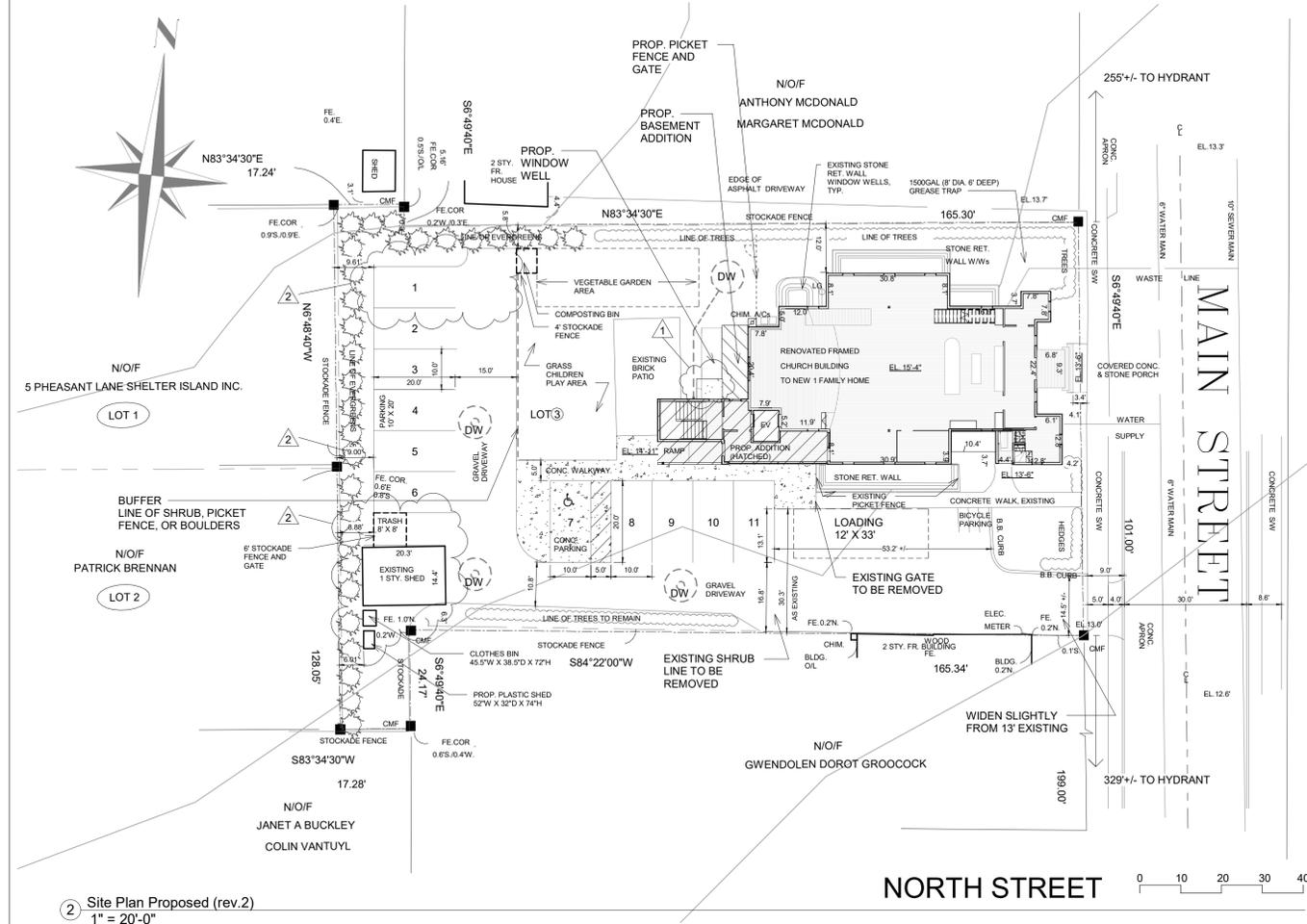


1 Site Plan Existing  
1" = 20'-0"



2 Site Plan Proposed (rev.2)  
1" = 20'-0"

PROJECT  
**CONVERSION TO CAST HEADQUARTERS**

**SUMMARY OF WORK:**

CONVERSION OF FORMER CHURCH RENOVATED AS A SINGLE-FAMILY HOME TO CAST HEADQUARTERS.

