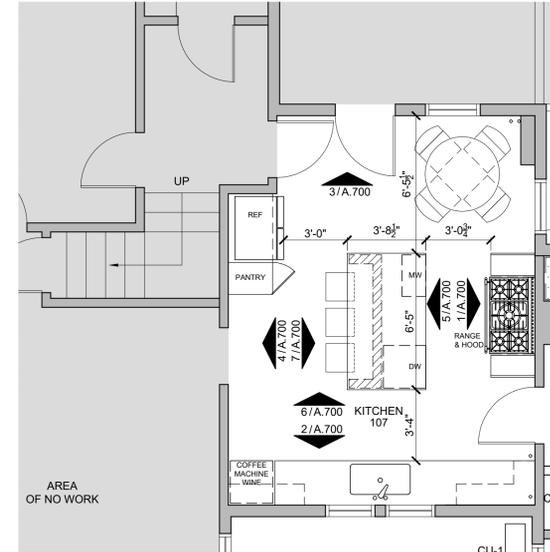
2 2ND FLOOR BATHROOM DEMOLITION PLAN 1/A.201 1/4" = 1'-0"



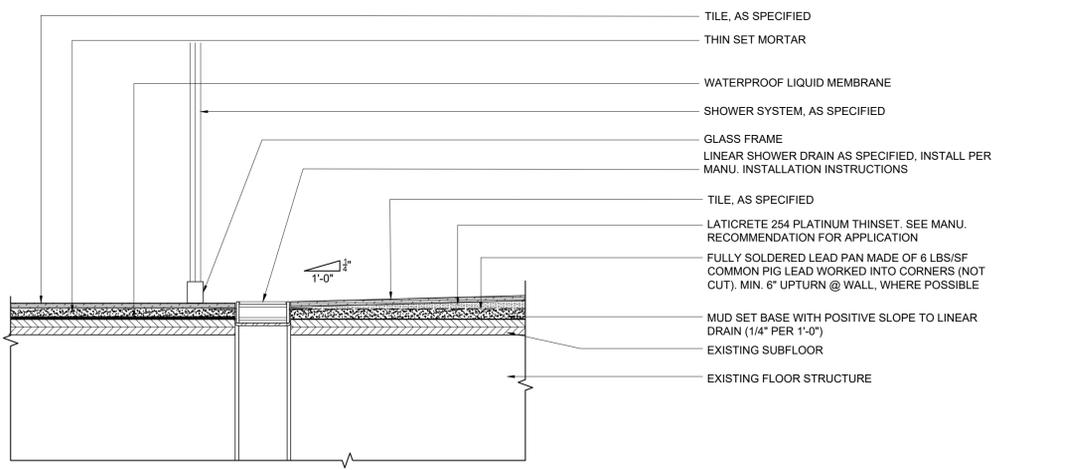
3 2ND FLOOR BATHROOM CONSTRUCTION PLAN 1/A.201 1/4" = 1'-0"



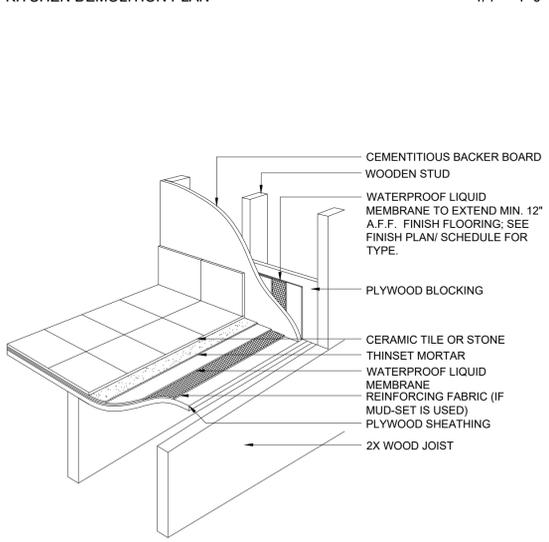
5 KITCHEN DEMOLITION PLAN 1/A.201 1/4" = 1'-0"



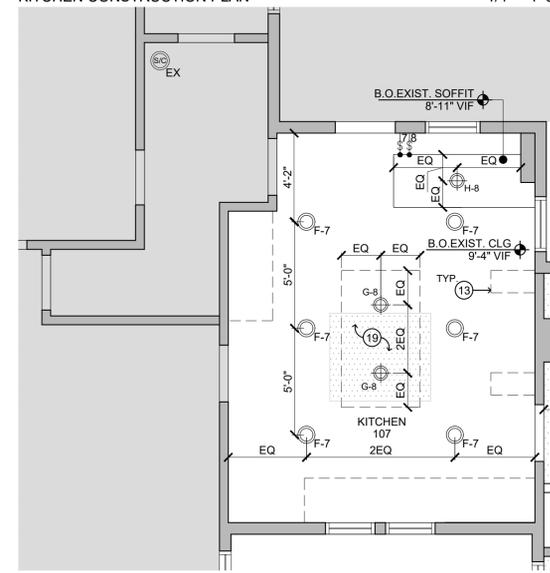
6 KITCHEN CONSTRUCTION PLAN 1/A.201 1/4" = 1'-0"



