

COMMERCIAL GENERAL NOTES

- MISC. GENERAL NOTES
- THIS PROJECT IS THE INTERIOR AND EXTERIOR RENOVATIONS OF EXISTING 3-STORY WOOD FRAME MIXED-USE STRUCTURE, ZONED AS C-R.
 - THE HEIGHT OF THE EXISTING BUILDING AS DEFINED BY THE BUILDING CODE OF NEW YORK STATE 2020 IS 34'-0". THE PROPOSED HEIGHT OF THE BUILDING WILL NOT CHANGE.
 - THE TYPE OF CONSTRUCTION IS TYPE V (B).
 - ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE 2020 BUILDING CODE OF NEW YORK STATE, 2020 EXISTING BUILDING CODE OF NEW YORK STATE, AND THE AF 4 PA WOOD FRAME CONSTRUCTION MANUAL, 2015 HIGH WIND EDITION.
 - DESIGN LOAD CALCULATION ARE BASED ON:
LIVE LOAD: AS PER TABLE R301-4, BUILDING CODE OF NEW YORK STATE 2020.
DEAD LOAD: CALCULATED AS PER R301-3 AS PER BCNYS 2020.
SNOW LOAD: 20 PSF GROUND SNOW LOAD (AS PER FIG. R301-2(b) BCNYS 2020.
WIND EXPOSURE CATEGORY 'C', FOR 130 MPH 3 SECOND GUST.
- | LOCATION | LIVE | DEAD | DELECT LIMIT |
|----------------------|--------|------|--------------|
| 1ST FL. | 40 LB. | 12 | USGO |
| 2ND FL. (SLEEP AREA) | 30 LB. | 12 | USGO |
| ATTIC (NON STORAGE) | 20 LB. | 10 | USGO |
| ROOF | 20 LB. | 15 | USGO |

6. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
THERE ARE NO WARRANTIES, NOR ANY MERCHANTABILITY OF FITNESS FOR A SPECIFIC USE EXPRESSED OR IMPLIED IN THE USE OF THESE PLANS.
7. CONTRACTOR TO VERIFY ALL DIMENSIONS BEFORE STARTING CONSTRUCTION. DO NOT SCALE DRAWINGS. FOLLOW DIMENSIONS ONLY.
8. CONTRACTORS SHALL FURNISH AND INSTALL ALL MATERIAL AND EQUIPMENT SHOWN, LISTED, OR DESCRIBED ON THESE DRAWINGS SUBJECT TO QUALIFICATIONS, CONDITIONS, OR EXCEPTIONS AS NOTED. CONTRACTOR SHALL FURNISH ALL LABOR, SCAFFOLDING, AND TOOLS NECESSARY TO COMPLETE THE WORK.
9. ALL MATERIAL SHALL BE INSTALLED IN STRICT CONFORMANCE WITH MANUFACTURERS REQUIREMENTS AND SPECIFICATIONS.
10. CONTRACTOR SHALL OBTAIN ALL REQUIRED INSPECTIONS, APPROVALS AND CERTIFICATE OF OCCUPANCY.

- DEMOLITION
- CONTRACTOR SHALL DEMOLISH WALLS, FLOOR, AND EXISTING ROOF AS INDICATED ON DRAWINGS AND AS NECESSARY, AND REMOVE DEBRIS.
 - CONTRACTOR SHALL DO ALL PAVING REQUIRED DUE TO REMOVAL OF EXISTING WORK AND/OR INSTALLATION OF NEW YORK.
 - ALL NEW WORK SHALL MATCH AND MEET FLUSH TO EXISTING WORK AS CLOSELY AS POSSIBLE UNLESS OTHERWISE NOTED.
 - EXISTING STRUCTURE AND INTERIORS TO REMAIN SHALL BE PROTECTED AS NECESSARY DURING DEMOLITION AND CONSTRUCTION.
 - CONTRACTOR SHALL PROTECT EXISTING SERVICES TO REMAIN AND SHALL NOTIFY ALL UTILITIES AND TELEPHONE SERVICES AND MAKE ARRANGEMENTS FOR HOOR-UP, REMOVAL, OR CAPPING OF EQUIPMENT AS NECESSARY.

- FOUNDATIONS
- ASSUMED SOIL BEARING CAPACITY, 1,500 LB./SQ.FT.
 - CONCRETE TO BE PLAIN, REINFORCED, 3,000 PSI, 28 DAY TEST.
 - ALL NEW FOOTINGS TO REST ON UNDISTURBED SOIL.