GROSS FLOOR AREAS:

BASEMENT:	EXISTING	2,049.02 SQ.FT.	
	ADDITION	565.43 SQ.FT.	2,614.45 SQ.FT.
	TOTAL		2,614.45 SQ.FT.
FIRST FLOOR:	EXISTING	2,829.70 SQ.FT.	
	ADDITION	551.38 SQ.FT.	3,381.08 SQ.FT.
	TOTAL		3,381.08 SQ.FT.
MEZZANINE:	EXISTING	359.54 SQ.FT.	
	ADDITION	49.50 SQ.FT. (STAIRWAY)	409.04 SQ.FT.
	TOTAL		409.04 SQ.FT.
GRAND TOTAL			6,404.57 SQ.FT.

THE SUMMARY OF WORK SHALL INCLUDE BUT IS NOT LIMITED TO:

- WEST ENTRY ADDITION
  - ADD ELEVATOR, ACCESSIBLE STAIRCASE, ENTRY HALL, AND COVERED RAMP AND LANDING
  - BASEMENT ADDITION TO CONNECT NEW STAIRCASE AND EXISTING BASEMENT HALLWAY
- BASEMENT ALTERATION
  - CONVERT EXISTING ROOMS TO OFFICE, PANTRY, FOOD PREP, SHARING, MEETING ROOM, AND DONATION DROP-OFF STORAGE USES.
  - CONVERT EXISTING RESTROOMS TO MEN AND WOMEN ACCESSIBLE RESTROOMS.
- FIRST FLOOR ALTERATION
  - CONVERT EXISTING MAIN HALL TO COMMUNITY ROOM (INCLUDING PANTRY, CLASSROOM, STAGE, OFFICE ZONES), AND COUNSELING ROOM.
  - ADD NYSCB COMPLYING STAIRWAY TO THE MEZZANINE
  - RECONFIGURE STAGE, ELIMINATING LARGE STEP AND PROVIDING NEW COMPLIANT STEPS AND A RAMP.
- MEZZANINE ALTERATION
  - CONVERT EXISTING MEZZANINE TO A LOFT OFFICE
  - ADD STAIR TO MEZZANINE
- HVAC SYSTEM UPGRADE FOR VENTILATION AND DEHUMIDIFICATION.
- ALL RELATED, PLUMBING AND ELECTRICAL WORK

**BUILDING CODE NOTES:**

THE FOLLOWING NOTES SHALL APPLY THROUGHOUT.