9 LINEAR SHOWER DRAIN 3" = 1'-0"



10 TYP. FLOOR WATERPROOFING DETAILS 1/2" = 1'-0"



7 KITCHEN REFLECTED CEILING PLAN 1/A.201 1/4" = 1'-0"

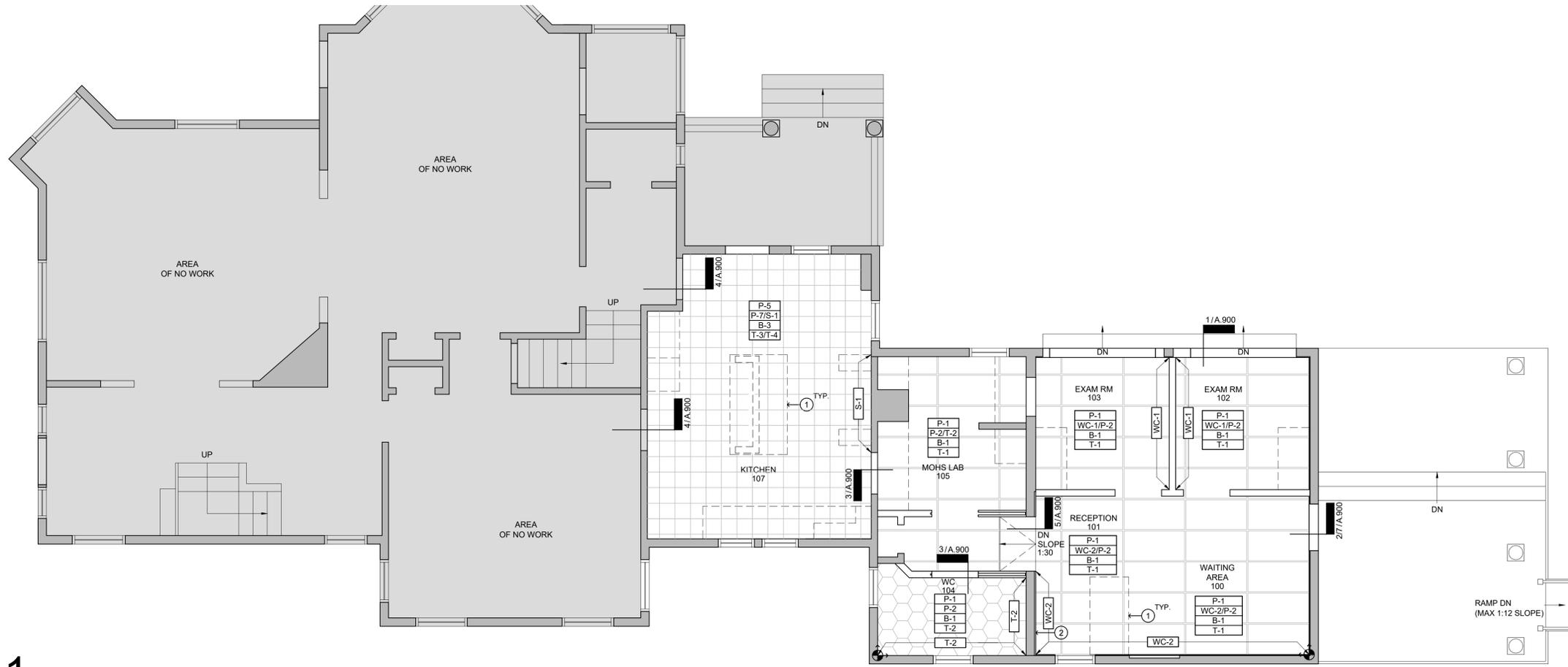
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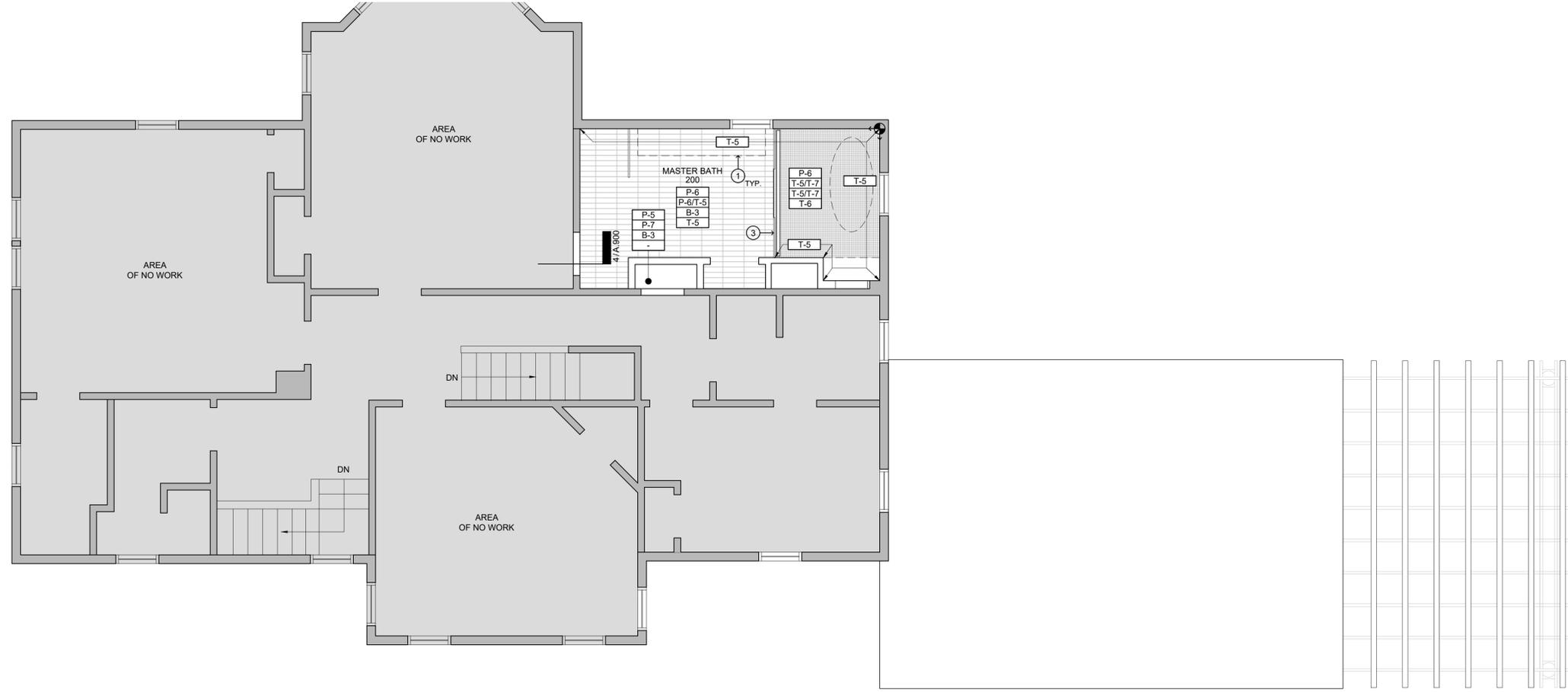
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FINISH PLAN KEYNOTES

- ① OUTLINE OF MILLWORK.
- ② COORDINATE SIGNAGE WITH INTERIOR ELEVATIONS A.700 SERIES AND SIGNAGE VENDOR.
- ③ FRAMELESS SHOWER GLASS & LINEAR DRAIN, SEE INT. ELEVATIONS A.700 SERIES.