- GENERAL CONSTRUCTION
- PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, EQUIPMENT AND SERVICES NECESSARY TO COMPLETE ALL WOOD AND PLASTIC WORK REQUIRED BY THE DRAWINGS AS SPECIFIED HEREIN, OR REASONABLY IMPLIED AS NECESSARY TO COMPLETE THE WORK.
 - FASCIAS, SCOFFITS AND EXTERIOR TRIM SHALL MATCH EXISTING.
 - INTERIOR TRIM SHALL MATCH EXISTING.
 - FRAMING ELEMENTS:
 - ALL FRAMING LUMBER SHALL BE GRADE STAMPED DOUGLAS FIR-LARCH STRUCTURAL GRADE NO. 2 OR BETTER.
 - ALL ENGINEERED LUMBER SHALL BE AS INDICATED ON DRAWINGS, AND SHALL BE INSTALLED, CUT AND DRILLED IN ACCORDANCE WITH MANUFACTURERS REQUIREMENTS AND SPECIFICATIONS.
 - ALL SUB FLOORING TO BE APA RATED, EXPOSURE 1, THICKNESS AS INDICATED.
 - ALL HEADERS 6" O.D. AND OVER SHALL BE SUPPORTED WITH DOUBLE UPRIGHTS, 9" O.D. AND OVER WITH TRIPLE UPRIGHTS. ALL HEADERS SHALL BE A MIN. OF 2" O.D. OR AS SHOWN ON DRAWING.
 - SOLID BLOCKING SHALL BE PROVIDED FOR ALL JOISTS AND FLOOR BEAMS AS PER BCNYS 2020 OR AS NOTED @ 9" O.C. MIN. PROVIDE 2" O.D. FOR AIR CIRCULATION IN ROOF.
 - PROVIDE DOUBLE FRAMING AROUND ALL OPENINGS (STAIRS, ETC.) OR AS NOTED ON DRAWINGS.
 - PROVIDE DOUBLE UP FRAMING UNDER ALL POSTS AND PARALLEL PARTITIONS OR AS NOTED ON DRAWING.
 - ALL FLUSH WOOD CONNECTIONS SHALL BE FASTENED WITH RATED GALVANIZED METAL CONNECTORS BY SIMPSON OR APPROVED EQUAL.
 - NAILING SCHEDULE SHALL BE AS PER BUILDING CODE OF NEW YORK STATE 2020 AS A MINIMUM. ALL 2" O.D. NAILS SHALL RECEIVE A SILL AND PLATE. ALL EXTERIOR NAILS SHALL BE GALVANIZED. SEE ATTACHED NAILING SCHEDULE.
 - PLYWOOD SHEATHING TO BE NAIL SPACED 6" NAILS @ 4" O.C. EXTERIOR EDGES AND 6" NAILS @ 12" O.C. INTERMEDIATE. SEE ATTACHED NAILING SCHEDULE.
 - ALL INTERIOR AND EXTERIOR FINISHES TO BE SELECTED BY OWNER.
 - ALL ROOF RAFTERS SHALL BE ATTACHED TO THE PLATE AND STUD WITH GALVANIZED HURRICANE TIE CONNECTORS BY SIMPSON OR APPROVED EQUAL. FOR TIMBER TIE FOUNDATIONS, PROVIDE HURRICANE CLIPS AT ALL PERPENDICULAR JOISTS TO GROUND CONNECTIONS.
 - ALL NEW WINDOWS TO BE THERMAL INSULATED LOW-E GLASS, WITH ARGON GAS, IMPACT RESISTANT AS REQUIRED.
 - LOAD PATHS ARE INDICATED BY SECTION DRAWINGS.
 - CONNECTIONS SHALL BE BUILT IN ACCORDANCE WITH ANSI A/F A PA WCFM-1995 (SEE NAILING SCHEDULE).
 - FLASHING AT ALL WINDOW AND DOOR OPENINGS SHALL BE EPDM OR APPROVED RUBBERIZED MEMBRANE.
 - FLASHING AT ROOF CONNECTIONS, VALLEYS, CHIMNEYS AND CRACKS SHALL BE ALUMINUM.
 - STEP FLASHING SHALL BE USED AT ALL INTERSECTIONS OF SLOPED AND VERTICAL SURFACES, EXCEPT STEP FLASHING AND COUNTER- AND CAP- FLASHING SHALL BE USED AT INTERSECTION OF ROOF AND CHIMNEY, AND ROOF AND WALL.
 - INSULATION SHALL BE BATT INSULATION OF THICKNESS INDICATED ON THE DRAWINGS AND SHALL BE 2-1/2" R-19 DENSITY FIBER GLASS BATT CONFORMING TO THE SPECIFICATIONS FOR FIBER-GLASS FIBROUS GLASS INSULATION, NAAMM STANDARD S1, 18-70. CLOSED-CELL SPRAY-IN FOAM INSULATION (R-6.5 PER INCH) BY ICYNENE OR APPROVED EQUAL SHALL BE PROVIDED AS INDICATED ON DRAWINGS.
 - NEW INTERIOR DOORS SHALL MATCH EXISTING.
 - NEW HARDWARE SHALL MATCH EXISTING.
 - GYPSSUM BOARD SHALL BE PAPER EDGE TYPE, CONFORMING TO ASTM C36, AND SHALL BE "SHEETROCK 5/8" BY U.S. GYPSSUM CO. OR APPROVED EQUAL. GYPSSUM WALLBOARD THICKNESS SHALL BE 1/2".
 - ALL NEW AND REPAIRED GYP BOARD SHALL BE TAPED AND SPACKLED THREE (3) COATS. ALL EXTERIOR CORNERS SHALL HAVE METAL CORNER BEADS.

- FINISHES
- NEW WOOD FLOORS TO BE SELECTED BY OWNER, SAWNED AND POLYURETHANE, SCOTTS.
 - EXISTING WOOD FLOORS SHALL BE SAWNED AND REFINISHED.
 - CERAMIC TILE FLOOR SHALL BE SELECTED BY OWNER AND INSTALLED WITH THIN SET ADHESIVE.
 - EXTERIOR PAINT SHALL BE LATEX ACRYLIC BY BENJAMIN MOORE OR APPROVED EQUAL, APPLIED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND RECOMMENDATIONS. COLOR TO BE SELECTED.
 - EXISTING INTERIOR WALLS AND CEILINGS IN ROOMS AFFECTED BY THE WORK SHALL BE CLEANED AND REPAIRED. NEW WALLS AND CEILINGS SHALL BE SEALED AND PAINTED. PAINTING SHALL BE TWO (2) COATS BENJAMIN MOORE AQUA PEARL LATEX PAINTED. COLOR TO BE SELECTED.
 - INTERIOR TRIM SHALL BE SANDED SMOOTH, PRIMED, AND FINISHED WITH TWO (2) COATS BENJAMIN MOORE LATEX ACRYLIC SEMI-GLOSS PAINT.
- HVAC
- PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, EQUIPMENT AND SERVICES NECESSARY TO PROVIDE A HVAC SYSTEM TO HEAT AND COOL THE LIVING SPACES AS REQUIRED BY THE DRAWINGS AND SPECIFICATIONS AND THE 2020 MECHANICAL CODE OF NEW YORK STATE, OR REASONABLY IMPLIED AS NECESSARY TO COMPLETE TO WORK.
 - EXISTING BOILER TO REMAIN.
 - EXISTING AIR HANDLERS AND CONDITIONERS TO REMAIN.
 - PROVIDE AIR-HANDLERS, DUCTWORK, AND CONTROLS AS NECESSARY TO COMPLETE THE WORK FOR AIR CONDITIONING IN ALL ZONES.
 - PROVIDE HOT WATER RADIANT HEAT TURNING AS NECESSARY FOR HEATING IN ALL ZONES.