- ALL WORK SHALL BE EXECUTED IN FULL COMPLIANCE WITH THE APPLICABLE PROVISIONS OF ALL LAWS, BY-LAWS, STATUTES, ORDINANCES, CODES, RULES, REGULATIONS, AND LAWFUL ORDERS OF PUBLIC AUTHORITIES BEARING ON THE PERFORMANCE AND EXECUTION OF THE WORK. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE TOWN AND ARCHITECT/ENGINEER OF ANY PORTIONS OF THE WORK IN THE CONTRACT DOCUMENTS THAT ARE AT VARIANCE WITH THE ABOVE.
- ALL MATERIALS, ASSEMBLIES, FORMS METHODS OF CONSTRUCTION AND SERVICE EQUIPMENT SHALL MEET THE FOLLOWING REQUIREMENTS:
  - THEY SHALL HAVE BEEN ACCEPTABLE TO THE VILLAGE OF GREENPORT BUILDING DEPARTMENT
  - THEY SHALL HAVE BEEN ACCEPTED FOR THE USE UNDER THE PRESCRIBED TEST METHODS BY THE REGULATING AGENCIES.
- MATERIALS OR ASSEMBLIES REQUIRED TO HAVE A FIRE RESISTANCE RATING SHALL COMPLY WITH ONE OF THE FOLLOWING:
  - THEY SHALL CONFORM WITH EITHER THE APPLICABLE CODES OR
  - THEY SHALL HAVE BEEN TESTED IN ACCORDANCE WITH ASTM E119, STANDARD METHODS OF FIRE TESTS OF BUILDING CONSTRUCTION AND MATERIALS AND ACCEPTED BY THE VILLAGE OF GREENPORT BUILDING DEPARTMENT (OR)
  - THEY SHALL HAVE BEEN ACCEPTABLE PRIOR TO THE EFFECTIVE DATE OF THE CODE.
- ALL MASONRY UNITS SHALL CONFORM TO THE BUILDING CODE.
- THE CONTRACTOR SHALL OBTAIN EQUIPMENT USE PERMITS REQUIRED IN ACCORDANCE WITH THE BUILDING CODE.
- ALL NEW WORK SHALL COMPLY WITH ANSI 117.1 2003 AMERICAN NATIONAL STANDARD ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES
- ALL NEW INTERIOR FINISHES SHALL COMPLY WITH NYSCB SECTION 803.
- ALL NEW THERMAL AND SOUND-INSULATING MATERIALS SHALL COMPLY WITH NYSCB SECTION 807.
- THE CONTRACTOR IS RESPONSIBLE FOR FILING APPLICATIONS AND OBTAINING PERMITS FOR SCAFFOLDING, ANY OTHER CONSTRUCTION EQUIPMENT OR PUBLIC PROTECTIVES REQUIRED TO ENSURE SAFETY OF OPERATION.

**BUILDING CODE COMPLIANCE:**

- Use(s) and Occupancy Classification(s): A3
- Height and Fire Area: 84'0" +/-, 1.5 stories, as existing; Fire Area n/a
- Type of Construction: Type VB, 2x6 platform construction, as existing
- Structural Design criteria: Engineered (No structural changes will be made, except addition)
- Framing elements: To be included in Structural Drawings
- Design load calculations: To be included in Structural Drawings
- Glazing protection: Required (Wind Speed 130 mile zone; 0.3 mile (<1 mile) to coast line) Provide Hurricane resistant rated windows and/or protection panels
- Load paths from roof to foundation: To be included in Structural Drawings
- Nailing and/or connection schedule, framing details: To be included in Structural Drawings
- Means of Egress: See G01.
- Plumbing riser diagram: To be included in Plumbing Drawings
- Location of fire protection equipment, i.e. smoke alarm: To be included in Electrical Drawings
- Truss design drawings with certification: n/a
- Energy calculations from design professional: To be provided (Prescriptive)

Tree Types	
#	Tree Type
A	Existing Spruce
B	Existing Hedge, Line of Boxwood and Focacia

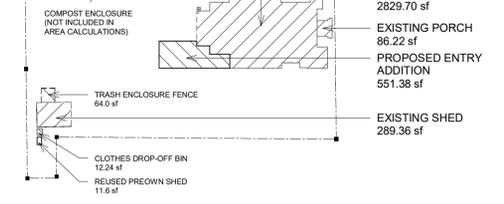
**ZONING:**

ZONE: R-2  
Use: Conditional uses (§150-7-B) (3) Philanthropic organizations subject to approval by the Planning Board  
Flood Zone X

Lot	req.	existing/proposing	NC for use	§150-7-B-3-(b)
1	1 Acre, or 43,560.15 SF	18,716 SF	OK	§150-12
Width	60 FT	101	OK	§150-12
Depth	100 FT	182.5	OK	§150-12
Setback, all	50 FT	4.1 as per survey	existing OK	§150-7-B-1-(a)
Front Yard	30 FT	4.1 as per survey	existing NC	§150-12
One side yard	10 FT	12	OK	§150-12
Both sides	25 FT	52.9	OK	§150-12
Rear	30 FT	78.7	OK	§150-12
Parking	1 space for each 200 square feet of floor area	3308/200 = 17	11	NC
				§150-16-A (1)
Coverage	20%	20.54%		NC
				§150-7-B-1-(b)