1
1ST FLOOR FINISH PLAN 1/4" = 1'-0"



SHEET NOTES

1. SEE DRAWING A.010 FOR SYMBOL LEGEND AND DRAWING G.004-G.009 FOR GENERAL NOTES AND FINISH NOTES.
2. FINISH PLAN KEYNOTES AND SHEET NOTES APPLY TO ALL A.500 SERIES DRAWINGS.
3. DO NOT SCALE DRAWINGS. USE ONLY FIGURED DIMENSIONS. LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS.
4. IF ANY +/- DIMENSIONS VARY BY MORE THAN 2" NOTIFY ARCHITECT BEFORE PROCEEDING WITH WORK.
5. COVER ALL OUTLETS AND ELECTRIC DEVICES WITH "BLUE TAPE" PRIOR TO SANDING.
6. REMOVE SANDING DUST AND WOOD FINES ON A DAILY BASIS DURING THE PERIOD OF WORK INVOLVING SANDING.
7. ENSURE ALL FINISHED SURFACES ARE FREE OF ANY SCUFFS, SCRATCHES, DENTS, ETC. UPON COMPLETION OF PROJECT.
8. FOR ROOMS WITH MULTIPLE FINISHES PER SURFACE SEE INTERIOR ELEVATIONS A.700 SERIES. ALL SURFACES SHALL BE PREPARED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
9. FLASH PATCH, LEVEL AND REPAIR EXISTING FLOOR AS REQUIRED FOR INSTALLATION OF NEW FLOOR.
10. ALL EXPOSED CONCRETE FLOORS TO RECEIVE CLEAR FLOOR SEALER.
11. ANY CARPET SEAMS TO BE CENTERED BELOW DOOR IN CLOSED POSITION PROVIDE SEAM SEALANT AND SEAMING TAPE AT EACH SEAM.
12. ANY TILE BASE SEAM AND GROUT LINES TO MATCH/ALIGN WITH FLOOR SEAM AND GROUT LINES.
13. CONFIRM WITH ARCHITECT ALL GROUT COLORS, JOINT SIZES, LAYOUTS AND PATTERNS OF FLOOR AND WALL TILE IN THE FIELD PRIOR TO INSTALLATION.
14. WHERE STONE OR MARBLE FLOORING OR COUNTERTOP IS SPECIFIED, GC SHALL BE RESPONSIBLE FOR PROVIDING/APPLYING SEALANT AS SPECIFIED OR AS RECOMMENDED BY SUPPLIER FOR A CLEAN, LASTING SURFACE.
15. ALL EDGES OF SHOWER NICHE TO ALIGN WITH TILE COURSINGS AND ALL OUTSIDE TILE CORNERS TO HAVE A HALF BULLNOSE EDGE.
16. PAINT MATERIALS SHALL BE ECO/VOC FREE TO AVOID VOLATILE ORGANIC COMPOUNDS BEING EXPOSED TO ADJOINING OWNERS ON FLOOR AND PENETRATING ELEVATOR SHAFT.

2
2ND FLOOR FINISH PLAN 1/4" = 1'-0"



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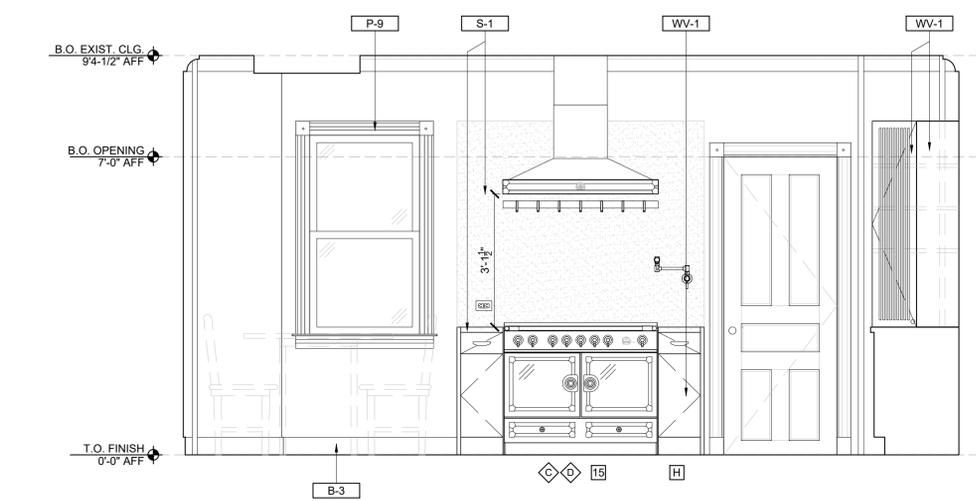
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DOB STAMP / SIGNATURES