- PLUMBING
- PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, EQUIPMENT AND SERVICES NECESSARY TO COMPLETE ALL NEW PLUMBING WORK REQUIRED BY THE DRAWINGS AND SPECIFICATIONS AND THE 2020 PLUMBING CODE OF NEW YORK STATE, OR REASONABLY IMPLIED AS NECESSARY TO COMPLETE THE WORK.
 - CONFORM TO THE NEW YORK STATE ENVIRONMENTAL CONSERVATION LAW WITH REGARD TO WATER SAVING AND CONSERVATION. ALL FIXTURES SHALL BE ON THE APPROVED LIST OF CERTIFIED WATER SAVING PLUMBING FIXTURES AS PUBLISHED BY THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION.
 - ALL WORK ON THE PLUMBING SYSTEM SHALL BE PERFORMED BY OR UNDER THE SUPERVISION OF A PROPERLY LICENSED MASTER PLUMBER. UPON COMPLETION, THE PLUMBER SHALL PROVIDE A SOLDER CERTIFICATE AS REQUIRED BY THE VILLAGE OF GREENPORT.
 - THE CONTRACTOR SHALL OBTAIN, SUBMIT, AND PAY FOR, ALL PERMITS, CERTIFICATIONS, LICENSES AND INSPECTIONS AS REQUIRED BY LOCAL, STATE, AND FEDERAL AUTHORITIES, AND ANY OTHER APPLICABLE JURISDICTION.
- ELECTRICAL
- FURNISH ALL LABOR, MATERIALS, EQUIPMENT, PLANT, TOOLS, AND SERVICES NECESSARY AND REQUIRED FOR PROPER AND COMPLETE INSTALLATION OF ALL NEW ELECTRICAL SYSTEMS AND RELATED WORK INCLUDING, BUT NOT LIMITED TO, CONNECTIONS TO PREVIOUSLY INSTALLED ELECTRICAL SYSTEMS, WIRING, LIGHTING, SERVICES, FEEDERS, DISTRIBUTION AND PROTECTION EQUIPMENT, CONNECTIONS TO APPLIANCES, GROUNDING, AND ALL INCLUDING ALL CONNECTIONS AND DEVICES WITHIN THE SCOPE OF THE WORK AS SHOWN ON THE APPLICABLE DRAWINGS AND AND SPECIFICATIONS AND AS NORMALLY SPECIFIED IN THIS TYPE OF PROJECT AND INCLUDING CONNECTIONS TO PREVIOUSLY INSTALLED TRANSFORMERS AND ELECTRICAL DISTRIBUTION SYSTEMS.
 - ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE 2020 BUILDING CODE OF NEW YORK STATE, THE NATIONAL ELECTRICAL CODE, NFPA NO. 70-2017 (NEC), LOCAL UTILITY STANDARDS, OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA), THE NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION (NEMA) AND ANY OTHER APPLICABLE CODES. IN THE EVENT OF CONFLICT, THE MORE STRINGENT REQUIREMENTS WILL APPLY.
 - ALL PRODUCTS USED FOR ELECTRICAL WORK SHALL BEAR THE UNDERWRITERS LABORATORIES, INC. LABEL AND BE SUITABLE FOR THE ENVIRONMENT IN WHICH THEY WILL BE INSTALLED.
 - ALL WORK ON THE ELECTRICAL SYSTEM SHALL BE PERFORMED BY OR UNDER THE SUPERVISION OF A PROPERLY LICENSED MASTER ELECTRICIAN.
 - THE CONTRACTOR SHALL OBTAIN, SUBMIT, AND PAY FOR ALL PERMITS, LICENSES AND INSPECTIONS AS REQUIRED BY THE LOCAL, STATE, AND FEDERAL AUTHORITIES, AND ANY OTHER APPLICABLE JURISDICTION.
 - CARBON MONOXIDE DETECTORS IN CONFORMANCE WITH APPLICABLE CODES SHALL BE CONNECTED TO THE LIGHTING CIRCUITS WITH NO INTERVENING WALL SWITCH. LINE CORDED-CONNECTED DIRECT WIRING, AND BATTERY POWERED ALARMS ARE NOT ACCEPTABLE. ALARMS SHALL BE INSTALLED ON EACH LEVEL ON WHICH SLEEPING QUARTERS ARE LOCATED.
 - SMOKE DETECTORS IN CONFORMANCE WITH THE 2020 BUILDING CODE OF NEW YORK STATE, THE NFPA NATIONAL FIRE ALARM CODE NO. 72-1993 SHALL BE PROVIDED OUTSIDE EACH SEPARATE SLEEPING AREA, IN EACH SLEEPING AREA, AND ON EACH FLOOR LEVEL.

- CONTRACTOR SHALL COORDINATE WITH OWNERS ALARM COMPANY FOR SMOKE AND BURGLAR ALARMS AS NECESSARY.

CLIMATIC AND GEOGRAPHIC CRITERIA

GROUND SNOW LOAD	20 PSF	PER FIG. 1-608.2 BCNYS 2020
WIND SPEED (ULTIMATE DESIGN)	130 MPH	PER FIG. 1-609.3(1) BCNYS 2020
SEISMIC DESIGN CATEGORY	B	PER SECT. 1-613 BCNYS 2020
WINTER DESIGN TEMP	11°F	PER TABLE 111.01(1.2)
FLOOD ZONE	NA	PER FEMA MAP
FROST LINE DEPTH	36"	PER BCNYS 2020
WEATHERING PROBABILITY	50% PER	PER BCNYS 2020

DESIGN LOAD CALCULATIONS (UNIFORM LIVE LOADS)

PER TABLE 1-607.1 BCNYS 2020	40 PSF
ROOMS OTHER THAN SLEEPING	40 PSF
SLEEPING ROOMS	30 PSF
ATTICS WITH LIMITED STORAGE	20 PSF
ATTICS WITHOUT STORAGE	10 PSF
STAIRS	40 PSF

NAILING SCHEDULE

(PER AF 4 PA AMERICAN WOOD COUNCIL WFCM FOR ONE AND TWO FAMILY DWELLINGS 2015 SEC HIGH WIND EDITION)