Height	2 1/2	1 1/2 (Mezzanine)	existing NC	§150-12
30 or 35	64' +/-		OK	§150-16 B.
Loading	12x33	provided		

Accessory buildings in Residential district:  
Location ..... in Rear Yard ..... OK §150-13 A.  
Height ..... 15' or less ..... 12' +/- OK  
Setback ..... 5' ..... 5' OK



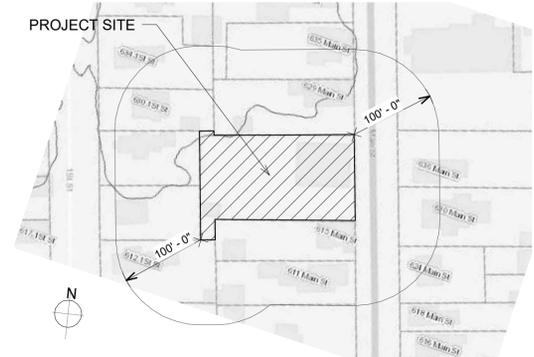
**OTHER REGULATORY REQUIREMENTS:**

Health Department: Not Required (connect to Village)  
DEC: Not Required  
HPC: Required  
Planning Board: Required

**ABBREVIATIONS:**

AFF	ABOVE FINISHED FLOOR	H OR HT	HEIGHT
ALUM.	ALUMINUM	H.P.	HIGH POINT
APPROX.	APPROXIMATELY	HRDWD	HARDWOOD
ARCH.	ARCHITECT	HVAC	HEATING VENTILATING AND AIR CONDITIONING
@	AT	HORZ.	HORIZONTAL
BLD'G	BUILDING	INSUL.	INSULATION
B.O.	BOTTOM OF	INT.	INTERIOR
C.I.	CAST IRON	L.F.	LINEAR FOOT
CL	CENTER LINE	L.P.	LOW POINT
CLG.	CEILING	MAT.	MATERIAL
CLO.	CLOSET	MAX.	MAXIMUM
CNUJ	CONCRETE MASONRY UNIT	MECH.	MECHANICAL
COL	COLUMN	MIN	MINIMUM
CONC.	CONCRETE	MTD.	MOUNTED
CONT.	CONTINUOUS	MTL	METAL
C.J.	CONTROL JOINT	N.I.C.	NOT IN CONTRACT
COR.	CORRIDOR	NO.	NUMBER
CU.FT.	CUBIC FEET	NOM.	NOMINAL
CU.YD.	CUBIC YARD	NTS.	NOT TO SCALE
DET	DETAIL	PLY	PLYWOOD
DIA.	DIAMETER	O.C.	ON CENTER
DIM.	DIMENSION	R	RADIUS
DIM	DIMMER	RAIL'G	RAILING
DR.	DOOR	REINF.	REINFORCING
DWG	DRAWING	R.D.	ROOF DRAIN
E.J.	EXPANSION JOINT	REQD.	REQUIRED
ELEV.	ELEVATION	RM	ROOM
ELEC.	ELECTRIC	SF	SQUARE FEET
ENT.	ENTRY	SIM.	SIMILAR
EQ.	EQUAL	SPEC.	SPECIFICATION
EQUIP.	EQUIPMENT	S.S.	STAINLESS STEEL
ERV	ENERGY RECOVERY VENTILATOR	STD.	STANDARD
EV	ELEVATOR	STL	STEEL
EXIST.	EXISTING	TEL.	TELEPHONE
EXT.	EXTERIOR	TH.	THICKNESS
FF	FINISHED FLOOR	T.O.	TOP OF
FIN.	FINISH OR FINISHED	TYP	TYPICAL
FL	FLOOR	U.O.N.	UNLESS OTHERWISE NOTED
FLASH'G	FLASHING	V.I.F.	VERIFY IN FIELD
F.P.	FIRE PROOFING	W	WIDTH
FT	FEET	W/	WITH
GA	GALVE	WD	WOOD
GALV.	GALVANIZED	W.R.B.	WATER RESISTIVE BARRIER
G.C.	GENERAL CONTRACTOR		
GL	GLASS		
GWB	GYPSUM WALL BOARD		