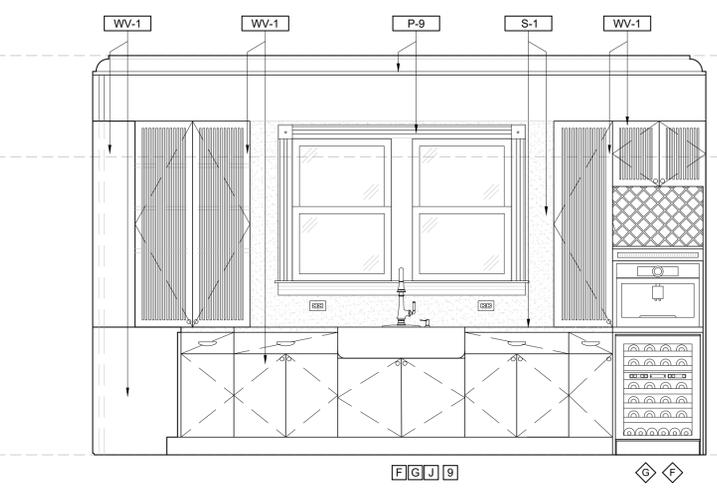
DOB SIGN

1ST & 2ND FLOOR FINISH PLANS

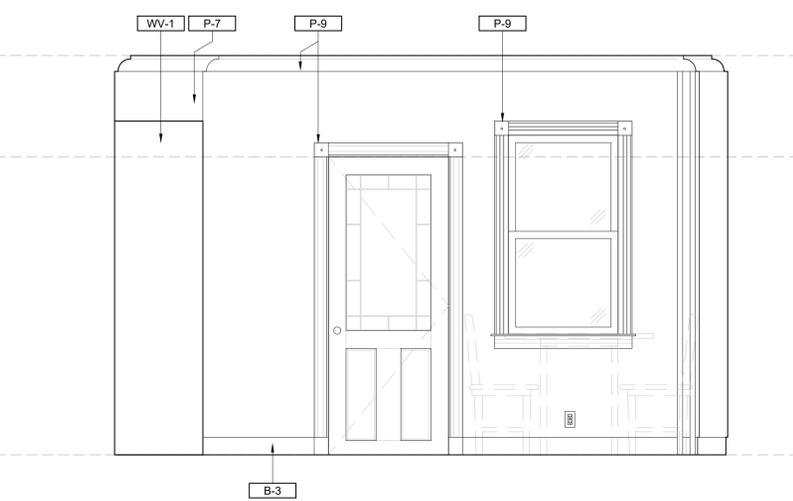
Project No. 210421-SIGP **A.500**



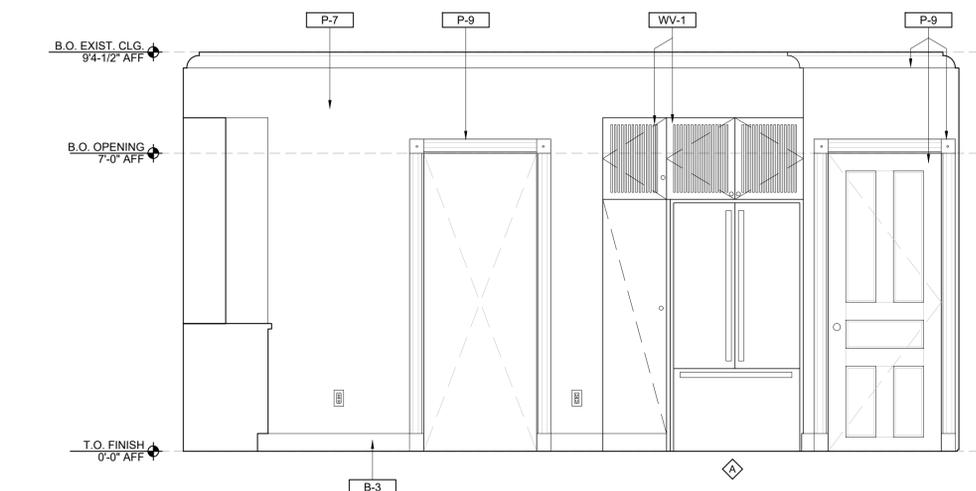
1
 INTERIOR ELEVATIONS - KITCHEN 107
 6/A.201
 1/2" = 1'-0"



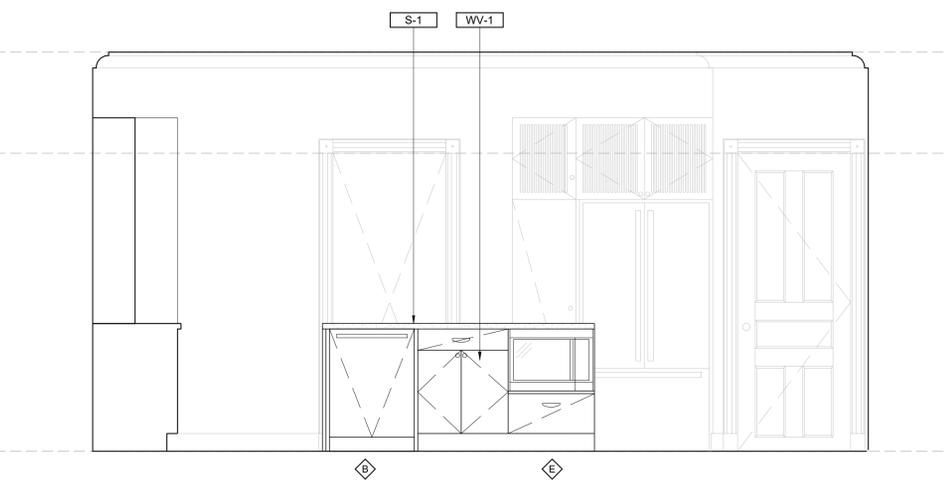
2
 INTERIOR ELEVATIONS - KITCHEN 107
 6/A.201
 1/2" = 1'-0"



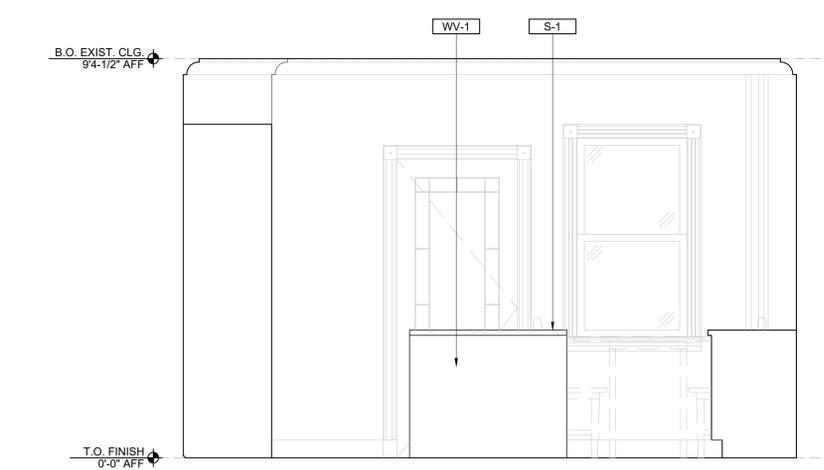
3
 INTERIOR ELEVATIONS - KITCHEN 107
 6/A.201
 1/2" = 1'-0"