JOINT DESCRIPTION	NUMBER OF COMMON NAILS	NAIL SPACING
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ROOF FRAMING

RAFTER TO TOP PLATE (TOE-NAILED)	3	PER RAFTER
CEILING JOIST TO TOP PLATE (TOE-NAILED)	3	PER JOIST
CEILING JOIST TO PARALLEL RAFTER (FACE-NAILED)	3	EACH LAP
CEILING JOIST LAFS OVER PARTITION (FACE-NAILED)	3	EACH LAP
RIDGE STRAP (EACH END)	2	PER TIE
BLOCKING TO RAFTER (TOE-NAILED)	2-4d	EACH END
RIM BOARD TO RAFTER (END-NAILED)	2-16d	EACH END

WALL FRAMING

TOP PLATE TO TOP PLATE (FACE-NAILED)	2-16d	PER FOOT
TOP PLATES AT INTERSECTIONS (FACE-NAILED)	4-16d	JOIST EA SIDE
STUD TO STUD (FACE-NAILED)	2-16d	24" O.C.
HEADER TO HEADER (FACE-NAILED)	1-6d	16" O.C. ALONG EDGES
TOP OR BOTTOM PLATE TO STUD (END-NAILED)	2-16d, 3-1 1/4d, 4-1 1/4d	PER 2x4, 2x6, 2x8 RESPECTIVELY
BOTTOM PLATE TO FLOOR JOIST, BAND JOIST, END JOIST OR BLOCKING (FACE-NAILED)	2-16d	PER FOOT

FLOOR FRAMING

JOIST TO SILL, TOP PLATE TO GROUND (TOE-NAILED)	4-4d	PER JOIST
BRIDGING TO JOIST (TOE-NAILED)	2-4d	EACH END
BLOCKING TO JOIST (TOE-NAILED)	2-4d	EACH END
BLOCKING TO SILL OR TOP PLATE (FACE-NAILED)	3-16d	EACH BLOCK
LEDGE STRIP TO BEAM (FACE-NAILED)	3-16d	EACH JOIST
JOIST ON LEDGE TO BEAM (TOE-NAILED)	3-4d	PER JOIST
BAND JOIST TO JOIST (END-NAILED)	3-16d	PER JOIST
BAND JOIST TO SILL OR TOP PLATE (TOE-NAILED)	2-16d	PER FOOT

ROOF SHEATHING

STRUCTURAL PANELS	5d	(TABLE 3.2)
DIAGONAL BOARD SHEATHING	2-4d	PER SUPPORT
1 1/2" O.K. WIDER	3-4d	PER SUPPORT

CEILING SHEATHING

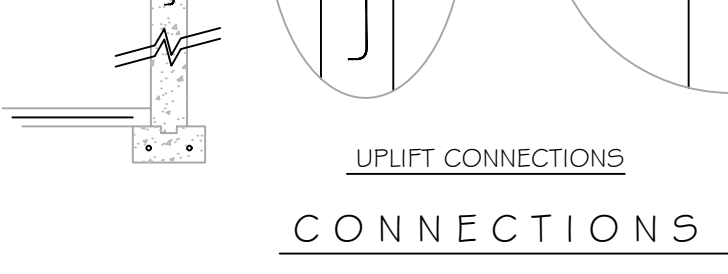
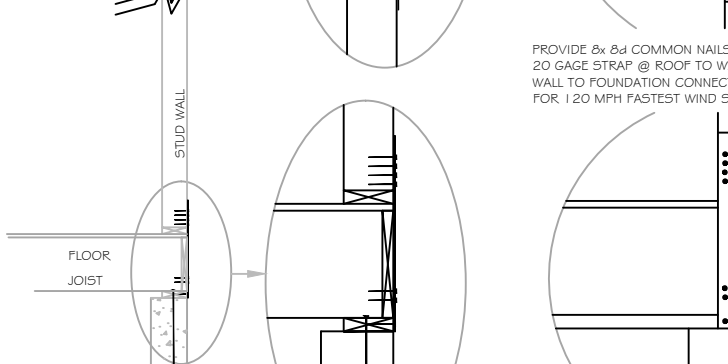
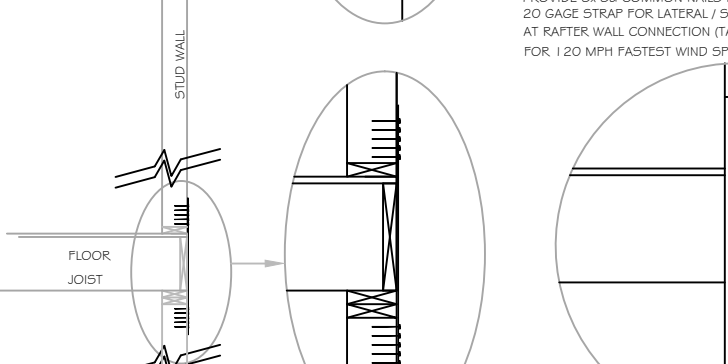
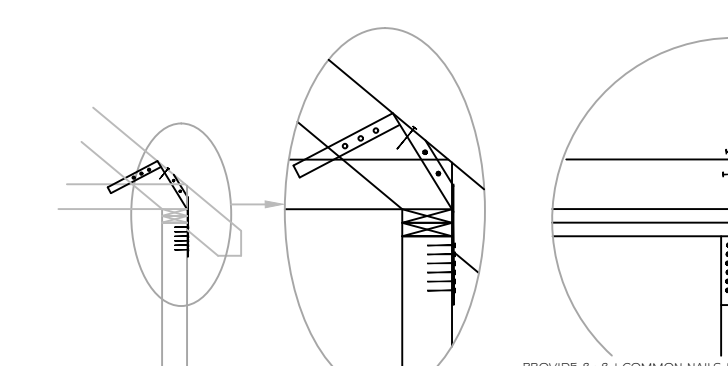
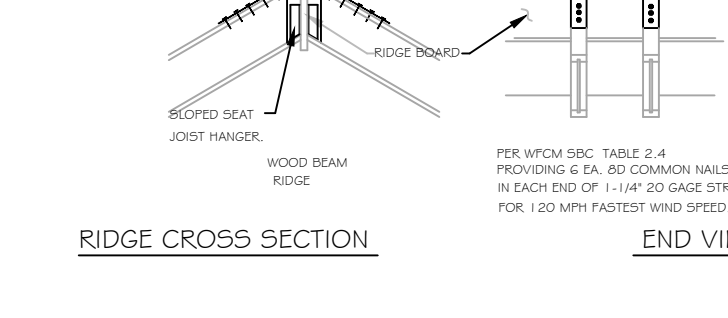
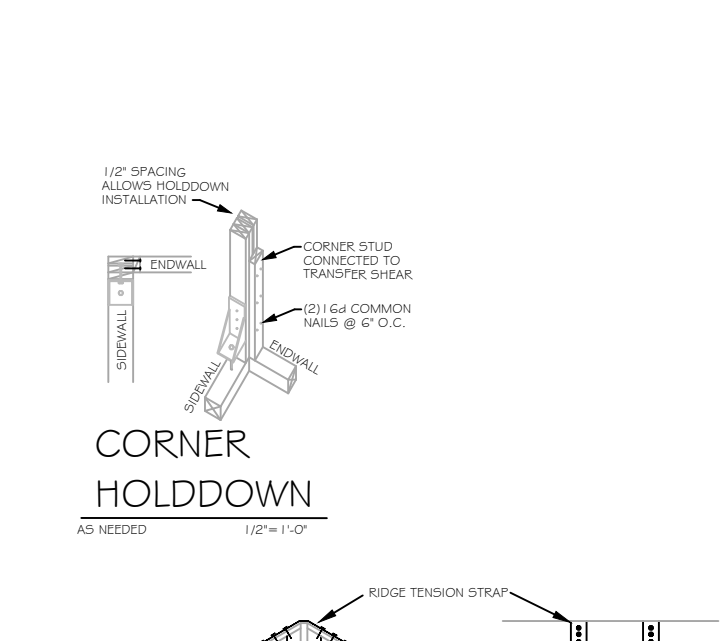
GYPSSUM WALLBOARD	5d coolers	7" EDGE / 10" FIELD
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WALL SHEATHING