**LOCATION MAP:**



**studio a/b architects**

651 West Main Street,  
Riverhead, NY 11901  
631 591 2402  
631 323 1426  
glynis@studioabarchitects.com  
mailing address:  
PO Box 444, Orient, NY 11957

client:  
Community Action Southold Town (CAST)

site address:  
621 Main Street, Greenport, NY 11944

tax map #: 1001-02-06-49.4

current property Owner:  
5 Pheasant Lane, Shelter Island INC.

No.	Description	Date
1	Revision 1	01/24/2020
2	Revision 2	03/10/2020

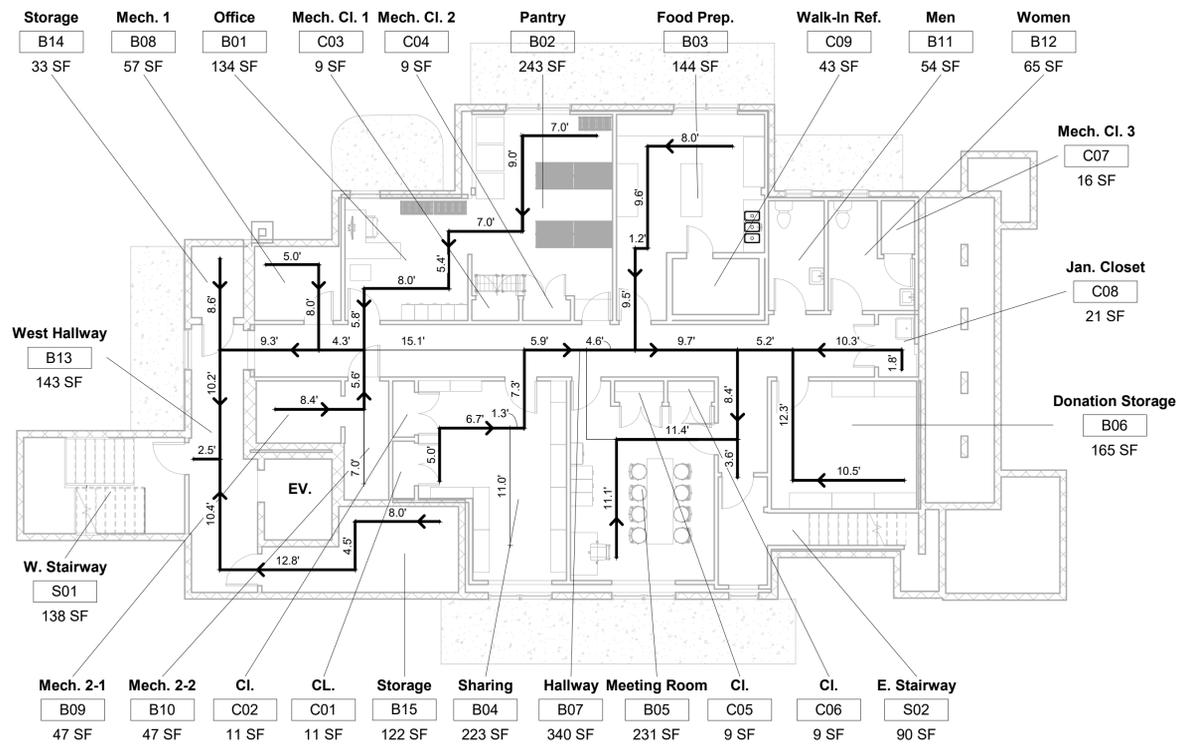
PROJECT  
**CAST Headquarters  
Conversion**