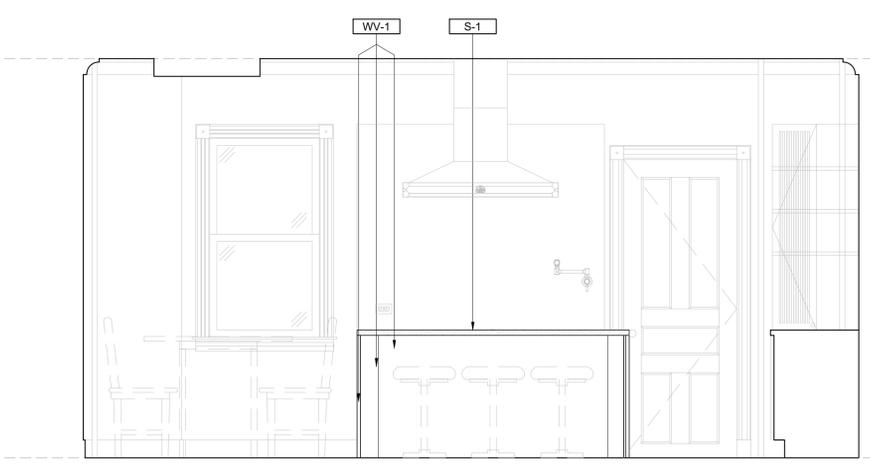
4
 INTERIOR ELEVATIONS - KITCHEN 107
 6/A.201
 1/2" = 1'-0"



5
 INTERIOR ELEVATIONS - KITCHEN 107
 6/A.201
 1/2" = 1'-0"



6
 INTERIOR ELEVATIONS - KITCHEN 107
 6/A.201
 1/2" = 1'-0"



7
 INTERIOR ELEVATIONS - KITCHEN 107
 6/A.201
 1/2" = 1'-0"

SAITTA GREENPORT
 817 MAIN STREET
 GREENPORT, NY 11944

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3		10/27/21	PROGRESS SET
4		11/01/21	PERMIT
5		12/15/21	ZONING COMMENTS
6		01/11/22	PERMIT
7		02/07/22	PERMIT
-	-	-	-
-	-	-	-
-	-	-	-

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DOB STAMP / SIGNATURES

DOB BEGAN

INTERIOR ELEVATIONS - KITCHEN

Project No. 210421-SIGP
A.700

AUTOCAD: 27/02/22 8:10 AM



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 817 MAIN STREET
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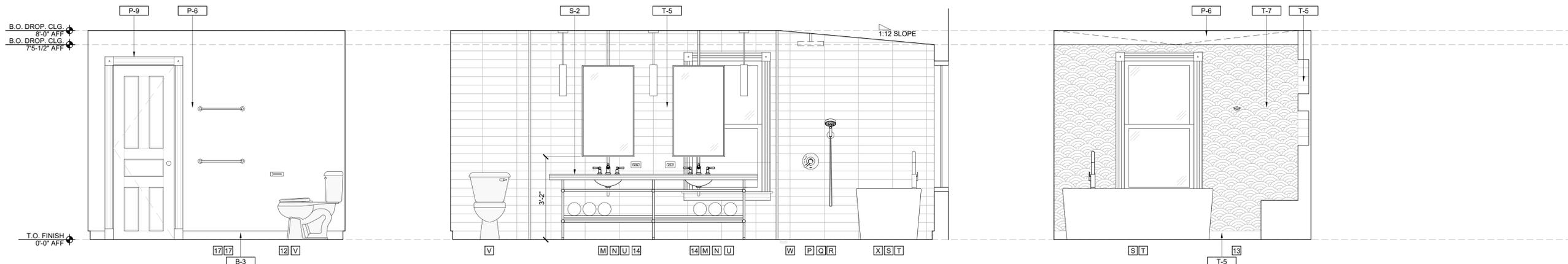
Issue No.	Rev. No.	Date	Issued For
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5		12/15/21	ZONING COMMENTS
6		01/11/22	PERMIT
7	▲	02/07/22	PERMIT
-	-	-	-
-	-	-	-
-	-	-	-