STRUCTURAL PANELS	5d	(TABLE 3.3)
FIBERBOARD PANELS	6d	3" EDGE / 6" FIELD
7 1/2" O.K. WIDER	6d	3" EDGE / 6" FIELD
25/32" GYPSSUM WALLBOARD	5d coolers	7" EDGE / 10" FIELD
HARDBOARD	5d	(TABLE 3.3)
PARTICULAR BOARD SHEATHING	6d	(TABLE 3.3)
DIAGONAL BOARD SHEATHING	2-4d	PER SUPPORT
1 1/2" O.K. WIDER	3-4d	PER SUPPORT

FLOOR SHEATHING

STRUCTURAL PANELS	6d	6" EDGE / 12" FIELD
1" O.K. LESS	10d	6" EDGE / 6" FIELD
GREATER THAN 1" DIAGONAL BOARD SHEATHING	2-4d	PER SUPPORT
1 1/2" O.K. WIDER	3-4d	PER SUPPORT



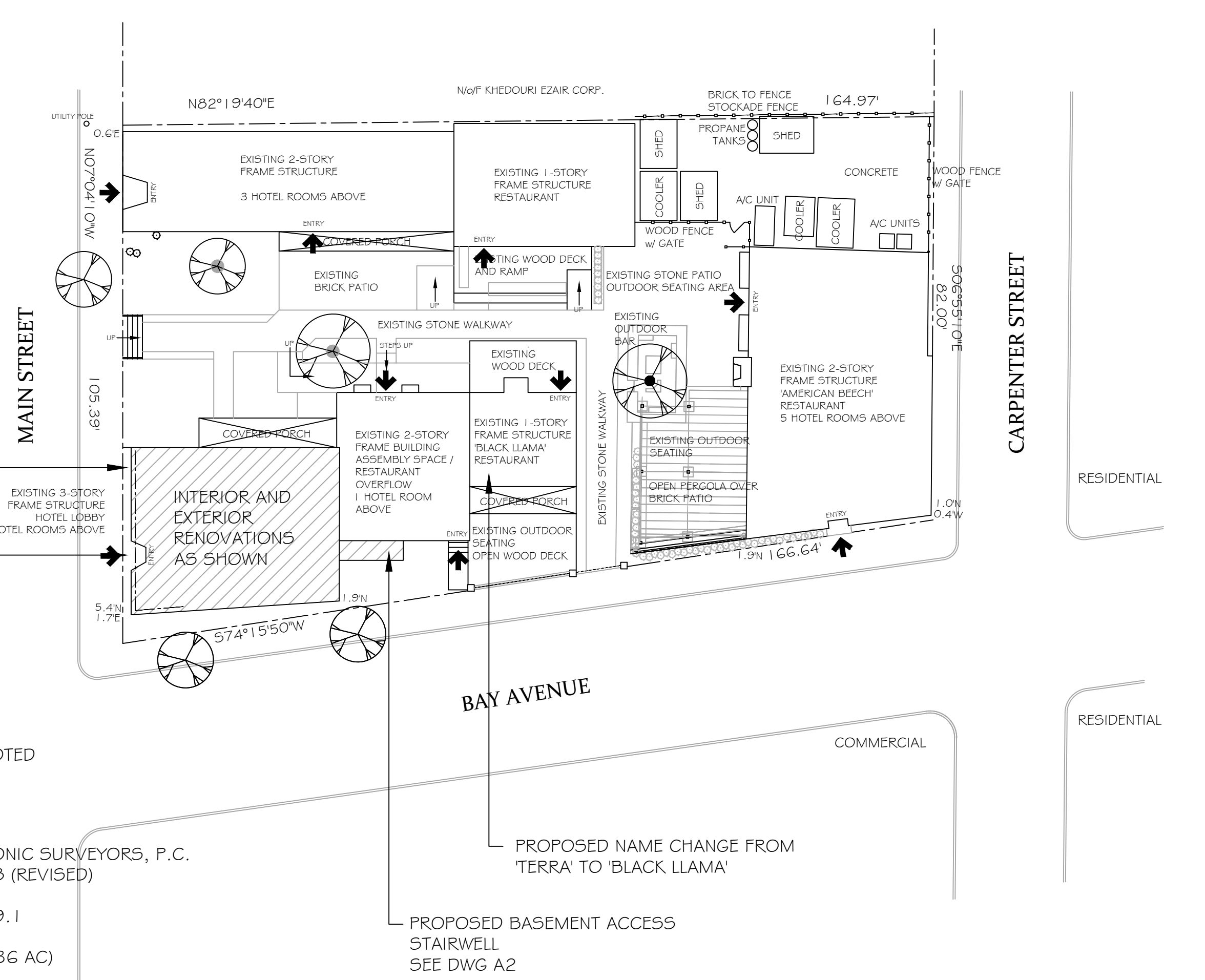
CONNECTIONS DETAIL

- REPAIR AND REPLACE EXISTING TRANSOM WINDOWS IN KIND
- REPAIR AND REPLACE EXISTING AWNING FRAME, NEW AWNING FABRIC
- PROPOSED ACCESS RAMP AND PUSH BUTTON ELECTRIC DOOR OPENER SEE DWG A2