**Site Plan**

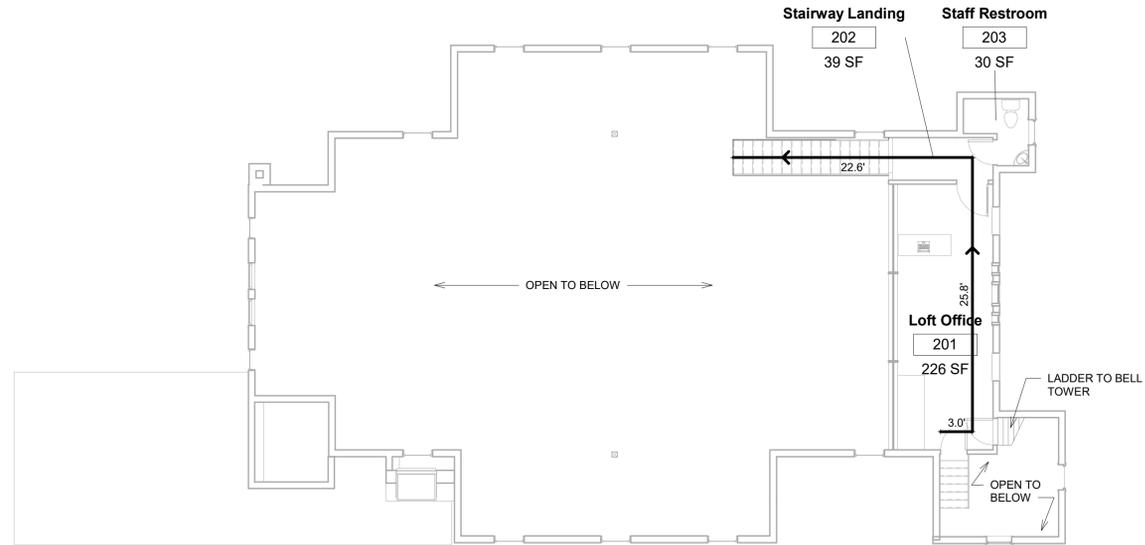
Project number	19026
Date	03/10/2020
Drawn by	HA
Checked by	GB