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DOB STAMP / SIGNATURES

DOB ESCAN

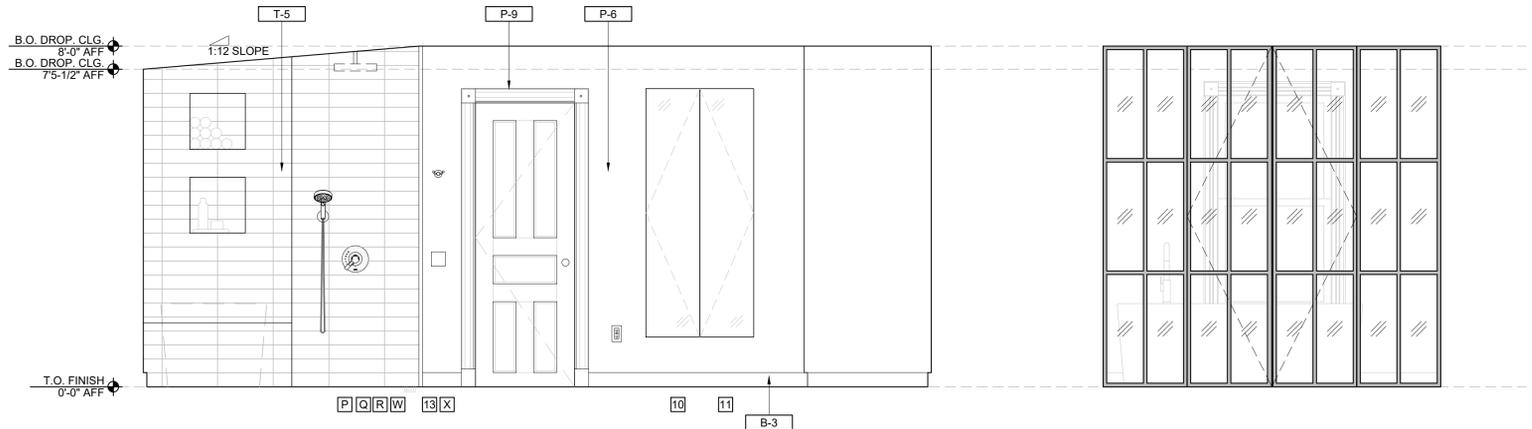
INTERIOR ELEVATIONS - MASTER BATHROOM



1
 INTERIOR ELEVATIONS - MASTER BATHROOM 200
 3/A.201
 1/2" = 1'-0"

2
 INTERIOR ELEVATIONS - MASTER BATHROOM 200
 3/A.201
 1/2" = 1'-0"

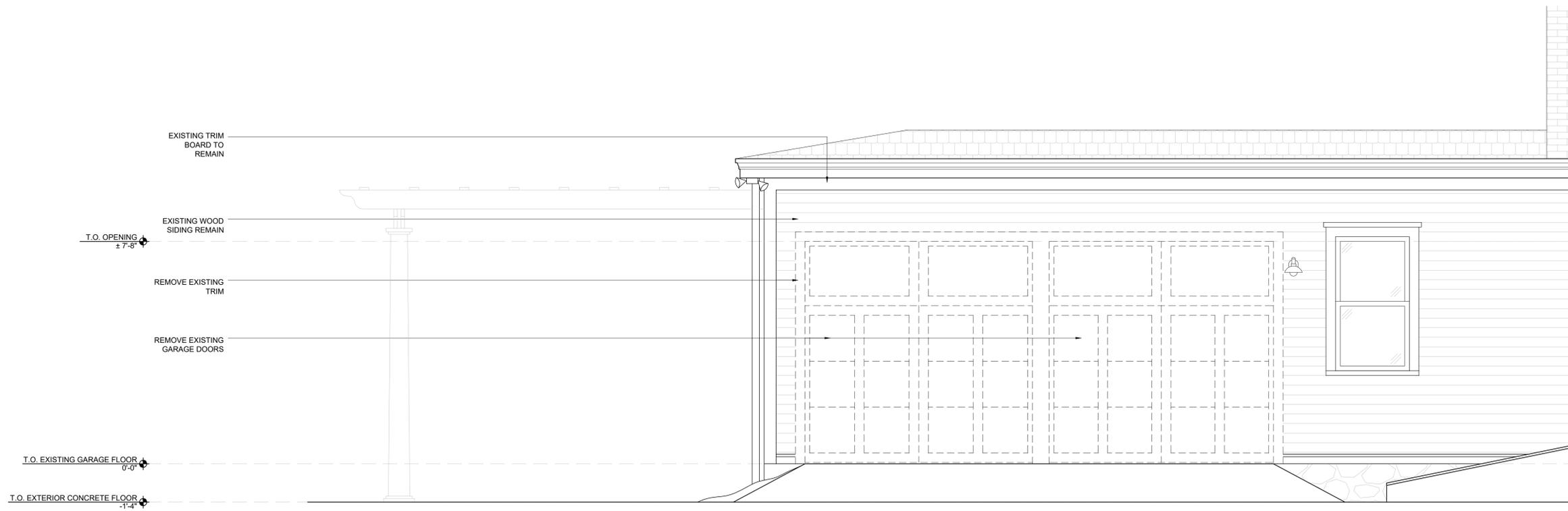
3
 INTERIOR ELEVATIONS - MASTER BATHROOM 200
 3/A.201
 1/2" = 1'-0"



4
 INTERIOR ELEVATIONS - MASTER BATHROOM 200
 3/A.201
 1/2" = 1'-0"

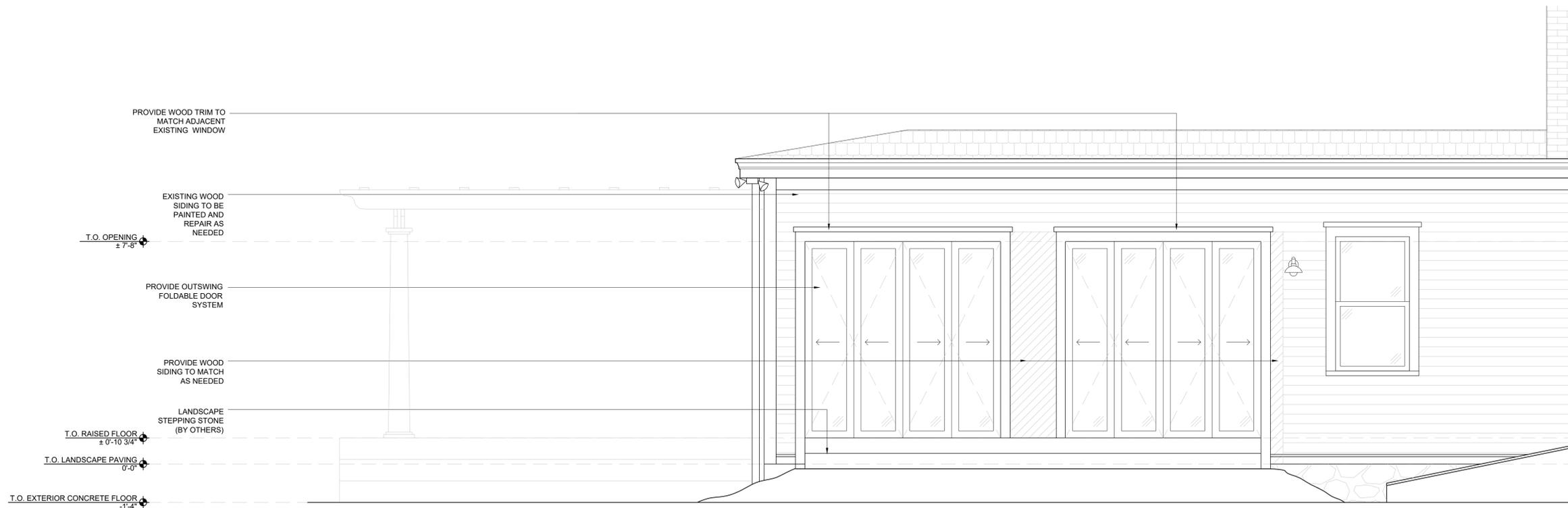
5
 INTERIOR ELEVATIONS - MASTER BATHROOM 200
 3/A.201
 1/2" = 1'-0"

AUTOCAD: 27/02/22 8:10 AM



1
EXISTING EXTERIOR ELEVATION

2/A.200
1/2" = 1'-0"



2
PROPOSED EXTERIOR ELEVATION

3/A.200
1/2" = 1'-0"



SAITTA GREENPORT
817 MAIN STREET
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6		01/12/22	PERMIT
7		02/07/22	PERMIT
-	-	-	-
-	-	-	-