BASED ON SURVEY BY:
JOHN T. METZGER PECONIC SURVEYORS, P.C.
DATED: 11 APRIL, 2018 (REVISED)

SCTM: 1001-04-07-29.1
ZONED: C-R
AREA: 15,443 SF (0.36 AC)



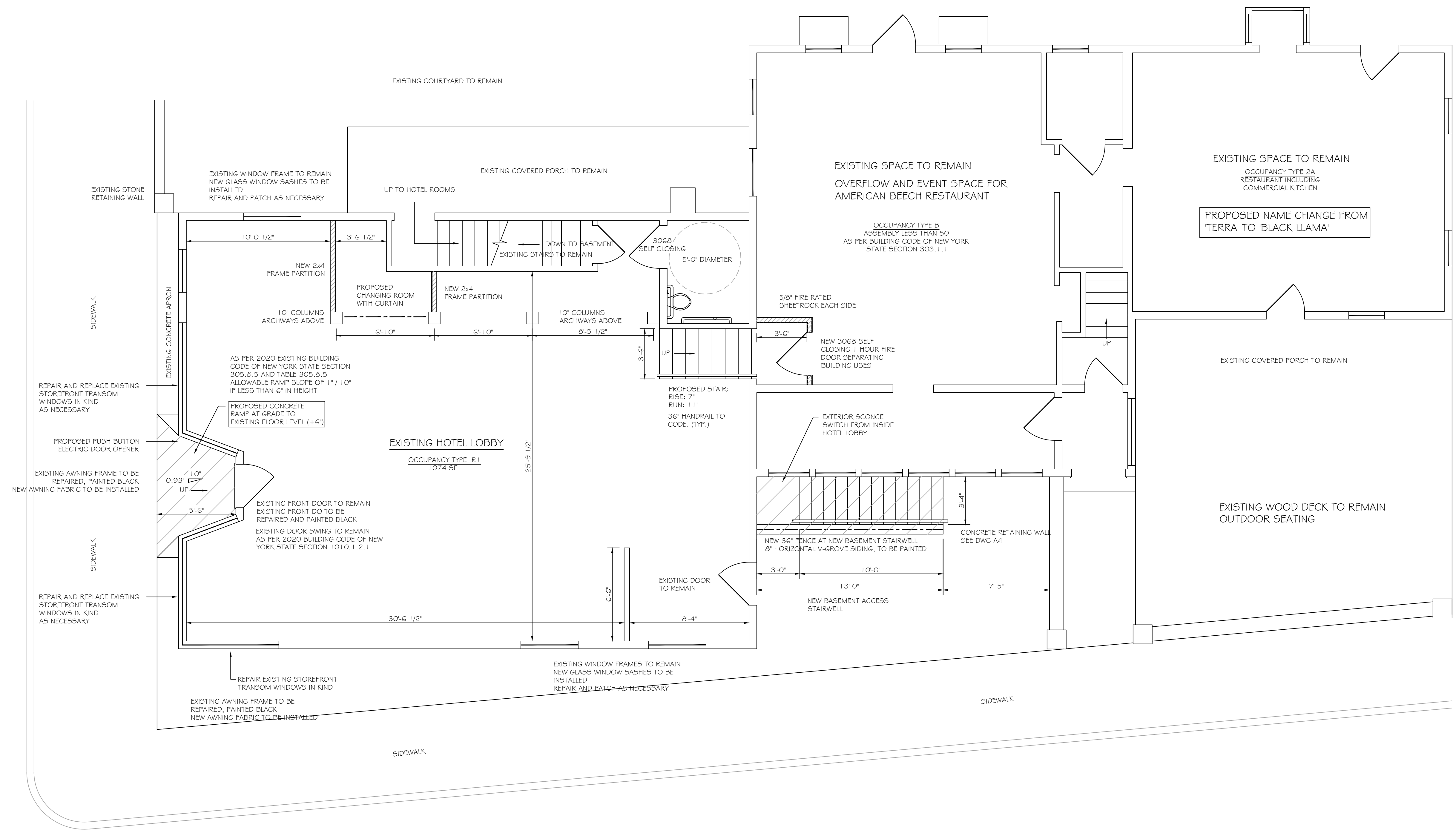
ISSUES / REVISIONS

13 AUGUST, 2020	
23 JULY, 2020	
06 JULY, 2020	
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CLIENT / OWNER	
STIRLING SQUARE LLC 300 MAIN STREET GREENPORT, NY 11944	
PROJECT TITLE	
STIRLING SQUARE SOUTH BUILDING RENOVATIONS	
DRAWING TITLE	
SITE PLAN	
ISSUE	SCALE
24 AUGUST, 2020	AS NOTED
DRAWING NO.	
A1	



23 JULY, 2020
06 JULY, 2020

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CLIENT / OWNER
STIRLING SQUARE LLC
300 MAIN STREET
GREENPORT, NY 11944