Scale  
**A-01**  
As indicated

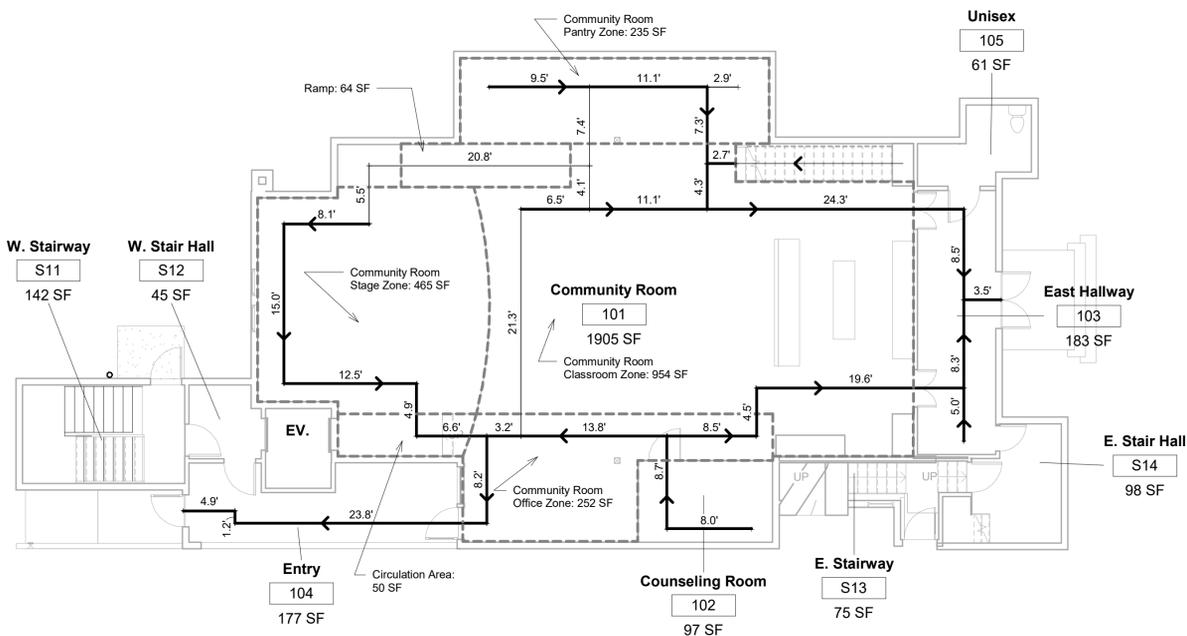




1 Basement Egress Plan  
1/8" = 1'-0"



3 Second Floor Egress Plan  
1/8" = 1'-0"



2 First Floor Egress Plan  
1/8" = 1'-0"

Occupancy Load / Travel Distance									
Rm#	Room1	Occupancy Type	SF / occupancy	Room Area	Occupants Load	Min. # of Exit	Closest Exit	Travel Distance	Common Travel Distance
101	Pantry Zone	Mercantile	60	235	4	1	East	68.5	9.5
101	Classroom Zone	Classroom	20	954	48	1	East	53.9	0
101	Stage Zone	Day care	35	465	14	1	West	85.2	0
101	Office Zone	Business	100	252	3	1	West	63.6	0
102	Counseling Room	Vocational	50	97	2	1	East	52.6	16.7
103	East Hall	Vocational	50	183	4	1	East	16.8	5
201	Loft Office	Business	100	226	3	1	East	94.7	54.1
B01	Office	Business	100	134	2	1	West	45.5	19.2
B02	Pantry	Mercantile	60	243	5	1	East	68.6	21
B03	Food Prep.	Kitchen	200	144	1	1	East	50	28.3
B04	Sharing	Mercantile	60	223	4	1	East	52.6	22.4
B05	Meeting Room	Classroom	20	231	12	1	East	26.1	11.1
B06	Donation Storage	Storage	300	165	1	1	East	40	28
B08	Mech. 1	Mech.	300	57	1	1	West	35	11.1
B09	Mech. 2.1	Mech.	300	47	1	1	West	40.3	14
B10	Mech. 2.2	Mech.	300	47	1	1	West	38.9	12.6
B14	Storage	Storage	300	33	1	1	West	21.3	8.6
B15	Storage	Storage	300	122	1	1	West	38.2	35.7

TRAVEL DISTANCE COMPLIES WITH NYSBC T1017.2  
COMMON TRAVEL DISTANCE COMPLIES WITH NYSBC T1006.2.1

OCCUPANT LOAD MEZZANINE TOTAL: 3  
OCCUPANT LOAD FIRST FLOOR TOTAL: 75  
OCCUPANT LOAD BASEMENT FLOOR TOTAL: 30  
TOTAL OCCUPANT LOAD: 108

CUMULATIVE OCCUPANT LOAD AT EAST EXIT: 79 (INCLUDING LOAD FROM CLASS ROOM ZONE IN COMMUNITY ROOM)  
CUMULATIVE OCCUPANT LOAD AT WEST EXIT: 77 (INCLUDING LOAD FROM CLASS ROOM ZONE IN COMMUNITY ROOM)

MINIMUM REQUIRED DOOR WIDTH AT EXITS: 32" CLEAR (NYSBC 1005.3.2, 1010.1.1, W/ NO SPRINKLER)  
MINIMUM REQUIRED CORRIDOR WIDTH EXITS: 44" CLEAR (NYSBC 1005.3.2, 1020.2, W/ NO SPRINKLER)  
MINIMUM STAIRWAY WIDTH: 36" (NYSBC 1011.2, W/ NO SPRINKLER, OCCUPANT OAD LESS THAN 50)  
48" BETWEEN HANDRAILS (NYSBC 1009.3, ACCESSIBLE STAIRWAY)

No.	Description	Date
2	Revision 2	03/10/2020

PROJECT  
**CAST Headquarters Conversion**

Egress Plans

Project number	19026
Date	03/10/2020
Drawn by	HA
Checked by	GB

Scale  
**G-01**  
As indicated