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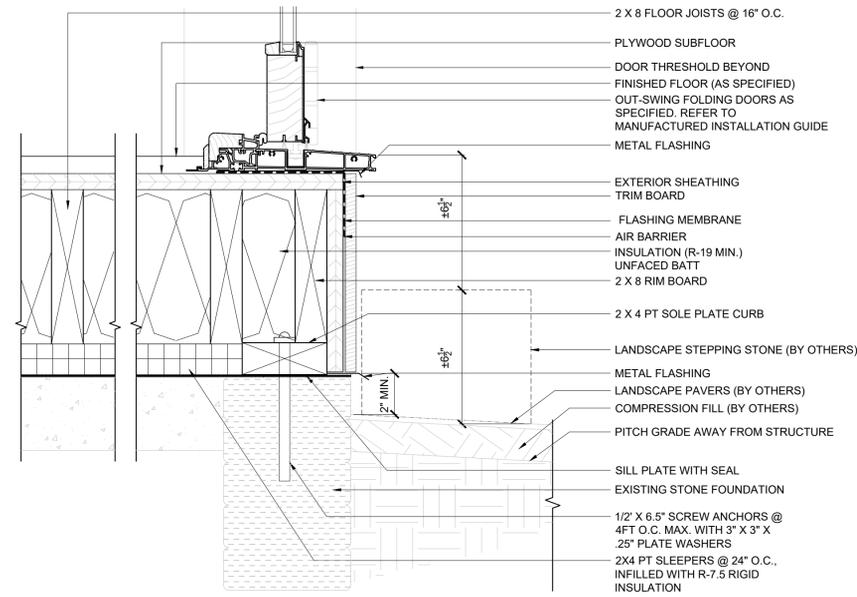
DOB STAMP / SIGNATURES

DOB SIGN

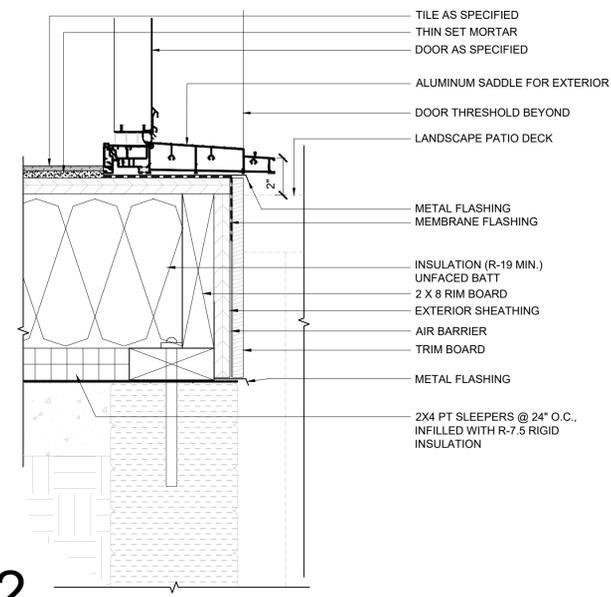
EXISTING AND PROPOSED EXTERIOR ELEVATIONS

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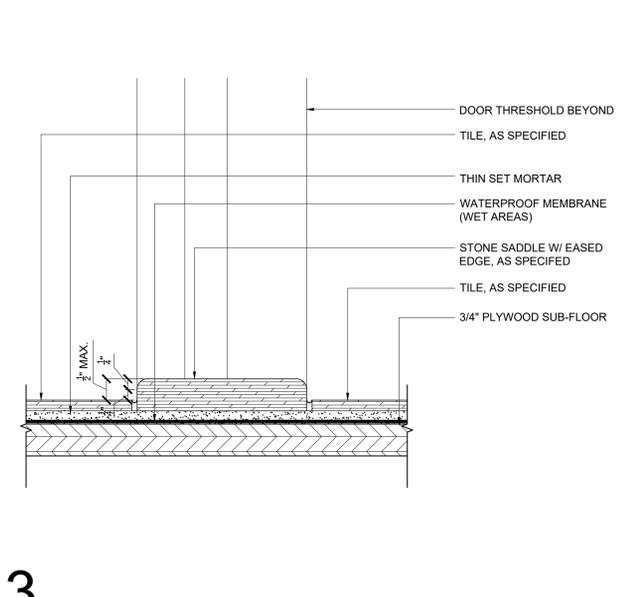
A.750



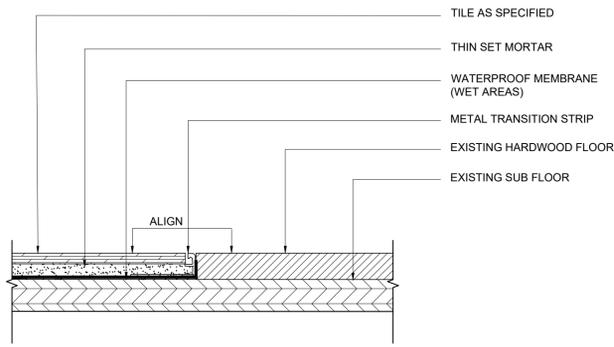
1
TRANSITION DETAIL @ FOLDING DOORS
1/A.500
3" = 1'-0"



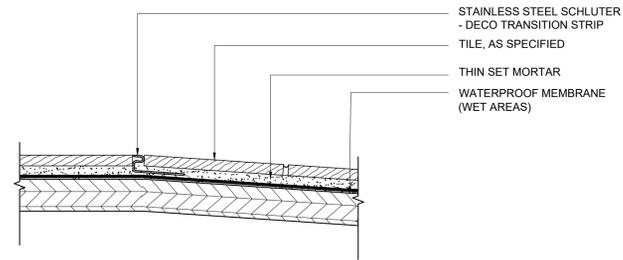
2
EXT. TILE TO PAVERS - FLOOR TRANSITION DETAIL
1/A.500
3" = 1'-0"



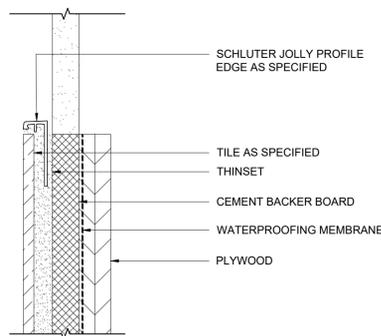
3
INT. TILE TO TILE - FLOOR TRANSITION DETAIL
1/A.500
6" = 1'-0"