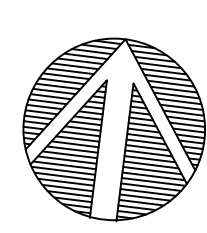
PROJECT TITLE
**STIRLING SQUARE
AMERICAN BEECH
HOTEL**

DRAWING TITLE
FIRST FLOOR PLAN

ISSUE
21 AUGUST, 2020

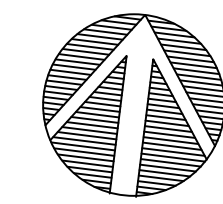
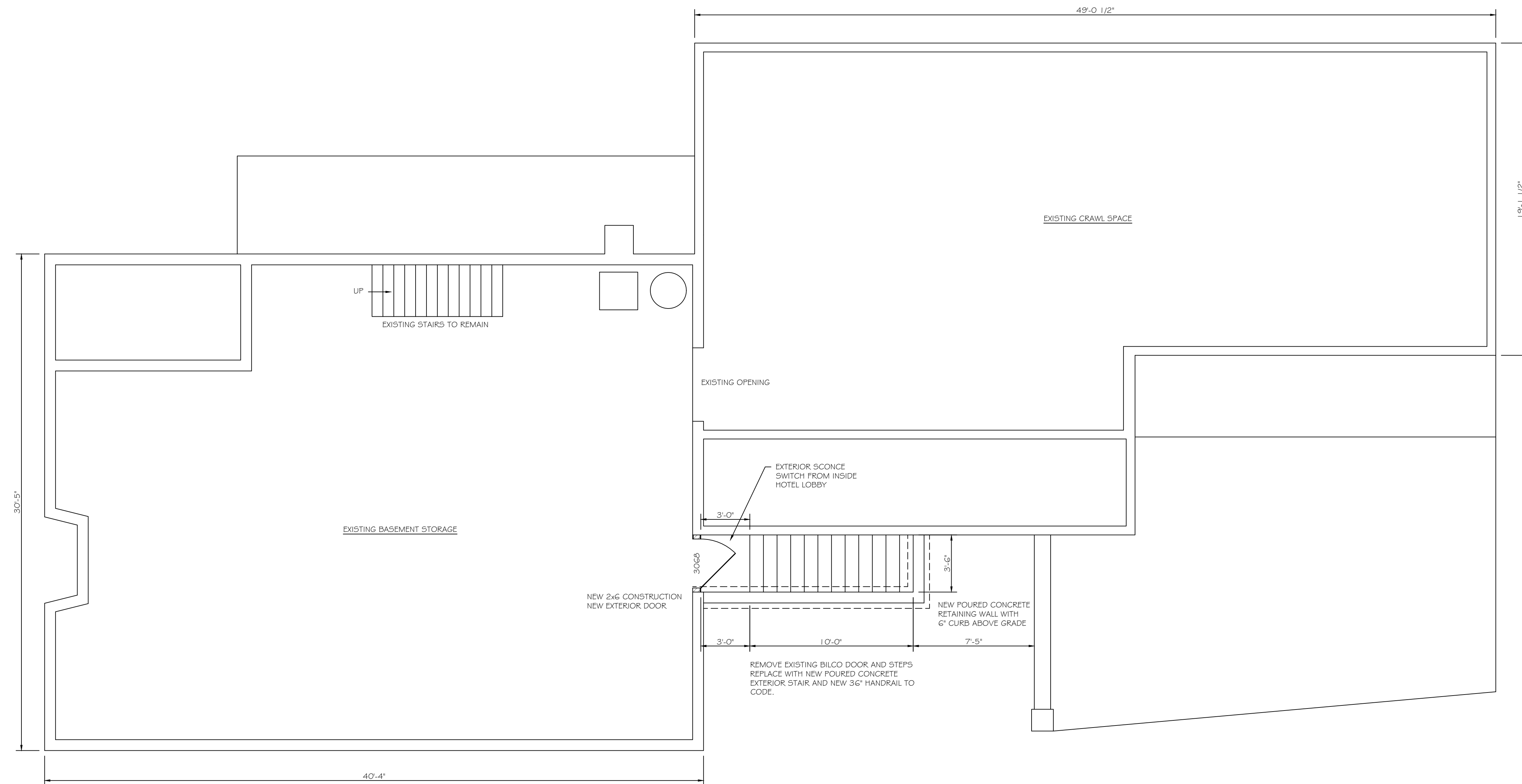
SCALE
AS NOTED

DRAWING NO.
A2



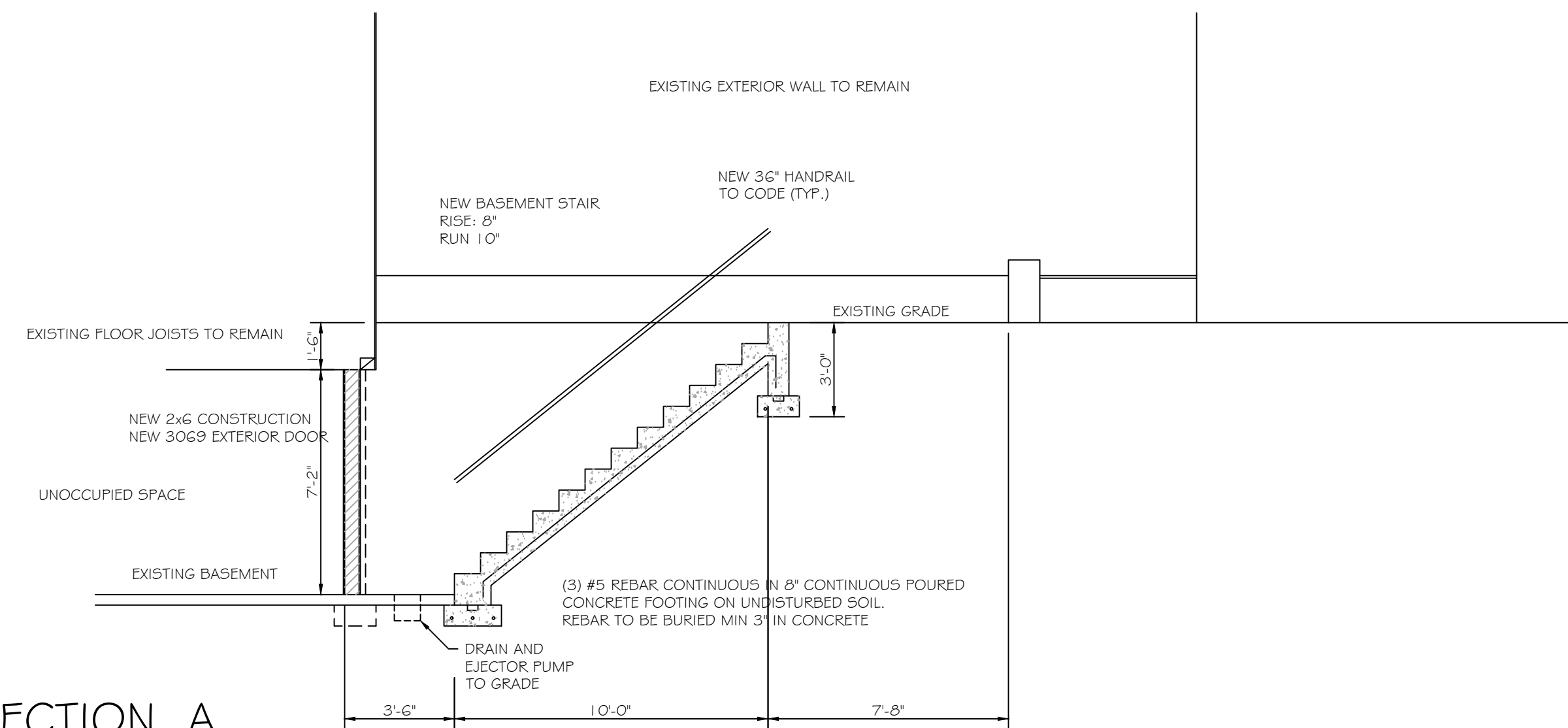
**GROUND FLOOR SOUTH BUILDING
PROPOSED HOTEL LOBBY**

EXISTING EXCEPT AS NOTED
SCALE: 1/4" = 1'-0"



FOUNDATION PLAN SOUTH BUILDING

SCALE: 1/4" = 1'-0"
EXISTING EXCEPT AS NOTED



SECTION A

SCALE: 1/4" = 1'-0"
EXISTING EXCEPT AS NOTED

23 JULY, 2020
06 JULY, 2020

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CLIENT / OWNER

STIRLING SQUARE LLC
300 MAIN STREET
GREENPORT, NY 11944

PROJECT TITLE

STIRLING SQUARE
AMERICAN BEECH
HOTEL

DRAWING TITLE

FOUNDATION PLAN
SECTIONS

ISSUE

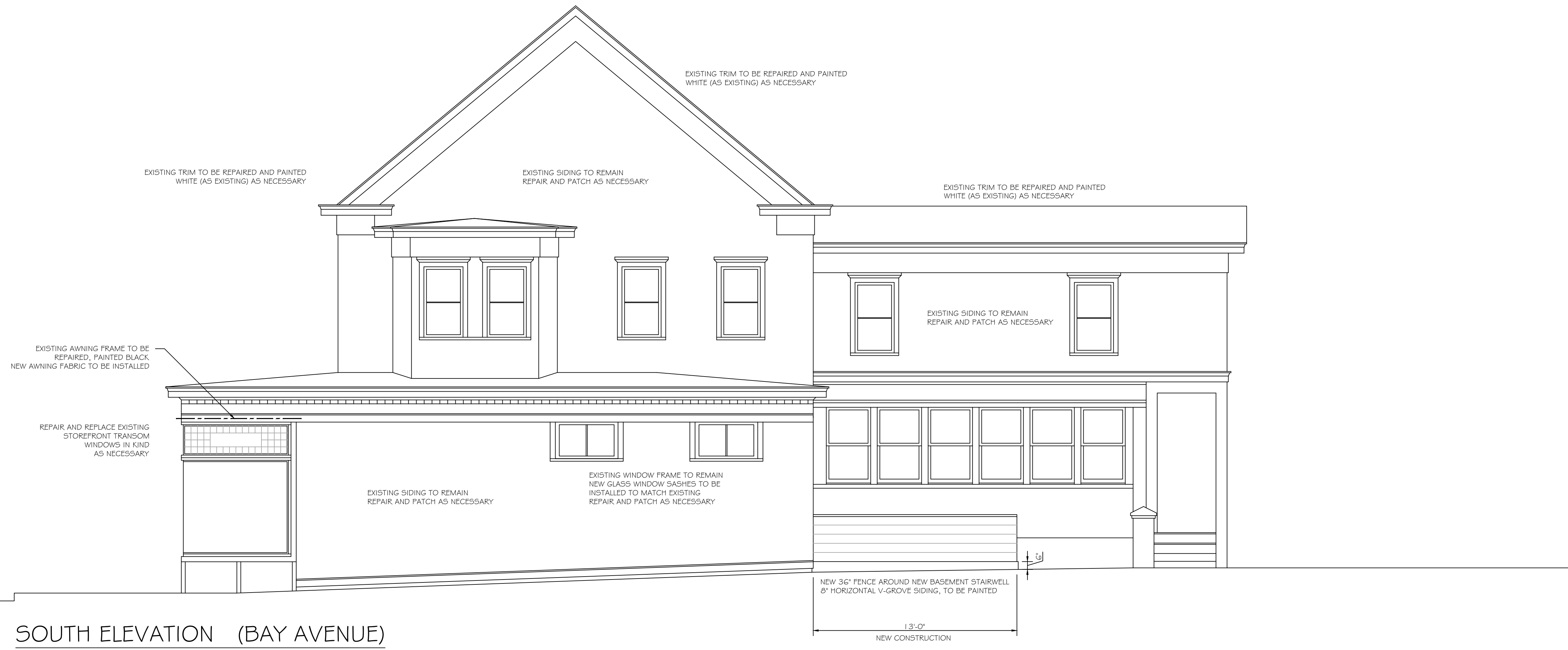
21 AUGUST, 2020

SCALE

1/4" = 1'-0"

DRAWING NO.

A3



SOUTH ELEVATION (BAY AVENUE)
 SCALE: 1/4" = 1'-0"
 EXISTING EXCEPT AS NOTED



WEST ELEVATION (MAIN STREET)
 SCALE: 1/4" = 1'-0"
 EXISTING EXCEPT AS NOTED

23 JULY, 2020
 06 JULY, 2020

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CLIENT / OWNER
STIRLING SQUARE LLC
 300 MAIN STREET
 GREENPORT, NY 11944

PROJECT TITLE
STIRLING SQUARE AMERICAN BEECH HOTEL

DRAWING TITLE
ELEVATIONS

ISSUE 21 AUGUST, 2020 SCALE 1/4" = 1'-0"

DRAWING NO. **A4**