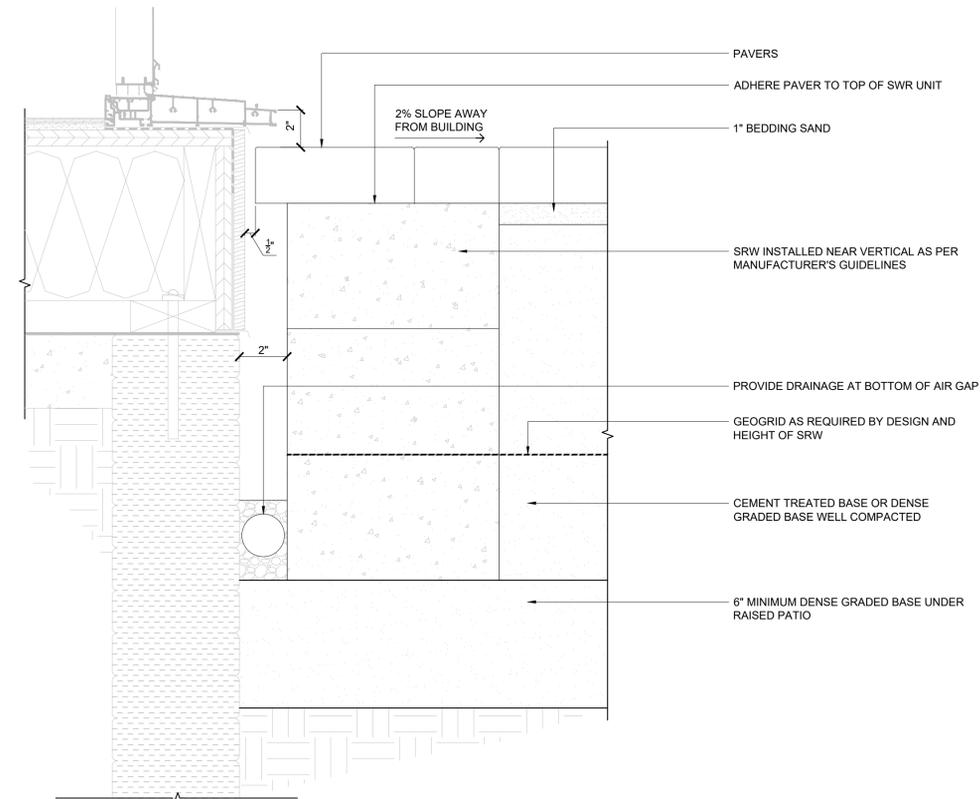
4
INT. WOOD TO TILE - FLOOR TRANSITION DETAIL
2/A.500
6" = 1'-0"



5
TRANSITION DETAIL AT RAMP
3/A.200
6" = 1'-0"



6
TILE TO GYP. - WALL TRANSITION @ RESTROOM WALL
1/A.500
6" = 1'-0"



7
GENERIC RAISED PATIO DETAIL
1/A.500
3" = 1'-0"



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DOB STAMP / SIGNATURES

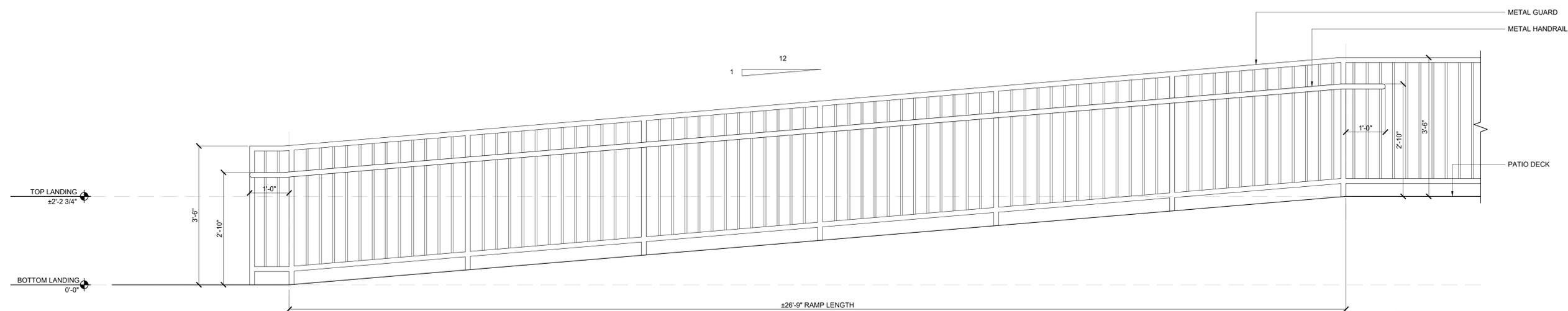
DOB SIGN



1

EXTERIOR RAMP PLAN DETAIL

3/4" = 1'-0"

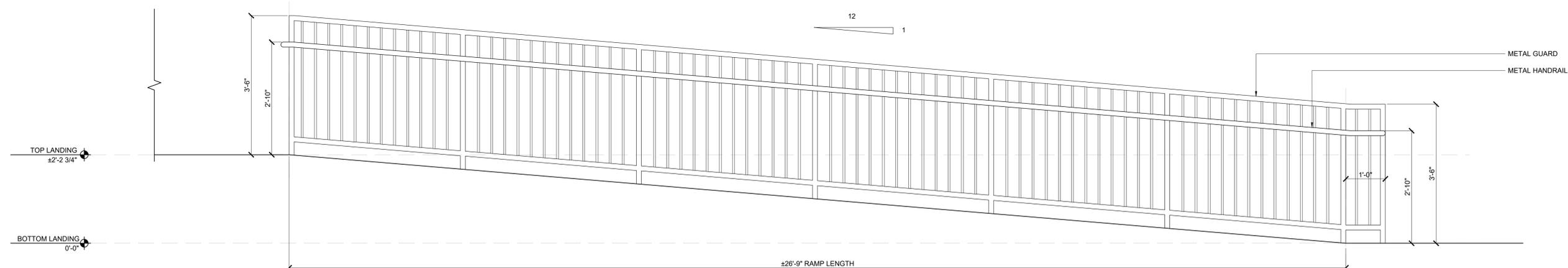


2

EXTERIOR RAMP SECTION 1

1/A.901

3/4" = 1'-0"



3

EXTERIOR RAMP SECTION 2

1/A.901

3/4" = 1'-0"



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 GREENPORT, NY 11944

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DOB BSCAN

EXTERIOR RAMP DETAILS

Project No. 210421-SIGP

A.901